

AGENDA
BOTETOURT COUNTY BOARD OF SUPERVISORS
THURSDAY, DECEMBER 17, 2015
GREENFIELD EDUCATION AND TRAINING CENTER
ROOMS 226, 227, AND 228
DALEVILLE, VIRGINIA 24083
BEGINNING AT 2:00 P. M.

I. Business Items:

1. Call to Order.
Recognition of Sheriff's Department recertification by the Virginia Law Enforcement Professional Standards Commission. (Sheriff Rick Atkins)
Introduction of new employee. (Pendleton)
2. Approval of minutes of the special meeting held on November 17, 2015
Approval of minutes of the regular meeting held on November 24, 2015.
Approval of minutes of the special meeting held on December 1, 2015.
3. Approval of Transfers and Additional Appropriations. (Zerrilla)
4. Approval of Accounts Payable and ratification of the Short Accounts Payable List. (Zerrilla)

II. General Items:

5. Consideration of a resolution approving the award of a contract under emergency procurement provisions to Timberworks of Interest, LLC, to relocate two historic structures on the Greenfield property. (Moorman)
6. Consideration of approval of the transfer of a 19.435 acre parcel identified as Lot C in Botetourt Center at Greenfield to the Economic Development Authority's ownership. (Moorman)
7. Other Items:
 - Committee reports.

III. Appointments:

8. Consideration of the appointment of a Board member to the School Division's Planning Committee.

IV. Items at Specific Times:

9. 2:30 P. M. Highway Department:
 - A. Monthly update report. (Hamm)
10. 3:00 P. M. Public hearing on a proposed amendment to Chapter 20 Solid Waste, Article IV Litter Control of the Botetourt County Code regarding inoperative motor vehicles. (Lockaby)
11. 3:05 P. M. Public hearing on proposed amendments to Chapter 21. Subdivisions of the Botetourt County Code regarding site plans. (Lockaby/Pendleton)
12. 3:10 P. M. Public hearing on proposed amendments to Chapter 25. Zoning of the Botetourt County Code regarding site plans and the Board of Zoning Appeals. (Lockaby/Pendleton)
13. 3:15 P. M. Public hearing on a proposed cable franchise agreement with Comcast. (Lockaby)
14. 3:30 P. M. Public hearing on proposed amendments to Chapter 2. Administration of the Botetourt County Code to change the name of the Botetourt County Industrial Development Authority. (Moorman)

IV. Items at Specific Times (cont.):

15. 4:00 P. M. Closed Session to consult with the County Attorney regarding actual or probable litigation as per Section 2.2-3711(A) (7) of the Code of Virginia of 1950, as amended.

6:00 P. M. Public hearings:

16. Buchanan Magisterial District, Julie H. Simmons (Verizon Wireless, lessees) requests a Commission permit in accord with §15.2-2232 of the Code of Virginia, in addition to a Special Exception Permit, with possible conditions, in an Agricultural (A-1) Use District to construct and maintain a 199-foot telecommunications tower within a 5,625 square foot lease area, to be accessed from an existing entrance onto a non-exclusive 20' ingress/egress and utility right-of-way, located on a 64.83-acre parcel adjacent to 340 Penn Hollow Road, Buchanan, (State Route 631) approximately 0.6 miles northeast of its intersection with Springwood Road (State Route 630), identified on the Real Property Identification Maps of Botetourt County as Section 51, Parcel 36A. (Pendleton)

The Planning Commission recommended approval of this request.

17. Amsterdam District, Layman Family, LLC, requests to rezone, with possible proffered conditions, a 13.42-acre parcel from a Business (B-2) Use District to a Planned Office Park (POP) Use District for business use located at 147 Daleville Centre Drive, Daleville, at its intersection with Valley Road (State Route 779), with additional access via the Roanoke Road (U. S. Route 220)/Layman Lane intersection (as shown on Tax Map 101-93), identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcel 109A. (Pendleton)

The Planning Commission recommended approval of this request.

18. Valley Magisterial District, RYT, LLC, requests the following: a text amendment to Section 25-284. District Requirements of Chapter 25 Zoning of the Botetourt County Code to increase the maximum district size of the Neighborhood-type Shopping Center from nine to twelve acres; to rezone, with possible proffered conditions, a 1.781-acre lot from a Business (B-3) and Industrial (M-1) Use Districts to a Shopping Center (SC) Use District; and requests a Special Exception Permit on 0.833 acres, with possible conditions, for a convenience store, to include fuel sales, located at 2780 Lee Highway (U.S. Route 11), Troutville, on property located in the southern corner of the Lee Highway/Cloverdale Road (ALT U. S. Route 220) intersection, identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcel 176. (Pendleton)

The Planning Commission recommended approval of the text amendment and conditional approval of the rezoning and SEP requests.



SHERIFF'S OFFICE

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NEWS RELEASE

For immediate release –

Contact: R. N. Sprinkle, Sheriff
540-473-8230

Deputy Greg Marshall, Accreditation Manager
540-473-8230

Botetourt's Sheriff's Office Earns Accreditation for Fourth Time

Fincastle, VA – It was announced at the December 1st meeting of the Virginia Law Enforcement Professional Standards Commission (VLEPSC) that the Botetourt County Sheriff's Office was successfully accredited for the fourth time. A team of assessors representing the Commission visited the agency during the week of October 19th and found it in full compliance with all standards required for successful accreditation.

In order to be accredited, agencies must show compliance with 190 standards relating to law enforcement functions. Examples of areas covered are evidence functions, traffic enforcement, and personnel policies. In the case of agencies seeking re-accreditation they must show proof of compliance for all standards for each year of the accreditation term. There are currently 92 law enforcement agencies accredited by VLEPSC throughout the Commonwealth of Virginia.

The Botetourt County Sheriff's Office was initially accredited in 2003. The agency undergoes re-accreditation every 4 years and was last re-accredited in 2011. The next assessment will take place in October 2019. Deputy Greg Marshall has served as the agency's accreditation manager since 2000.

Sheriff Sprinkle would like to thank the community, staff, and cooperating agencies that have assisted the Sheriff's Office with achieving this important goal.

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A special meeting of the Botetourt County Board of Supervisors was held on Tuesday, November 17, 2015, in the Circuit Courthouse's second floor conference room in Fincastle, Virginia, beginning at 10:00 A. M.

PRESENT: Members: Mr. L. W. Leffel, Jr., Vice-Chairman
Mr. John B. Williamson, III
Mr. Billy W. Martin, Sr.
Mr. Todd L. Dodson

ABSENT: Members: Dr. Donald M. Scothorn, Chairman

Others present at the meeting:

Mr. David Moorman, Deputy County Administrator
Mrs. Kathleen D. Guzi, County Administrator

The Vice-Chairman called the meeting to order at 10:00 A. M. and expressed his appreciation to those representatives of the Botetourt County Historical Society who were present at this meeting.

Mr. Leffel stated that the purpose of this meeting is to discuss the history of Greenfield, the proposed location of a shell building and the creation of a small business center, and the development of a partnership with the Society for the preservation of the historical structures on the property.

Mrs. Guzi stated that she appreciated everyone taking time from their busy schedules to attend this meeting. She noted that a lot of information was shared at the Society's public comment meeting held a couple of weeks ago on this issue. She noted that both the County and the Society want a lot of the same things, there are different ways to accomplish both sets of needs, and the County is interested in forming a partnership to proceed with this issue.

Mr. Moorman then gave an overview of the County's history regarding the Greenfield property. He noted that this process formally began with a voter referendum and the issuance of \$19.7 million in general obligation bonds in 1994. He noted that these bonds were used to make investments in the school system and the County including development of a new County business park on the 900+ acre Greenfield property.

Mr. Moorman noted that in July 1995 the County purchased the Greenfield property for a mixed use development. He noted that a master plan was unveiled and community meetings were held. He stated that a three-member citizen advisory committee was formed and in October 1995 this committee recommended hiring Preservation Technologies to do a thorough historical study of the property. Mr. Moorman stated that, at a joint Planning Commission/Supervisors meeting in November 1995, a public hearing was held to amend the Comprehensive Plan and land use maps to incorporate this proposed development. He noted that in May 1996 the property was rezoned; in January 1997, the citizens advisory committee endorsed the preservation plan for the site which included the relocation of the historical structures to a designated preservation site at the Route 220 entrance to the property; in March 1997, the committee recommended this plan to the Board of Supervisors which endorsed this proposal.

Mr. Moorman stated that in 2009 the preservation plan was reviewed and reaffirmed and the County applied for historical designation of this site/buildings and the historic structures were stabilized in 2009.

After questioning by Mrs. Ann Layman, Mr. Moorman stated that the citizen advisory committee included Ms. Gwen Ikenberry, Mrs. Donna Henderson, and Mr. Jim Moore. He noted that Mr. Moore passed away and then Mrs. Katherine Harris agreed to serve on the committee.

Mr. Moorman also noted that Mr. Michael Pulice with the Virginia Department of Historical Resources was involved in this group and was aware of their purpose in regards to the Greenfield property.

Mrs. Layman noted that none of the citizen committee members have ever been a member of the Botetourt County Historical Society.

Mrs. Kathy Austin then questioned whether after 1997 Board of Supervisors member Steve Clinton met with the committee and decided that the structures would not be moved.

Mr. Moorman stated that the Board of Supervisors did not endorse any official action contrary to the preservation plan which stated that the historical structures would be relocated to the preservation site.

Mrs. Guzi then discussed the siting of a shell building on the Greenfield property. She noted that it was determined that the County needed more economic development "product" as businesses today want sites that are shovel-ready. She noted that this is why the pad-ready site was developed.

Mrs. Guzi stated that over a year ago the Greater Roanoke Valley Development Foundation agreed to fund the construction of a shell building in the valley. She noted that area jurisdictions submitted site proposals and after deliberations Site C, which is located across the street from the pad-ready site in Greenfield, was chosen. She noted that there are two historical structures on/near this site (slave quarters and kitchen). Mrs. Guzi further noted that the proposed shell building was designed to be 100,000 square feet (sf) in size and be expandable up to 250,000 sf.

After discussion, Mrs. Guzi stated that Greenfield was developed for large-lot businesses but it should also have a place for smaller-lot businesses.

Mrs. Guzi stated that she reviewed the County's files on the Greenfield property and the Board of Supervisors has always said that these historical structures would be moved to the preservation area. Mrs. Guzi stated that she was impressed that the County designated a special preservation area for these structures which will "steer" citizens to this site without them having to navigate to different locations throughout the park or having to deal with tractor trailer traffic entering and leaving the various businesses.

Mrs. Guzi stated that, after the County was awarded the shell building location contract earlier this year, she talked to Mr. Pulice in April 2015, contacted the two remaining members of the citizens committee, and met them with in July 2015 to discuss the County's plans for the shell building on Site C. Mrs. Guzi stated that Mr. Pulice provided the County with names of qualified companies to move the two historical structures and County staff met with those companies on site with Mr. Pulice. She noted that the companies determined that the buildings can be moved to the preservation area without being dismantled and stored first.

After discussion Mrs. Guzi stated that Mr. Pulice also recommended that the County prepare the preservation area site prior to relocating the two structures. She noted that this site is more visible to the public and there is a parking area nearby. Mrs. Guzi stated that it was agreed that the buildings should be oriented on the new site so they maintain as much historical integrity as possible with their original locations, e.g., same distance apart, orientation, etc. She noted that they spent hours on the site looking at different building location options and the County is committed to doing this relocation correctly.

After questioning by Mr. John Rader, Mrs. Guzi stated that she contacted Mr. Weldon Martin with the Historical Society earlier this summer; however, he did have some health issues

that he was dealing with at that time. Mrs. Guzi stated that there was a previously-appointed citizens advisory committee and this was the avenue that the County continued to use in this situation.

Mr. John Alderson then questioned whether the Board of Supervisors had “made its mind up” that the buildings are going to be moved.

Mr. Williamson stated that relocating these structures has been the plan for the last 20 years.

Mr. Alderson then stated that, it appears that any discussion on preserving the site as-is, is to no avail.

Mr. Williamson stated that in his opinion the shell building project has been two years in development and it is the Supervisors’ duty is to preserve the buildings and maximize the return of the taxpayers’ investment in the Greenfield property.

Mr. Dodson stated that he believes that this concept is a win/win situation. He noted that the County had two companies which located in Greenfield (Altec and Koyo/JTEKT) and then the September 11, 2001, attacks and the recession occurred which impacted the global economy. Mr. Dodson stated that the County now has the option for a \$3 million shell building project to use in our efforts to attract additional industries. Mr. Dodson stated that the concept being discussed at this meeting gives the County an opportunity to build a showcase for our history that school children and visitors can learn from.

Mr. Dodson stated that the Virginia Department of Historic Resources has been involved in this issue from the beginning. He noted that the County is not trying to hide anything regarding its plans for the Greenfield property or the historical structures. Mr. Dodson stated that the County would like to create a partnership on this project with the Society as the County is not in the business of historical preservation and the current situation at Greenfield does not allow the County to celebrate its heritage.

Mr. Alderson stated that the County is building on a “flawed process” as the citizen committee had zero access to the preservation community. He stated that it may be possible that both groups can find a way forward to address the concerns of the County and the preservation community. He then questioned if the Society is going to be permitted time to review these issues. He noted that they have been waiting “11 hours and 59 minutes for this discussion” and are now being told that they are out of time.

Mr. Martin stated that he has served on the Board of Supervisors for eight years, has attended most of the Chamber of Commerce events, and has donated some items to the Society’s museum and talked to their members. He stated; however, that in those eight years he has not heard anyone say anything about these historic structures until the County indicated that they were going to move the buildings to meet our economic goals.

Mr. Martin stated that, at the Society’s public comment session a couple of weeks ago, he heard comments that this situation was the County’s, the Board’s, and the staff’s fault; however, the Society has not said anything for eight years about these buildings’ deterioration. Mr. Martin stated that people also said at this meeting that Greenfield is not being used for its intended purpose. Mr. Martin stated that he tried to work with the previous County Administrator to change the requirements for location of companies in Greenfield so small businesses could locate there; however, the Administrator only wanted large companies to locate on the property.

Mr. Martin stated that the Supervisors’ strategic planning sessions last year changed these parameters so that small businesses could locate in Greenfield and we have had interest

from people around the world in this property over the past few years. He noted that the Foundation and the Roanoke Regional Partnership are paying attention to the County and giving us a \$3 million shell building. Mr. Martin noted that the County also needs more options to attract businesses to Greenfield so that the \$450,000 in VDoT industrial access funds to extend International Parkway will not be forfeited to the State of Virginia.

Mr. Martin stated that the shell building's design will be appealing. He stated that no one has been concerned about these historical structures until it was announced that they would be moved and the County is not waiting until the eleventh hour to notify the public about their relocation. Mr. Martin suggested that signs could be placed on site indicating the buildings' original locations.

After discussion, Mr. Martin stated that with this plan the County can meet our goal and the historical committee's goal and it will be a win/win for both and questioned "why can't we meet the economic and historical goals at the same time." Mr. Martin stated that, if the buildings are left in their current locations, the County will lose a total of \$3.5 million in economic investment and would be "going backwards." He noted that an opportunity for a \$3 million shell building, with minimal cost to the County, does not occur very often and will help to alleviate some of the taxpayers' burden.

Mr. Martin stated that he wants to do what he thinks is the best for the County. He noted that we are finally turning things around and can have a real economic development success in Greenfield. Mr. Martin noted that he is in favor of moving the historical buildings intact and hopes that this can be done through a partnership so that we can proceed with business.

Mr. Alderson stated that they are not criticizing the Board and realizes that the County is desperate for economic development but asked the Board to name one other site in the County that has a history tied with pre-Revolutionary War heroes such as William Preston.

Mr. Dodson named Santillane south of Fincastle.

Mr. Alderson stated that he thinks that those at this meeting are not discounting the money for the shell building and the extension to International Parkway; however, they view the site differently than just as the location of a shell building. He noted that this property was built during the period that involved the creation of our nation and its value is what it represents to the nation's history. Mr. Alderson stated that he believes that the County and the Society can find a way to proceed in a reasonable, logical, and friendly manner to accomplish goals for this site and for other valuable historical buildings and sites as well.

Mr. Martin stated that he does not mean to lessen their concern about the timing of this issue but this has been in the County's plans for a long time and he believes that the buildings' values can be preserved by moving them to the preservation site.

Mr. Williamson stated that the Preston home site was associated with the Revolutionary War; however, it burned in the 1950s. He noted that these two remaining historical structures were built after the home and after the Lewis and Clark expedition. Mr. Williamson questioned if the Society's focus was on the buildings or trying to preserve the hilltop where the Preston home was located.

Mr. Rader stated that he visited Greenfield this past Sunday afternoon and explained the proposed use of the property to his mother. He noted that she could not understand how the shell building could be placed on this hill and not impact the viewshed.

Mr. Leffel stated that he had one plea and one request. He asked that the group "leave the recent past behind, forget yesterday" and do the best that can be done with what is coming.

Mr. Leffel stated that he is a County native and this issue has been a struggle for him. He noted that this is not about industrial sites—this is what the Greenfield property was purchased for.

Mr. Leffel then asked what would be the best thing to do to preserve the County's African American history—leave the structures in their current locations or move them to a site that is more easily accessible to the public that is 0.6 mile away from their current location. Mr. Leffel stated that he believes that having the buildings at one site in one location is the best solution to try to accomplish both issues. Mr. Leffel further stated that he does not believe that relocating these structures would affect the proposed Lewis and Clark Trail designation and he hopes that the County and the Society can come to a solution that all can work with.

Mrs. Layman stated that the Society has been working on obtaining the Lewis and Clark Trail designation for 10 years, have been trying to have a restroom constructed in the museum for 50 years, and they thought that the Greenfield structures were safe because they were put on the National Register of Historic Places. She noted that, since it was mentioned that these two structures were to be moved, fifteen organizations have offered to partner with the County to preserve these buildings but only if they are left in their existing locations.

Mrs. Layman stated that William Preston was also a surveyor and chose this hill for the location of his home. She noted that the County is now proposing to flatten the hill to construct a shell building. She further noted that Virginia Tech would like to help research the site and integrate the historical site into the industrial park and make it an educational resource. Mrs. Layman noted that no other historical site in Virginia has these types of slave buildings still standing. She asked that the site remain as is. Mrs. Layman stated that it has been estimated that it will cost \$250,000 to move the buildings but, according to Mr. Pulice, they can be restored on site for approximately \$200,000. After discussion, Mrs. Layman then questioned who is going to pay the loan on the \$3 million shell building.

Mrs. Guzi stated that these financial negotiations are still underway but it will not be the County.

Mr. Williamson further stated that the Foundation will provide \$1 - \$1.2 million to construct the shell building and when a business purchases the building the Foundation will use that money to pay the loan. He noted that there is no Botetourt County taxpayer liability on this project.

After questioning by Mr. Dodson, Mrs. Layman stated that the organizations that have offered to partner with the County to preserve these buildings include the Society, the Mountain Valley Preservation Alliance, Smithfield Plantation, Daughters of the American Revolution, Sons of the American Revolution, Hollins University, Virginia Tech, UVA, Countywide League, and the Roanoke Valley Preservation Society, among others.

Mr. Alderson then requested that the Supervisors give the Society time to sit down with them so they can agree on the steps forward and the goal to be achieved at the end of this process and beyond. He noted that there has never been a comprehensive archaeological evaluation of the site.

After questioning by Mr. Dodson and Mr. Martin, Mrs. Guzi stated that there was a phase 1 archaeological investigation conducted on the Greenfield property after it was purchased in the 1990s and a phase 2 investigation has been done on portions of the property.

After questioning by Mr. Leffel, Ms. Judy Barnett stated that she would prefer that the historical structures remain at their current locations. Ms. Barnett stated that she met the previous County Administrator and former Supervisor Don Meredith several years ago to discuss a

location to display the County's African American history. She noted that the proposed visitor's center on the Greenfield preservation site was discussed for this purpose.

Mrs. Austin stated that she does not want these two structures moved from their close proximity to the cemetery. She further noted that one-half of the citizen committee members have passed away so they could not have had any recent input on this proposal.

After questioning by Mr. Martin, Mrs. Guzi stated that Site C is the only location for the shell building because of the soils on the adjacent property and because it will qualify the roadway under the State's industrial access road funding guidelines whereby the County will not have to return \$450,000 to VDoT.

After discussion, Mr. Moorman noted that previously the Greenfield Master Plan indicated that this area of the property would be used as an office park and contain a loop road for access.

Mr. Rader stated that he can see the economic need for this shell building and realizes that the Foundation will construct the building so that a new company will locate there and pay County taxes.

Mr. Dodson stated that this shell building will help increase industry in the County but will not use County taxpayer dollars for its construction.

Mr. Rader stated that what is more important to him than the building is the site. He noted that the shell building can be placed elsewhere and the property can be made attractive; however, once the historical buildings are removed "we cannot get it back."

Mrs. Layman noted that this hill is an historical site and can be an asset. She suggested that the County construct two shell buildings elsewhere on the property and leave the hill undisturbed.

Mr. Williamson stated that the Foundation has worked on this shell building proposal for quite some time and to choose another site would cause the project to be pulled from the County. He noted that there is always a choice but saying no to a \$3 million investment and returning \$450,000 to the State is a hard choice for the Board and would have a negative impact on the taxpayers.

After questioning by Mr. Alderson, Mrs. Guzi stated that the County staff reviewed other locations for the shell building including shifting it 150 yards west of its proposed location to be further away from these two historical structures. She noted that there are wetlands adjacent to the shell building's location which could not be disturbed.

After further questioning by Mr. Alderson, Mrs. Guzi stated that the County has worked with Engineering Concepts, Inc. (ECI) to determine "buildable areas" for the location of this shell building. After further questioning by Mr. Alderson, Mrs. Guzi noted that there is a greenspace/buffer between the shell building's location and the wetlands. She noted that the staff spent hours with ECI reviewing potential sites for this building in different locations on the property to no avail.

After questioning by Mrs. Layman, Mr. Moorman reviewed the 1997 concept layout of the preservation area. He noted that this is an approximate 28 acre site which fronts on Route 220 and is accessed from International Parkway. Mr. Moorman noted that the site currently contains the Holloday House foundation and a kitchen structure and the concept plan shows the location of the summer kitchen and the slave quarters currently located on Site C.

After questioning by Mrs. Layman, Mrs. Guzi noted that the artefacts found during the phase 1 archaeological study have been in storage at DHR's Salem office for 18 years. She

noted that a safe and appropriate location to display these artefacts is needed to educate the next generation of County students.

After questioning by Mr. Williamson, Mr. Moorman stated that he does not know the total number of items in storage at DHR but they include colonial, Native American, and pre-historic artefacts.

Mr. Leffel then called for a short break.

The meeting was called back to order at 11:20 A. M.

Mrs. Austin then suggested that the shell building's parking lot and greenspace be moved and the aforesaid greenspace area, which includes the two historic structures, be retained as is.

Mr. Williamson stated that, if the historic structures remain in their current locations, they would be at the top of a steep cut, look down upon the shell building's loading docks and truck turnaround area, which would destroy the integrity of the historical site. He stated that there are also concerns about being able to sell the shell building if the historical structures remain in this location.

Mrs. Guzi stated that the County also worked with ECI and Mr. Pulice on layouts for the area if the historical structures remained in their original location. She noted that no other workable option could be found.

After questioning by Mr. Rader, Mrs. Guzi stated that the Foundation is not tax exempt so they would be responsible for paying taxes on the shell building.

Mrs. Guzi stated that Mr. Pulice recommended that a phase 2 archaeological study be conducted on the proposed new location and the current sites of these historic structures. She noted that this study would include digging up to 12 architectural units which are approximately 1 meter square and excavating the soil to see if any historic/pre-historic artefacts could be found. Mrs. Guzi stated that Mr. Pulice believes that this work could be done in a matter of weeks depending on the weather and should not exceed \$15,000 for this work. She noted that it was always the Board's intention to conduct a phase 2 archaeological study of this property and the Board would welcome a partnership with the Society on this project to oversee this archaeological investment.

After questioning by Ms. Barnett, Mrs. Guzi stated that the construction of the visitor's center on the preservation site is dependent on County budget funding and the timing of this facility's construction has not been determined.

Mr. Williamson stated that, in order for the shell building's construction to begin in the spring, relocation of the buildings will need to occur by the end of February 2016 by which time the archaeological work will need to have been completed.

Mrs. Guzi noted that the archaeological work can be done in phases. She noted that the first phase will be the site where these historical buildings are to be located and phase two will be done at the proposed shell building's location.

After questioning by Ms. Barnett, Mr. Williamson stated that conducting a complete restoration of the historical buildings will be an expensive budget item; however, the Board has a broad commitment to restoring these structures in the future.

Mr. Dodson stated that the Board has had preliminary discussions on a long-term funding strategy for the preservation area and a partnership with the Society will be helpful to see this project develop and grow.

Mr. Alderson stated that this is part of the Society's request for time in order to have an opportunity to agree on the structure of the partnership--an equal 50/50 authority for the Society, an agreement on what work Mr. Pulice will complete, review of the previous archaeological work done on cataloging the historical sites, determination of these sites, etc.

Mr. Williamson stated that this is an interesting and worthwhile project; however, it takes time.

Mr. Moorman noted that several years ago there was a countywide inventory of historical buildings over a certain age compiled.

Mr. Alderson stated that none of this is difficult work but it takes time to agree on how to proceed.

Mrs. Guzi stated that both groups have agreed that they need to be partners in the future.

Mr. Williamson stated that the time issue is in moving the historical buildings quickly so as to not jeopardize the shell building project.

Mrs. Guzi stated that the County has done a lot of preliminary work on this issue. She noted that the first step is to get both partners together and share the available information.

Mr. Alderson stated that he and the other Society members present today will need to see how their remaining members want to be involved in this project. Mr. Rader agreed that this issue will have to be taken to the Society's Board of Directors.

After discussion, Mr. Williamson noted that the preservation site's size will need to be formalized through a survey, confirm the property's zoning designation, and set the site's boundaries.

After further discussion, Mr. Moorman agreed to provide a copy of the preservation area's concept plan to the Board and Society for their review. He then discussed a potential timeline counting back from February 2016 for this work to be completed to give the Society an approximate timeframe in which to discuss this with their Board of Directors.

Mr. Williamson stated that the most critical decision is where these two buildings will be located on the preservation site so these locations can be excavated by Mr. Pulice prior to February 2016 and then the long-term planning for the preservation site can begin.

After questioning by Mrs. Layman, Mrs. Guzi stated that the shell building's design is still being drafted but if Mrs. Layman has a copy of the design she can provide it to the press.

Mr. Williamson noted that the final shell building agreement has not been signed but the agreement is based on the shell building's drawing.

After questioning by Mr. Alderson regarding the design concept placement of the buildings, Mr. Williamson stated that Mr. Pulice has identified several building arrangements for the preservation site.

After discussion, Mr. Leffel stated that input from the Society on the specific locations of these buildings is needed so a determination can be made on the location of the archaeological study sites. He asked that Mr. Pulice's proposed building siting arrangements be provided to the Society so that they can use them during their site visit with Mr. Pulice.

Mr. Alderson stated that they will try to ensure that this is not delayed.

Mr. Moorman stated that the timeline will need to include a couple of weeks for the archaeological evaluations to be completed, two weeks to move the two buildings, and a week or two to determine where the buildings will be located. He noted that this will mean that a joint committee will need to be formed and working by no later than December 1, 2015, to keep to the February 2016 completion schedule.

After discussion regarding the 1996 layout of the Greenfield property, Mr. Moorman stated that the lot sizes on the Greenfield property were flexible from the beginning to leave as many acreage options available as possible for potential industry locations.

Mr. Leffel stated that the Society's committee that will work with the County on this matter should be appointed as soon as possible. Mr. Leffel stated that he wants to make sure that this is a joint project in the future.

After discussion regarding a joint committee meeting by December 1, Mr. Rader stated that he thinks that the Society can have a committee appointed by the end of this week in order to have a site visit scheduled with Mr. Pulice early next week.

Mrs. Guzi stated that she will need to contact Mr. Pulice to ascertain his schedule for next week prior to confirming the site visit but will try to schedule this for Monday, November 23 at 3:00 PM.

There being no further discussion, the meeting was adjourned at 12:00 P. M.

The regular meeting of the Botetourt County Board of Supervisors was held on Tuesday, November 24, 2015, in Rooms 226-228 of the Greenfield Education and Training Center in Daleville, Virginia, beginning at 2:00 P.M.

PRESENT: Members: Dr. Donald M. Scothorn, Chairman
Mr. L. W. Leffel, Jr., Vice-Chairman
Mr. John B. Williamson, III
Mr. Billy W. Martin, Sr.
Mr. Todd L. Dodson

ABSENT: Members: None

Others present at the meeting:

Mrs. Kathleen D. Guzi, County Administrator
Mr. David Moorman, Deputy County Administrator
Mr. Michael W. S. Lockaby, County Attorney

The Chairman called the meeting to order at 2:00 P. M.

The Chairman then asked for a moment of silence and then led the group in reciting the pledge of allegiance.

Dr. Scothorn then asked the Board members to come forward for two employee presentations—to Mr. Pete Peters and to Mrs. Kathleen Guzi.

Dr. Scothorn thanked Mr. Peters for his assistance to the County. He then asked Mr. Peters and his family to step forward, as he read the following proclamation:

WHEREAS, Richard W. "Pete" Peters, Jr., was employed by the County of Botetourt from November 15, 2005 until December 1, 2015; and,

WHEREAS, Mr. Peters served as the County's Assistant Director of Parks and Recreation; Director of Parks and Recreation; and as Director of Parks, Recreation, and Tourism during that time; and,

WHEREAS, Mr. Peters' duties included oversight of the County's recreation and tourism-related departments including working closely with the Parks and Recreation Advisory Commission to direct County recreation goals and achievements and working on numerous joint projects with the Botetourt County Public Schools; and,

WHEREAS, during Mr. Peters' tenure, Botetourt County developed the Upper James River Water Trail, expanded the Botetourt Sports Complex, began work on implementation and acquisition of rights-of-way for the County's greenway trail system, provided oversight of development and construction of the pad-ready site in Botetourt Center at Greenfield, oversaw and developed various youth sports leagues and award-winning turf fields throughout the County, implemented an award winning and nationally-ranked disc golf course on the Greenfield property, and successfully coordinated numerous tournaments and other events with the recreation departments from the various Roanoke Valley governments, among others; and,

WHEREAS, as of December 7, 2015, Mr. Peters will be employed as the Assistant Vinton Town Manager as well as the Town's Economic Development Director and, even though he will be missed, his friendly manner and tireless work for Botetourt County will not be forgotten;

NOW, THEREFORE, BE IT RESOLVED, that the Board of Supervisors of Botetourt County, on its own behalf and on behalf of the citizens of Botetourt County, extends its appreciation and gratitude for Mr. Richard W. Peters, Jr.'s, dedication and commitment over the past 10 years to help Botetourt County grow and progress.

FURTHER, the Board wishes Mr. Peters success and fulfillment in his new position as Assistant Vinton Town Manager. Signed by Dr. Donald M. Scothorn, Chairman, Botetourt County Board of Supervisors, November 24, 2015.

The Board members expressed their appreciation to Mr. Peters and his family as they presented Mr. Peters with the gift of a framed copy of this resolution and a Jefferson Cup.

Mr. Peters expressed his thanks and appreciation to Board members for the opportunities he was given while working for the County.

Dr. Scothorn then thanked Mrs. Guzi for her dedication to citizens and Botetourt County, then read the following proclamation:

WHEREAS, Kathleen D. Guzi served as Botetourt County Administrator from March 26, 2012 until November 20, 2015; and,

WHEREAS, in this position she worked with numerous economic development prospects who expressed interest in locating in Botetourt County, as well as working with Virginia Forge, Altec Industries, and Dynax America Corporation on expansions to their existing facilities to effect economic growth in order to maintain and improve the quality of life in Botetourt County; and,

WHEREAS, during her tenure the County successfully transferred ownership of its water and sewer utilities to the Western Virginia Water Authority, joined the Western Virginia Regional Industrial Facilities Authority and the Roanoke Valley Broadband Authority, worked to implement an intergovernmental agreement regarding the Roanoke Center for Animal Control and Protection, worked with the Virginia Department of Transportation to begin construction on the Interstate 81 Exit 150 improvement project and safety improvements on U. S. Route 220 north of Eagle Rock; and,

WHEREAS, she hired the County's first Chief of Fire and Emergency Medical Services and its first Economic Development Manager, worked with staff to develop an Agriculture Economic Development Study and an Exit 150 Study, worked with staff to develop an Utility-Scale Wind Energy Ordinance, and worked with the Board of Supervisors on setting Strategic Planning initiatives and priorities, among others; and,

WHEREAS, at all times she performed her duties with devotion and a willingness to engage the community as a whole so that all sides of an issue would be considered;

NOW, THEREFORE, BE IT RESOLVED, that in recognition of her positive impact on Botetourt County, its residents, businesses, and visitors, the Botetourt County Board of Supervisors offers their sincere thanks to Mrs. Kathleen D. Guzi for her 3½ years of service to Botetourt County and its citizens and wishes her good fortune in her future endeavors. Signed by Dr. Donald M. Scothorn, Chairman, Botetourt County Board of Supervisors, November 24, 2015.

A framed copy of this proclamation was then presented to Mrs. Guzi.

Mr. Leffel stated that he enjoyed the Board's working relationship with Mrs. Guzi. He then stated that he also appreciated Mrs. Guzi's hard work and wished her the best in the future.

Mrs. Guzi said, "It had been an honor and privilege, serving the citizens of Botetourt County; working with such an incredibly talented and dedicated staff has been very rewarding. Together we accomplished a great deal. We modernized the organization while keeping the things that makes Botetourt County special, the same. As we say here in the County, 'Explore the Possibilities'. We have created many additional possibilities over these past few years, and yet, there are many more to come. I am thankful that I played a small role in creating some of these possibilities and positioning the County for a bright future. Thank you for this opportunity, and I wish this community all the best for the future."

After discussion, on motion by Mr. Martin, seconded by Mr. Dodson, and carried by the following recorded vote, the Board approved the minutes of the regular meeting held on October 27, 2015, as submitted. (Resolution Number 15-11-01)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on approval of additional appropriations. Mr. Tony Zerrilla, Director of Finance, stated that there were no transfers for the Board's consideration this month. He stated that the appropriations were for reimbursements, insurance claim funds, receipt of State Fire Program Funds, inmate medical co-payments, and miscellaneous receipt of funds for the Sheriff's Department. He noted that the regular appropriation was for the receipt of FY 15 Four-For Life Funds which will be distributed to the volunteer rescue squads on this month's accounts payable list.

There being no discussion, on motion by Mr. Williamson, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board approved the following additional appropriations. (Resolution Number 15-11-02)

AYES: Mr. Dodson, Mr. Martin, Mr. Leffel, Mr. Williamson, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Additional appropriation in the amount of \$6,381.59 to Sheriff's Department – RAID Patrol, 100-4031200-5830. This is a quarterly reimbursement of RAID program expenses for the Botetourt County Sheriff's Office Alternative Program.

Additional appropriation in the amount of \$9,063.92 to Volunteer Fire and Rescue – Fire Insurance, 100.4032200.5302. These are funds received from insurance claims for damages to apparatus.

Additional appropriation in the amount of \$70,248 to Volunteer Fire and Rescue – County Volunteer Fire Departments, 100-4032200-5641. These are Fire Program Funds received from the State and are distributed evenly to the County's fire departments to be applied toward volunteer fire department expenditures. These payments are being made on the County's regular accounts payable disbursements cycle this month.

Additional appropriation in the amount of \$1,457.64 to Correction and Detention – Professional Services, 100-4033100-3100. These are inmate co-payments received for inmate medical activity.

Additional appropriation in the amount of \$289.85 to Sheriff's Department – Vehicle and Power Equipment Supplies, 100-4031200-6009. These are funds received from the State for reimbursement of extradition costs.

Additional appropriation in the amount of \$1,302.60 to Sheriff's Department – Firing Range Expenses, 100-4031200-6015. These are funds received from the sale of brass casings material recovered from the Sheriff's firing range.

Additional appropriation in the amount of \$24,275 to Volunteer Fire and Rescue – County Rescue Departments, 100-4032200-5651. These are Four-For-Life Funds received from the State at the end of FY1, and will be distributed evenly to County volunteer rescue squads to be applied toward volunteer rescue squad expenditures. These payments are being made on the regular accounts payable disbursements cycle this month.

Consideration was then held on approval of the accounts payable list and ratification of the Short Accounts Payable List. Mr. Tony Zerrilla, Director of Finance, stated that this month's accounts payable totaled \$990,494.02; \$981,430.69 in General Fund expenditures, and \$9,063.33 in Debt Service Fund invoices. He further noted that this month's Short Accounts Payable list totaled \$378,616.46; \$375,561.46, in General Fund invoices; and Debt Service Fund expenditures of \$3,055.

Mr. Zerrilla noted that this month's large expenditures included: \$28,149 to Haley Ford for a police utility vehicle; \$158,510 to Sheehy Auto Stores for six Sheriff's Department interceptor vehicles; \$82,313 to the Botetourt Health Department for 25% of their annual budget allocation; and \$30,000 to Virginia Western Community College for annual support of the CCAP Program.

There being no further discussion, on motion by Mr. Dodson, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board approved the accounts payable list and ratified the Short Accounts Payable List as submitted. (Resolution Number 15-11-03)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on a request for an increase in the Recreation Incentive Fund program. Mr. Tony Zerrilla, Director of Finance, stated the County's Recreation Incentive Fund Program was an award-winning initiative that provided interested parties, individuals, community groups, and businesses to participate in the program and receive matching funds on a reimbursement basis for approved projects that benefit County-owned and leased properties.

Mr. Zerrilla stated that in 2014 a policy change was made whereby the County's incorporated towns were made eligible to participate in the program. He noted that the towns identified projects last year and this year that would benefit County citizens in the recreation and tourism areas. He further stated that this year's Incentive Fund projects would be brought before the Board later in this meeting for consideration.

Mr. Zerrilla noted that currently \$20,000 has been budgeted for FY16 and this amount has been the approximate average figure budgeted for the past five years. He further noted that, in previous years, the budget had been as high as \$70,000. Mr. Zerrilla stated that the Incentive Fund submissions this year are for projects that have been reviewed by staff and endorsed by the Recreation Commission; however, the amount requested exceeds the \$20,000 budget.

Mr. Zerrilla stated that staff is recommending that an additional \$15,000 be approved in FY16 to fund these projects. He further stated that staff would seek to cover this additional expense internally with existing budgeted funds over the course of the remainder of the fiscal year. Mr. Zerrilla stated that, while he is fairly hopeful that this coverage can be achieved, if existing funds were not available, staff would then request that the Board provide an appropriation at or near the end of the fiscal year to fund these projects.

Mr. Dodson confirmed this would be for FY 16 and a one-time expense.

After questioning by Mr. Martin as to whether funds had been budgeted for this request, Mr. Zerrilla stated that he would look for underspending within the current budget, as the request was not in the FY 16 budget.

There being no further discussion, on motion by Dr. Scothorn, seconded by Mr. Dodson, and carried by the following recorded vote, the Board authorized a \$15,000 increase in the Recreation Incentive Fund Program. (Resolution Number 15-11-04)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on the request to use the School system's Minor Capital Reserve Fund monies to purchase four school buses. Mr. Tony Zerrilla, Director of Finance, and Mr. John Busher, Superintendent of Schools, were present to speak regarding this matter.

Mr. Zerrilla noted that the Board's agenda item included a letter from Mr. Busher detailing this request. He stated that the School Board, at their November meeting, authorized Mr. Busher to access the School's Capital Reserve Fund - Minor portion for the purchase of regular and special needs school buses in an amount not to exceed \$350,000.

Mr. Zerrilla stated that the School's Capital Reserve Fund was established whereby annual school budget surpluses would be distributed as follows: two-thirds of the budget savings would be transferred to the Schools; and one-third would revert to the County's General Fund. He noted that the School then distributes two-thirds of their portion of these monies to their Major Capital Reserve Fund which is earmarked for future school construction, building additions, renovations, architectural/engineering fees relating to said projects, etc., and the remaining one-third is directed to their Minor Capital Reserve Fund for capital improvement projects, but its usage is not solely limited to CIP items.

Mr. Zerrilla further stated that today's request is to use these monies for school buses, this fits the intended use as a Minor Capital Reserve Fund project. He noted that, based on the current balance of each fund, with an allocation of October interest income based on a weighted average of funds in each portion, the School Minor Capital Reserve Fund had a balance of \$138,416. He noted that the Major Capital Reserve Fund would then have a balance of \$496,934.

Mr. Zerrilla stated that, as the school bus funding request was for \$350,000 and the Minor Capital Reserve had a balance of only \$138,416, an additional \$211,584 would be required to meet the funding needs for this purchase. Mr. Zerrilla then recommended that the Board authorize the County Treasurer to transfer funds in the total amount of \$211,584 from the County's Undesignated General Fund Balance to the School Capital Reserve Fund for the purchase of three regular buses and one special needs bus, including any necessary outfitting for the vehicles.

After discussion, Mr. Zerrilla stated that the Schools would then apply these transferred funds to their Minor Capital Reserve Fund. He further stated that, because of the need to appropriate funds for their use, when the amount of the original budget appropriated for the School Reserve Fund was considered (\$740,000), and the current balance of the Reserve Fund (\$635,350) and the recommended transfer (\$211,584) were added and taken into account, it is also being requested that \$106,934 be appropriated for School Capital Reserve spending. He noted that, since the current balance is less than the FY16 original appropriation, the full \$211,584 must be transferred, however, only \$106,934 would require an appropriation by the Supervisors.

Mr. Busher then spoke of the need by the schools for the new buses.

After questioning by Mr. Martin, Mr. Zerrilla confirmed that this purchase would consist of three regular buses and one special needs bus.

Mr. Williamson noted that, based on discussion held in this past spring on this matter, the numbers presented today were somewhat convoluted but he considered the transfer appropriate.

There being no further discussion, on motion by Mr. Williamson, seconded by Mr. Leffel, and carried by the following recorded vote, the Board authorized use of the School system's

Minor Capital Reserve Fund monies to purchase four school buses, including the required outfitting. (Resolution 15-11-05)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

After questioning by Mr. Dodson, Mr. Busher then provided an update on repairing school roofs. He noted that Spectrum Design was in the process of looking at roofs, power, windows, energy, and their review would be complete in June 2016. Noting the capital needs at Lord Botetourt High School, Mr. Busher said that their use of an outside agency for this review was necessary. He further noted that as of yesterday the agency had walked through all of the elementary schools and would give a report to the School Board after finishing the walk through.

Consideration was then held on a request for matching funds from the Library Incentive Fund for the Buchanan Library project. Mr. Steve Vest, Library Director, stated that the Buchanan Library's interior renovation project was nearly complete. He noted that the goal was to create a larger space for children's books which would also be more visible to the library staff and provide a safer environment for patrons. Mr. Vest further stated the current children's room is located adjacent to a set of stairs that leads to the basement which is a potential safety hazard. He noted that they would like to move books away from this area and create a new children's room in the location of a former staff workroom.

After discussion, Mr. Vest stated that, with the Board's help, they would be able to achieve their goals. Mr. Vest said that the Friends of the Buchanan Library volunteered and raised half of the \$2,222 cost for these renovations and he would like to request the remaining half from the Board to complete this project's funding. Mr. Vest thanked the Board for creating the Incentive Fund.

Dr. Scothorn thanked Mr. Vest for the detailed proposal.

There being no further discussion, on motion by Mr. Leffel, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board authorized payment of up to \$1,111 from monies budgeted for Library Incentive Fund monies to be used for Buchanan Library improvements. (Resolution 15-11-06)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Mr. Kevin Hamm, Maintenance Operations Manager with the Virginia Department of Transportation, was then present to speak to the Board. Mr. Hamm then gave an update regarding the box culvert replacement project on Craig Creek Road. He stated that there have been a couple of construction delays; however, he expected an opening during the first week of December would allow two-way traffic. He noted that the road would remain graveled for about two weeks but is scheduled to be paved and marked in mid-December.

Mr. Hamm asked for the Board's concurrence on four superstructure and culvert replacement projects so that they could be advertised for bids in March 2016. He stated the first project was for a bridge deck replacement project on Route 666 (White Church Road) at the intersection of Gravel Hill Road and located approximately 1.4 miles from Route 717 (Ruby Road). He noted that this project would entail traffic being detoured for approximately 72 hours.

Mr. Hamm noted that the second project would be a culvert replacement on Catawba Road approximately 1.5 miles from Route 672 (Greenway Hollow Road); the third location would be a culvert replacement on Old Rail Road (Route 817), near the intersection with Branchwater Lane and about 0.8 miles from Edlo Lane; the fourth location would be a culvert replacement at Oaklawn Drive in Blue Ridge between Beachmont Drive and Silverburch Drive.

There being no further discussion, on motion by Mr. Williamson, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board concurred with VDoT's request to advertise the following four improvement projects: Bridge deck replacement on Route 666 (White Church Road) near Gravel Hill Road; culvert replacements on Catawba Road near Greenway Hollow Road; on Old Rail Road near Branchwater Lane; and on Oaklawn Drive between Beachmont Drive and Silverburch Drive. (Resolution 15-11-07)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Concerning land development projects, Mr. Hamm stated that VDOT processed one project review, three private entrance permits, one commercial permit, and five utility permits in the previous month. He further stated VDoT continues to patch roads. He noted that ditch work on Breckinridge Mill Road was stopped temporarily in order to pave Brugh's Mill Road during the recent warm weather. Mr. Hamm said they continued to fix the dumpsite on Cartmill's Gap Road which should be finished by the end of next week.

Regarding the Lithia Road project, Mr. Hamm stated VDoT had run into problems with some landowners and their engineering staff were obtaining prices on how to raise the roadway without moving the road. He further stated the VDoT's environmental staff are checking into moving the channel away from the road and back to its original position; however, this would be an expensive, time-consuming method, and their preference would be to raise the road.

After questioning Mr. Williamson regarding whether the road would have to be raised four or five feet, Mr. Hamm stated that although the creek was within inches, of the road's surface, it was not deep, just widespread, and he needed to review video taken during flooding events to determine the problem area.

Mr. Williamson commented that, once raised, there would be a dam, and it would be deeper than just the natural flow.

Mr. Hamm agreed and noted that this week he became aware of the environmental aspect, which would be expensive, if necessary.

Mr. Hamm then discussed traffic engineering studies. He stated that Mountain Pass Road continues to be a big topic, plus guardrail requests in the turns, which he said had been referred to Traffic Engineering for their decision. Mr. Hamm further stated that a decision on this roadway's through truck restriction would be made in approximately 60 days. He said their office had received five to six calls per week regarding large trucks using Mountain Pass Road.

Regarding the Trevey Road engineering study, Mr. Hamm said that VDoT completed their review and is not recommending any changes to the roadway at this time due to low traffic counts, limited right-of-way to widen the road, and, if deeper ditches are installed, water will run down the roadway.

After questioning by Mr. Williamson regarding the danger point at the roadway's crest and the possibility of installing a warning sign, Mr. Hamm acknowledged the restricted traffic passing area, but stated that the crest was a known situation to drivers. Mr. Hamm stated that

he could discuss that location again with Traffic Engineering to see if a warning sign could be installed.

Regarding a request to move the truck restriction sign on Webster Heights Road, Mr. Hamm stated VDoT would not recommend moving the sign and he was not sure why truckers were still using this roadway as a shortcut from Route 460 to the Webster Brick facility.

After discussion by Mr. Martin, Mr. Hamm suggested calling the brick company and getting the Sheriff's Office to write tickets for trucks using Webster Heights Road after the proper truck restriction signage had been installed.

Mr. Hamm noted that a request from some Town of Troutville council members and citizens had been received for directional signage for the Exit 150 area indicating that I-81 can be reached on Route 11 northbound through the Town of Troutville. Mr. Hamm stated that VDoT would add a total of four signs on northbound Route 11 from the Exit 150 area for a distance of five miles; three of which would be in the Town to inform truck drivers to continue north through town to reach Exit 156. He noted that this is proposed so that misdirected truckers could continue straight on Route 11 to access the interstate instead of making a U-turn on Route 11 to go back to Exit 150.

Mr. Hamm then stated that Mr. Williamson's request last month for a continuous right-hand turn lane on Route 220 northbound from Advance Auto to Valley Road was being reviewed by their engineering staff. He noted that there are complications in that area.

After questioning by Mr. Dodson regarding the exact the location of the turning lane, Mr. Hamm explained the location as heading toward Fincastle on Route 220 between the Advance Auto store and Valley Road which has no shoulder and a long section with no arrows.

Mr. Hamm then noted that at the Board's October meeting, he mentioned that VDoT would be receiving additional monies for paving projects. Mr. Hamm stated the amount would be just under one-half million dollars and would be used for paving additional routes, additional surface treatment projects, and a couple of roads in the industrial park area.

Mr. Williamson then thanked Mr. Hamm for finishing paving on Springwood Road and Valley Road. He questioned when the paving work would be completed on Brugh's Mill Road and Blue Ridge Turnpike, and also questioned tractor trailers parking at/near the Brugh's Mill Country Store on Route 640 near I-81.

Mr. Hamm stated that the road temperatures need to be at 40 degrees to pave, although VDoT could conduct patching work at a little lower temperature. Mr. Hamm further stated that their traffic engineers reviewed the Brugh's Mill Road area near I-81 Exit 156 regarding a tractor trailer that went over the off-ramp's shoulder area and rolled over. He noted that while no accidents were shown at this location in the State Police database, VDoT would install some delineators, as the area was not recommended for guardrail, in order to keep truckers from parking on the road's shoulder.

After questioning from Mr. Leffel, Mr. Hamm noted that the present stoplight on Craig Creek Road was temporary.

There being no further discussion, Dr. Scothorn thanked Mr. Hamm for his report and wished him a happy Thanksgiving.

Consideration was then held on a resolution for a Request for Proposals for consultant engineering services for review of potential utility-scale wind energy applications. Mr. David Moorman, Deputy County Administrator, noted that the Supervisors had previously approved an utility-scale wind energy ordinance. He stated that a provision of the ordinance was for the

County to utilize independent firms to review and evaluate applications for special exceptions Permits for utility-scale wind energy projects.

Mr. Moorman noted that on October 8, 2015, staff issued a Request for Proposals for those services and three proposals (Antares Group, Inc.; Pillar, Inc.; and WES Engineering, Inc.) were received by the October 21 deadline. He noted that staff reviewed and evaluated these proposals and both in person and virtual interviews with the applicants were conducted. He stated that upon completion of these interviews staff agreed that Antares Group was the top-ranked consultant.

After discussion, Mr. Moorman summarized that the scope of the technical review by this consultant would include the special exception permit application for accuracy, completeness, and compliance with the County Code, the firm would review its preliminary report with County staff, identify additional issues that would require investigation, develop a final technical review report and findings letter, recommend whether or not to approve the project, and any additional project management support for project development review effort as the County might desire or require.

Mr. Moorman noted that Mrs. Nicole Pendleton, Planning Manager/Zoning Administrator, was also present at this meeting.

He stated that the qualification and experience of Antares Group set them apart from the other proposals with their work in renewable energy, having a local Harrisonburg office, and their strong technical knowledge. Mr. Moorman then requested authorization to conduct negotiations with Antares Group, and subject to review and approval of the County Attorney, to authorize the County Administrator to execute a one year contract, with the option for up to two, one-year renewals, with the firm to provide consultant engineering services for review of potential utility-scale wind energy applications.

After questioning by Mr. Martin regarding the cost of services, Mr. Moorman responded that the consultant engineer's costs would be paid by the applicant; not the County.

Mr. Williamson then noted the wide spread of the staff's ratings of these three proposals, and confirmed with Mr. Moorman that the one-year extension option was solely at the County's discretion.

There being no further discussion, on motion by Dr. Scothorn, seconded by Mr. Leffel, and carried by the following recorded vote, the Board authorized staff to conduct negotiations with Antares Group, Inc., to provide consultant engineering services for review of potential utility-scale wind energy applications, and, subject to review and approval by the County Attorney, authorized the County Administrator to execute a one year contract with the option for up to two, one-year renewals. (Resolution 15-11-08)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on a resolution to seek General Assembly authorization for the County to have the option to increase the Transient Occupancy Tax.

Dr. Scothorn noted that the Honorable Terry Austin, House of Delegates member, was present at the meeting

Mr. Cody Sexton, Information Specialist, stated that the Code of Virginia provides counties with the authority to levy a transient occupancy tax on hotels, motels, boarding houses, travel campgrounds, and other facilities. Mr. Sexton further stated that the County currently has

a 5% transient occupancy tax rate, and any excess over 2% is required to be designated for tourism-related activities.

Mr. Sexton stated that, during the Board's strategic planning sessions last year, discussion was held on requesting General Assembly approval to increase this tax from five percent to seven percent.

After questioning by Mr. Williamson, Mr. Sexton indicated that the cap was currently as requested at 7%, and only three counties in the State had an 8% cap on this tax. Mr. Sexton further indicated that, after reviewing General Assembly legislation, Roanoke County's original request was for a 7% Transient Occupancy Tax rate.

After questioning by Mr. Leffel regarding clarification on the percentage designation, Mr. Sexton responded that Roanoke County did designate a percentage of the increase when they enacted their rate, but Botetourt did not.

Mr. Dodson commented that the County was asking permission to raise the percentage. He further commented that a part of the whole process would be to take a hard look at the County's tax structure and funding strategies, particularly for the Gateway Crossing area, and moving forward, to look at the overall picture based on the strategic plan.

Mr. Williamson stated that the General Assembly would give the County the authority to change the percentage, without raising the tax.

Delegate Terry Austin said he understood the County's need for this tax increase request.

There being no further discussion, on motion by Dr. Scothorn, seconded by Mr. Martin, and carried by the following recorded vote, the Board adopted the following resolution requesting the General Assembly to give Botetourt County the authority to increase the transient occupancy tax an additional two percent, pending a determination of need by the Board of Supervisors. (Resolution 15-11-09)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Resolution Number 15-11-09

WHEREAS, the Botetourt County Board of Supervisors is committed to promoting tourism and tourism-related activities and amenities in the County, including visitor services, sports and recreational marketing, enhanced lodging opportunities, outdoor recreational activities, agritourism, and historical and cultural resources; and,

WHEREAS, the General Assembly has authorized counties, generally to levy a transient occupancy tax of two percent; and,

WHEREAS, the General Assembly has previously authorized Botetourt County to levy an additional transient occupancy tax of three percent, provided that those additional revenues be directed toward tourism and tourism-related activities; and,

WHEREAS, the General Assembly, from time to time, upon request, has authorized counties to levy an additional transient occupancy tax dedicated to specific purposes or amenities that will promote and enhance tourism, and travel in a given county or region; and,

WHEREAS, Botetourt County seeks to use the additional revenues from a raised transient occupancy tax rate in order to increase its funding for tourism programming, sports marketing, and the destination marketing efforts of the Roanoke Valley Convention and Visitors Bureau; and,

NOW, THEREFORE, BE IT RESOLVED, that the Botetourt County Board of Supervisors requests that the General Assembly authorize the County to levy a transient occupancy tax of a rate not to exceed seven percent, provided that any additional

revenues generated by the increase above the standard rate of two percent are dedicated to tourism and tourism-related activities, specifically tourism programming, sports marketing, and the destination marketing efforts of the Roanoke Valley Convention and Visitors Bureau.

Consideration was then held for a request to advertise for a public hearing on a proposed ordinance granting a non-exclusive franchise to Comcast to own, operate, and maintain a cable television system in the County. Mr. Mike Lockaby, County Attorney, stated that this was a request to advertise for a public hearing on a proposed cable franchise agreement with Comcast. He noted that the County's 1980 contract with Comcast had lapsed approximately five years ago.

He further stated that Mr. Rodney Gray, Technology Services Manager, and Mr. Paul Coombs, Comcast's Director of Government and Community Affairs, have brought up the importance of Comcast using county easements and rights-of-way. He further stated Comcast would pay a State telecommunications service tax; a portion of which would be allocated to the County after being filtered by the State.

After discussion, Mr. Lockaby said that he and County staff drafted a franchise agreement which had been negotiated with Comcast representatives. He noted that this agreement would be very similar to the existing franchise. Mr. Lockaby stated that revisions to the agreement included increasing the franchise fee from 3% to 5% of the gross revenue franchise fee and Comcast revised the rental fee; however, after discussions, they asked the County to remove it. He then asked that the Board advertise for a public hearing at the December regular meeting on this agreement.

There being no further discussion, on motion by Dr. Scothorn, seconded by Mr. Dodson, and carried by the following recorded vote, the Board authorized staff to advertise the draft cable franchise agreement with Comcast for a December 17, 2015, public hearing. (Resolution 15-11-10)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on a request to advertise for a public hearing on proposed amendments to Chapter 21 Subdivisions and Chapter 25 Zoning of the Botetourt County Code. Mr. Mike Lockaby, County Attorney, stated that advertisement for text amendments Chapter 21 Subdivisions and Chapter 25 Zoning were necessary to bring the County Code into compliance with recent State Code changes approved by the General Assembly.

He stated the Board of Zoning Appeals procedures would be revamped to meet minimum State Code requirements, while site plan and the Subdivision Ordinance sections contained updates including to bring these ordinances into compliance with the Western Virginia Water Authority now having ownership of the County's public water and sewer systems. Mr. Lockaby noted minor changes had occurred since 1997 and substantive changes were now needed to these ordinances.

There being no further discussion, on motion by Mr. Williamson, seconded by Mr. Dodson, and carried by the following recorded vote, the Board authorized staff to advertise for a public hearing at the December regular meeting on proposed text amendments to Chapter 21 Subdivisions and Chapter 25 Zoning of the Botetourt County Code to bring these ordinances into compliance with the Code of Virginia. (Resolution 15-11-11)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Mr. Kevin Shearer, P.E., Director of General Services, then gave an update regarding single-stream recycling. Mr. Shearer stated that single-stream recycling is where all recycled products could be recycled in a single container, excluding normal trash. Mr. Shearer further stated that RDS, who has a contract to handle the County's recycled materials, opened a new center in Roanoke, which staff had toured.

Mr. Shearer said that local trash collection companies such as Kessler's Garbage Service, Kelley's Garbage Collection Service, and Community Sanitation Services currently offer curbside recycling at no cost to their solid waste customers. He noted that these companies have now agreed to offer single-stream recycling at no cost to their customers. Mr. Shearer noted that staff had created advertisements for the companies on this new service and prepared flyers detailing what items could be recycled. He noted that recyclables should be placed in a clear plastic bag at the curb for pickup.

After questioning by Mr. Dodson, Mr. Shearer stated that the County's nine recycling centers would still have separate bins for paper, plastic, glass, etc., which helps the processors with pre-sorting. He further stated that single-streaming does not provide cost savings. Mr. Shearer stated that a draft copy of a trash collector's proposed single-stream recycling calendar and the informational brochure had been included in the Board's agenda packet.

Mr. Williamson complimented staff for their quick response and good outcome of his request to implement a single-stream recycling program in the County.

Mr. Joe Jones, along with Mr. David Wright and Mr. George Porter, with Appalachian Power Company, then gave an update on their Cloverdale substation project. They indicated there were some small issues each day regarding this project but they hoped to have the substation energized by end of 2016. Mr. Wright stated that the project is on schedule and the facility's transformers are scheduled to arrive in early 2016.

After questioning from Dr. Scothorn, Mr. Wright said they had received minimal citizen comments from the Cloverdale area.

Mr. Porter, Outreach Coordinator, said he had only received two citizen's concerns, after noting a tough beginning to this construction project. Mr. Porter mentioned a recent situation where the company was unaware of lights being on overnight during the process to fill the transformers with oil. Mr. Porter noted that he provided the area's residents with an update so there would not be an issue.

Dr. Scothorn thanked APCo's representatives for their presentation and work on this project.

Consideration was held regarding Phase 1 historic preservation activities in Botetourt Center at Greenfield. Mr. David Moorman, Deputy County Administrator, stated that recent mutual commitments between the County and the Botetourt County Historical Society at a meeting held on November 17, resulted in an outcome to partner and relocate two historic structures in Greenfield to the designated preservation area.

In order to proceed with this project, Mr. Moorman requested authorization for staff to procure and execute agreements, upon final review by the County Attorney, for specialized

services from qualified contractors to relocate the structures intact from the Greenfield business park to the preservation area and to conduct environmental investigations of the new and current building sites in consultation with the Virginia Department of Historic Resources (DHR) at a cost not to exceed \$300,000. He further requested that this amount be appropriated from the County's Undesignated Fund Balance to Capital Projects – Greenfield Historic Resources, account number 100-4094733.

After a procedural question from Mr. Williamson, Mr. Lockaby responded that Mr. Moorman had indicated to him that, due to the timing and difficulty of this project, it was determined to be an emergency procurement situation. Mr. Lockaby stated that under the Virginia Public Procurement Act's emergency procurement provisions, the County could implement a contract for these services without following the usual advertisement and qualification requirements. He further stated that the County would conduct the maximum amount of competitive negotiations possible with the contractor and an agenda item on justification of this contract award would be presented to the Board for consideration at their next meeting.

Mrs. Ann Layman of Daleville said that, on behalf of the Botetourt County Historical Society, she wished to go on public record that she felt that she and the Society had not been involved in the issue regarding the relocation of the slave kitchen until two months ago. She said that the County's citizens cared about this matter and she presented the Board with a petition containing 200 signatures which had been collected over the past two weeks. Mrs. Layman then requested that the County obtain the services of Mr. Mike Pulice with DHR on this project.

Mrs. Carolyn Elizabeth Pappas of Troutville stated that she was a member of the National Society, Daughters of the American Revolution, who "strongly supports the preservation, in situ, of the Greenfield Plantation site and buildings, including the remaining slave cabin and slave kitchen, and the Jeffersonian-style terraced gardens, to maintain the historic integrity of this property." She also requested that the County provide funds to support historic preservation.

Mr. Kip Burton of Fincastle noted yesterday's meeting held on the preservation site and the interest for this project. Mr. Burton then volunteered the use of a citizen's barn in Fincastle to keep the logs secure and out of the weather until April.

Mrs. Guzi stated that the County had worked closely with Mr. Pulice for at least 15 years so that these historic buildings could be preserved to maintain their integrity. She further stated that the County wants "to do this right."

Dr. Scothorn asked Mr. Moorman to inform the Board of recent meetings and interactions on this issue.

Mr. Moorman estimated that approximately 12-15 County citizens met on the preservation site yesterday afternoon with Mr. Pulice and an engineer from Engineering Concepts, Inc., to conduct preliminary scouting of three proposed sites to relocate these two historic structures. He noted that the first siting option was located closest to the Holloday/Bowyer house; however, it was determined that the Holloday/Bowyer house's historic designation might be at risk if the two structures were relocated close by. Mr. Moorman said the second site was located near the historic cemetery on the north side of the preservation site and the third potential site was located on the western slope of the hill.

Mr. Moorman noted the importance of orienting the kitchen and the slave quarters as they are at their current location with some spacing allocated for interpretation. Mr. Moorman said that, after walking these sites, the group's consensus was to use the second site near the cemetery.

Mr. Dodson remarked that this was a good meeting with participation from all citizens present. He further remarked that the final location of these structures would be determined by the engineers. Mr. Dodson stated that the relocation of these two structures has been 20 years in the making and predates all of the current Board members. Mr. Dodson said this was a win-win for the County, historic preservation, and economic development.

He noted that this would reinvigorate Greenfield, while creating a place for school kids and historians to visit and learn about the County's history. Mr. Dodson then noted that the concept was to build a welcome center with interpretive areas where people can learn and the importance of the bigger picture.

There being no further discussion, on motion by Mr. Dodson, seconded by Mr. Martin, and carried by the following recorded vote, the Board authorized staff to procure building relocation and archeological evaluation services as described in the agenda item and authorize staff to negotiate and execute agreements for such services, upon the review and approval of the County Attorney, at a total cost not to exceed \$300,000 with funding to be appropriated from the County's Undesignated Fund Balance to Capital Projects – Greenfield Historic Resources, 100-4094733. (Resolution 15-11-12)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on approval of an agreement with the Greater Roanoke Valley Development Foundation to construct a shell building in Greenfield. Mrs. Guzi stated this shell building agreement has been in negotiations for several months. She further stated the agreement is between the County, the Industrial Development Authority, and the Foundation.

Mrs. Guzi noted that the agreement's provisions state that the County would provide the site, conduct site preparation work, provide utilities to the location, and then sell the site to the Foundation, who, in turn, would construct the 100,000 square foot shell building which would be expandable to 240,000 sf.

Mrs. Guzi further noted that locating a business in the shell building would satisfy the County's terms of the industrial access road grant with the Virginia Department of Transportation. She stated that, once built, the County would continue to work with the Foundation and the Roanoke Regional Partnership to market the facility in order to locate a business to expand the County's tax base.

Mr. Lockaby highlighted the role of the Industrial Development Authority in this agreement and noted that the IDA would make the grants to the business, with the County assisting the IDA.

There being no further discussion, on motion by Mr. Williamson, seconded by Mr. Martin, and carried by the following recorded vote, the Board authorized approval of the execution of an agreement with the Greater Roanoke Valley Development Foundation to construct a shell building in Botetourt Center at Greenfield. (Resolution 15-11-13)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then given to the appointment of Mr. David V. Moorman as interim County Administrator from December 1, 2015, through January 14, 2016, as authorized by

Virginia Code §15.2-1540 to be responsible for all duties of the County Administrator during this period, including all duties set forth in Virginia Code §15.2-1541. Mr. Mike Lockaby, County Attorney, stated that an interim County Administrator was necessary to fulfill these statutory duties until Mr. Gary Larrowe assumes his duties as Botetourt County Administrator on January 15, 2016.

There being no further discussion, on motion by Mr. Martin, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board authorized the appointment of Mr. David V. Moorman as interim County Administrator from December 1, 2015, through January 14, 2016, as authorized by Virginia Code §15.2-1540, to be responsible for all duties of the County Administrator during this period, including all duties set forth in Virginia Code §15.2-1541, resolution of the Board or other provision of law. (Resolution 15-11-14)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

The Board then took a brief recess at 3:31 PM.

The Chairman called the meeting back to order at 3:45 P. M.

A presentation was then given on the County's Agriculture Strategic Plan. Mrs. Guzi stated that the County had contracted with UVA's Weldon Cooper Center to perform an Agricultural Economic Development Strategic Plan. She further stated the County's agricultural industry is a key component and it was determined that this aspect of the County should have its own strategic plan.

Mrs. Guzi noted that Mr. Williamson and Mr. Leffel served on the committee overseeing this process and noted that Dr. Terry Rephann is present at today's meeting to provide results of the study.

Dr. Rephann stated that the County, more than most communities, has done a fair amount of work to assist agricultural operations. He noted that a critical component was to have input in the process from stakeholders and he used that information to create goals and objectives. Dr. Rephann further explained that the County's Comprehensive Plan, Tourism, and Economic Development Plans all contribute to this vision.

Dr. Rephann noted that a negative trend in agriculture is the average age of today's farmers is close to retirement; however, most do not retire. He noted that the consensus from the stakeholder group was that the County can and should help as farmers are not recipients of the same incentives as other businesses.

He noted two of the area's biggest agricultural assets were Virginia Tech and the Hollins Stockyard, while the biggest difficulty reported by farmers was a lack of interest from their children in continuing the family's farming operation.

After discussion, Dr. Rephann praised Botetourt for its efforts in providing input and setting the parameters for this study. He commenting that other plans only show local foods; however, this study includes much more detail. He noted the importance of working regionally, and the need to collaborate due to the County's smaller population and lack of resources.

Dr. Rephann also spoke of preserving farmland; creating new preservation incentives using State and federal resources; offering shepherding resources to fledging enterprises; reducing land use conflicts that might hinder agriculture; providing students an opportunity to have field experiences with the science and business of agriculture, etc. Dr. Rephann then

referred to a new agriculture-related certificate program at Dabney S. Lancaster Community College.

He then reviewed focus group discussions and surveys; Strategic Plan identification, goals, objectives and activities; improving agricultural planning and policy coordination; promoting agriculture innovation and entrepreneurship, marketing, and profitability.

Mr. Leffel thanked Dr. Rephann for his work noting the importance of maintaining this vision. Mr. Leffel stated that he believed the study's goals and objectives could be accomplished and noted that the data showed how much the County has changed and our need to get the "momentum" back into farming. He also agreed with the need for regional cooperative efforts and said some contacts had been made during this study to assist in that aspect.

After questioning by Mr. Williamson regarding Dr. Rephann's opinion on successfulness on preserving farmland, Dr. Rephann said he had mixed feelings on this issue because farming had not been preserved as much as open spaces. He explained that often the farmer quits farming and the surrounding landscapes become fragmented as the property is developed for other purposes. Dr. Rephann said he was somewhat critical of the open space preservation program because it did not support an ecology of use. He noted that it was "good for preserving, but not necessarily for agriculture and forestry" uses. He suggested the orientation should be toward working the land and build that into the rules.

Mr. Leffel noted two local permanent conservation easements that are working farms as examples for Botetourt. He further noted their success, and if used right, the easements could make production happen.

Mr. Williamson stated that agriculture-related employment numbers and the low earnings numbers over \$100,000 stood out in the study and he hoped over time that something could be done to improve these figures.

The Board thanked Dr. Rephann and his staff for their work in preparing this study.

After further discussion, on motion by Mr. Williamson, seconded by Mr. Leffel, and carried by the following recorded vote, the Board accepted the Agriculture Strategic Plan's basic premise, embraced the study's recommendations and, after the first of the year, implement follow-up work with the Agriculture committee, engage the new county administrator in this effort, and work with adjoining counties in a broader discussion on the study's implementation. (Resolution 15-11-15)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then given to the 2015-2016 Recreation Incentive Fund requests. Mr. Pete Peters, Director of Parks, Recreation, and Tourism, stated that the County has had this program for many years. He noted that this program offers matching funds to non-profit community service groups, individuals, and businesses wished to make recreation-related capital improvements to County-owned or leased property. He noted that the County's matching funds were only distributed after the project's completion.

After questioning by Mr. Williamson regarding the criteria for project qualification and when adopted by the Recreation Commission, Mr. Peters reviewed the extensive application process including discussions with the school administrator if the request is located on school property. He noted that the funding request cannot be for a perishable item such as uniforms, and must be capital-related, so funds would be put toward the public good and accessible by

2016 Recreation Incentive Fund Program
Summary and Recreation Commission Recommendations

Sponsoring Organization	Contact Person	Project Location	Total Project Cost	Funds Requested (\$10,000 max)	Description	Recreation Advisory Commission Comments	Amount Recommended
Historic Fincastle Inc Town of Finc	David Tickner	Rte 220/Main St	\$16,500.00	\$3,500	Gateway Sign for Town of Fincastle	Fully Fund	\$3,500
James River HS	Mike Ketron	James River HS	\$22,700.00	\$10,000	Irrigation Upgrades and Installation of Bermuda Turf for Practice Field	Partially Fund	\$9,200
BSA Troop 211	Nicholas Francis	Grnfd Business Park Preservation Area	\$600.00	\$300	Install Information Kiosk for the bee sanctuary	Fully Fund	\$300
Town of Troutville	David Horton	Trvl Town Park	\$24,000.00	\$10,000	Replace existing chain link fence with wrought iron fencing	Partially Fund	\$9,200
Colonial Elm School	Tammi Riggs	Colonial School	\$6,560.00	\$3,280	Pave gravel access walkway to track Install 40 x 30 blacktop play area	Fully Fund	\$3,280
Troutville Elm School	Karen Crush	Troutville School	\$4,045	\$2,022	Remove old climbing ladder on playground and replace with new molded plastic equipment	Fully Fund	\$2,022
Town of Buchanan	Harry Gleason	Town Park	\$16,427	\$8,214	Info Kiosk and Interpretive signs	Partially Fund	\$7,498
			\$90,832	\$37,316		\$35,000 Available (Proposed)	\$35,000

the greater county as a whole. Mr. Peters further noted that the Recreation Commission adopted this program in 1988 and recently updated the program's parameters to include improvements to public property as a whole, not just County property, which allows improvements to town-owned recreational properties.

Mr. Peters then stated that as earlier today the Board had increased the matching funding available for this program from \$20,000 to \$35,000 some of the requested amounts for this year's program as listed in the Board's agenda packets had been increased. He then reviewed the FY 16 requests: \$3,500 to fully fund a gateway sign for the Town of Fincastle; \$9,200 to partially fund irrigation upgrades and installation of Bermuda turf on the James River High School practice field; \$300 to fully fund an information kiosk at the Greenfield bee sanctuary; \$9,200 to partially fund the Town of Troutville's request to replace the existing chain link fence at the town park; \$3,280 to fully fund paving a graveled access walkway to the track and install a 40' x 30' blacktop play area for Colonial Elementary School; \$2,022 to fully fund removal and replacement of a climbing ladder at Troutville Elementary School; and \$7,498 to partially fund an information kiosk and interpretive signs at the Buchanan Town Park. Mr. Peters stated that these seven County funding requests total \$35,000.

Mr. Peters then noted that Mr. Garland Humphries, Recreation Commission Chairman, along with several applicants, were present at today's meeting.

Noting the budget amount of \$20,000, Mr. Dodson asked Mr. Peters if there was an increase in the Recreation Incentive Fund requests due to changes in the application criteria.

Mr. Peters commented that he had seen requests increase from the Towns because they previously were not eligible to apply for funding. He further recommended the Board slightly increase funds due to tourism, as they had far exceeded their allocation amount.

Mr. Peters noted that he had seen substantial community buy-in in the County's recreation-related facilities through the implementation of this program.

Mr. Williamson commented on the opportunity to create the equivalent of this program through a potential historical preservation incentive fund. He asked Mr. Moorman to research and develop a concept and the appropriate funding criteria for such a project.

There being no further discussion, on motion by Dr. Scothorn, seconded by Mr. Dodson, and carried by the following recorded vote, the Board approved the 2015-2016 Recreation Incentive Fund projects as attached and authorized the County Administrator to issue a notice to proceed each applicant. (Resolution 15-11-16)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

A presentation by RKG Consulting regarding the Exit 150/Gateway Crossing Study was introduced by Mr. Moorman, and given by Mr. Russell Archambault of RKG Associates. Mr. Archambault expressed his appreciation to the members of the Exit 150 steering committee for their work on this study.

Mr. Archambault then focused on the County's role in this study. He discussed the County's retail, hotel, and multi-family markets, noting that housing market needs were not met, including the needs of young families and explained the need for strategies on how to capture these types of residents.

Mr. Archambault summarized market opportunities, competing with Roanoke, and the opportunity for an outlet/retail mall which would be unique to this area. He noted the scarcity of

development-ready opportunity sites, regional market gravity, topography, access to developed sites, and at what cost would this be possible. Mr. Archambault then stated that no individual property owner, government, or business could do this on their own and that the implementation strategy would be the Board's role. Citing the need for an expert in this area, Mr. Archambault suggested creating an economic development authority (EDA) dedicated to the implementation of the Exit 150 development initiatives.

Mr. Archambault then discussed the use of powers and authorities granted to facilitate redevelopment in the Exit 150 study area; annual non-County funding commitments to operate an EDA; the need to improve access to unlock development potential of vacant land located off of Tinker Mountain Road; work with VDoT and key property owners to provide site access to undeveloped land behind the Pilot Gas Station; prepare a Gateway Crossing access plan; and examine the opportunity to connect the new Gateway Crossing roadway to Old Route 604 including the need of an expressed intent by the private sector prior to doing so.

Mr. Archambault further discussed a goal to limit the future impact of truck parking and traffic in the Exit 150 study area and encouraged the County to work closely with VDoT for development of a Park and Ride location including discussions to create limited access at the former truck stop site to accommodate a 200 space Park and Ride facility. Mr. Archambault discussed concerns that the Gateway should be attractive, and for any public money invested, the use needs to be functional, e.g., Park and Ride

Mr. Archambault noted that the property along Tinker Mountain Road should accommodate a mixed use development consisting of commercial, apartments, and townhome developments at higher densities; the County should consider the benefits of rezoning the mixed business/agricultural/industrial zoning between Cloverdale Road; and make necessary public improvements in locations that would stimulate private investment and redevelopment. He further noted that streetscape improvements on U. S. Route 11 south of Cloverdale Road should be made to improve aesthetics and pedestrian amenities; improve bicycle/pedestrian system; make streetscape improvements on the eastern segment of Alternate Route 220 from new the signalized intersection to Commons Parkway.

Mr. Archambault then discussed public financing and development incentives; adopting mechanisms for financing public investments in the Exit 150 study area; creating a synthetic tax increment financing district to finance public infrastructure and related development costs in conjunction with key redevelopment projects; creation of development incentives to projects consistent with the Exit 150 plan and vision; and establishing criteria for use of public funds in partnership with other public and private funding to achieve redevelopment goals.

After discussion, Mr. Moorman suggested considering the creation of a Gateway Center Steering Committee; the need to develop, adopt, and implement planning and zoning measures for Gateway Center; interplays with Comprehensive Plan; and provide skilled and experienced staffing. He noted that serious consideration should be given to have the right staff, level of resources, establishing reliable and dedicated source of funding that is not purely County, but creates partnerships with other agencies and groups, and development of a Gateway Center Program budget.

He then suggested performance measures be developed as to what criteria the County would use to gauge progress; develop and report progress; discussion on where corrections/changes were needed; and reorganize the County's IDA into an EDA. Regarding changing the name of the IDA to an EDA, Mr. Moorman noted the draft ordinance amendment had been included in their agenda package and could be considered for advertisement of a public hearing

in December. He noted that the membership of the IDA had discussed and endorsed reorganizing into an EDA as their November 17 meeting.

Mr. Dodson commented on the tremendous opportunities that the Board and the County have today and the need to ensure that the development of the Gateway Crossing/Exit 150 area is done right. He noted that the key phrase in this project is partnership and these two studies (Agriculture and Exit 150) are an once-in-a-lifetime opportunity for the County to provide both future agricultural and retail opportunities for its citizens/businesses.

Mr. John Busher, Superintendent of Schools, then requested to be part of this process, especially with previously presented Agricultural Study.

There being no further discussion, on motion by Mr. Williamson, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board adopted the findings and recommendations pertaining to the Exit 150 area; endorsed the suggested action steps and directed staff to develop detailed plans for future consideration of these action steps by the Board; and authorized the advertisement of a public hearing for the December meeting on ordinance amendments to Chapter 2. Administration of the Botetourt County Code to change the name of the Botetourt County Industrial Development Authority to the Botetourt County Economic Development Authority. (Resolution 15-11-17)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Mr. Dodson then noted that he and the Exit 150 Steering Committee members had participated in a briefing earlier today with RKG Associates on the Exit 150 Study. He noted that this presentation entailed great discussion and had a very positive reception. He mentioned the need for public/community input meetings for this 20+ year project.

Dr. Scothorn stated that he appreciated Mr. B. Painter for his attendance at today's meeting.

Mr. Williamson noted that, at the recent Western Virginia Water Authority Board of Directors meeting, it was reported that all reservoirs were full and there was progress being made on the construction of the new Daleville pump station.

Mr. Lockaby stated a public hearing would be held in December to correct a minor clerical error the County's inoperable vehicle ordinance.

There being no further discussion, on motion by Mr. Martin, and carried by the following recorded vote, the meeting was continued at 5:26 P. M. until 6:00 P. M. on Tuesday, December 15, 2015, in Room 229 of the Greenfield Education and Training Center for a joint meeting with the Botetourt County School Board. (Resolution Number 15-11-18)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

A special meeting of the Botetourt County Board of Supervisors was held on Tuesday, December 1, 2015, in the Circuit Courthouse's second floor conference room in Fincastle, Virginia, beginning at 10:00 A. M.

PRESENT: Members: Mr. L. W. Leffel, Jr., Vice-Chairman
Mr. John B. Williamson, III
Mr. Billy W. Martin, Sr.
Mr. Todd L. Dodson

ABSENT: Members: Dr. Donald M. Scothorn, Chairman

Others present at the meeting:
Mr. David Moorman, County Administrator

The Vice-Chairman called the meeting to order at 10:04 A. M. and expressed his appreciation to those representatives of the Botetourt County Historical Society who were present at this meeting.

Mr. David Moorman, County Administrator, also stated that he appreciated everyone for their attendance at this meeting. He noted that there are some good things to report on the Greenfield historical structures since this group's November 17 meeting. He noted that Board members, County staff, Historical Society representatives, and consulting engineers, met on the Greenfield preservation site on November 22. Mr. Moorman then handed out a copy of the November 22 meeting's notes to those present.

Mr. Moorman stated that the on-site meeting was a good meeting and allowed all interested parties an opportunity to view the site, ask questions, and discuss the proposed locations with Mr. Mike Pulice with the Virginia Department of Historical Resources and Mr. Bobby Wampler with Engineering Concepts, Inc.

Mr. Moorman noted that three proposed sites for the relocation of the two historic structures were reviewed. He stated that site 1 is located approximately 100 yards from the Holladay House site; site 2 is located further up the hill, overlooks U. S. Route 220, and is adjacent to a small cemetery; and site 3 is located further west on the preservation area and is in full view of the industrial park. He noted that the group discussed the merits and obstacles for locating the historic structures on each of the proposed sites and decided that site 2 would be the best and most appropriate location. Mr. Moorman stated that authorization was given to the engineers to designate the specific location of the structures on site 2. He noted that Mr. Wampler has been working on this project over the past few days.

After questioning by Mrs. Ann Layman, Mr. Moorman stated that Mr. Al Anderson with Timberworks of Interest, LLC, will be involved in deconstructing the old log house on the Blacksburg Road property owned by Mr. Andy Douthat so that some of the logs can be used during the restoration of the Greenfield kitchen and slave quarters. Mr. Moorman noted that the County has previously worked with Mr. Anderson's company.

After questioning by Mr. Williamson, Mr. Moorman noted that Mr. Wampler will stake the location of both structures on site 2 this week.

Mr. Moorman noted that the Board of Supervisors authorized staff to proceed with negotiations of the appropriate contracts to relocate these historical structures and appropriated funding for the project at their November 24 meeting. Mr. Moorman further noted that staff has begun the process of working with Mr. Anderson on the buildings' relocation and will obtain a

proposal from him on taking down the Douthat log house. He stated that staff has scheduled a site meeting later this afternoon to review the property and should have a project proposal from Mr. Anderson later this week.

Mr. Moorman noted that three groups have been identified by Mr. Pulice as capable of conducting the archaeological work on both the new location and the historical structures' existing site. He further noted that contact has been made with all three groups and they are available to conduct this work within the project's timeframe. Mr. Moorman stated that the County will proceed with soliciting proposals from all three groups.

After discussion, Mr. Moorman noted that the timing of all of this work will be an issue in order for the shell building site to be ready for grading work by February 1. He noted that Mr. Anderson's work to secure, stabilize, prepare, and relocate the two structures will take approximately one month and the County will be encouraging whichever archaeological company is chosen to complete their work at site 2 as soon as possible. He noted that once the site 2 archaeological work is completed, the buildings will be moved, and then the archaeological team will begin their work on the historical buildings' existing site.

After questioning by Mr. Dodson, Mr. Moorman stated that Mr. Anderson will begin work as soon as the contract is signed. Mr. Moorman noted that he does not know how long it will take the movers to relocate and place the buildings on the new site; however, Mr. Pulice indicated that the archaeological work should be completed within 2 – 3 weeks.

After questioning by Mr. Martin, Mr. Moorman stated that only the log portions of the two historical structures will be moved to the new location; the more recent cinderblock portion will be demolished.

Mr. Moorman noted that he hopes to be able to send out an e-mail later this week notifying the Board and the Society that the buildings' sites have been staked.

Mrs. Layman then presented the Board members with a copy of a Roanoke World News article from May 1959 on the Greenfield/Preston manor house being destroyed by fire. She noted that there may be artefacts from this structure found by the contractor during the grading work for the shell building.

After discussion, Mr. Moorman noted that due to the short timeframe to have this archaeological, relocation, and site work completed by February 1, the staff will solicit these proposals/contracts under emergency procurement guidelines. He noted that these final, negotiated contracts will be taken to the Board of Supervisors for ratification at their December 17 regular meeting.

After questioning by Mrs. Kathy Austin regarding procurement guidelines/procedures, Mr. Moorman stated that the emergency procurement process allows the County an expedited period to obtain bids/proposals but still provides for a competitive bidding process. Mr. Moorman stated that all of this archaeological and structure relocation work has to be completed by February 1, which is the effective date of the construction agreement for the shell building.

Mr. Williamson stated that he and Mr. Dodson plan to meet with the Greater Roanoke Valley Development Foundation later this week to discuss the shell building project. He noted that February is not a good month to conduct grading work because of the winter weather and hopefully their discussions with the Foundation will allow some flexibility in the February 1 timeline in the event that weather delays any of the work at Greenfield.

After questioning by Mr. Williamson regarding usage of logs from the Douthat property, Mr. Moorman stated that Mr. Anderson with Timberworks is aware of the availability of these logs and, due to the condition of the historic structures, some of these logs will be needed initially to shore up/stabilize the buildings prior to their relocation to site 2.

After questioning by Mr. Leffel, Mr. Moorman stated that a decision on if and where these extra logs will be used will be left to Mr. Anderson as he is experienced in this matter. He further noted that Mr. Anderson will be contracted by the County to move the logs from the Douthat property.

Mrs. Layman thanked the Board for their assistance in this project and for discussions on potential future matching budget funds for historic preservation projects.

Mr. Leffel stated that the Society will need to lay the groundwork for this budget request and develop a preliminary plan for the Supervisors' consideration.

After questioning by Mr. Williamson, it was agreed that the four Society members present at this meeting—Mr. John Rader, Mrs. Ann Layman, Ms. Judy Barnett, and Mrs. Kathy Austin—would be the contact group/committee for the County to work with in the future on historic preservation matters. Mr. Williamson stated that two representatives from the Board of Supervisors would be appointed at the Board's reorganizational meeting to serve on this committee and bring any funding proposals to the full Board for consideration.

After questioning by Mrs. Layman, Mr. Williamson stated that a discussion on the provision of matching funds is a long-term issue to be considered at future budget development meetings. Mrs. Layman noted that the Society would like to move forward with the installation of bathrooms in the museum building and repair/replacement of the building's ceilings.

After discussion, Mr. Dodson stated that he envisions this as a long-term partnership between the County and the Historical Society and "we need to look beyond this particular project" (Greenfield historic structures).

After questioning by Mr. Leffel, Mr. Kevin Shearer, General Services Manager, stated that the County has been involved in assessing and developing an immediate and long-term capital improvement listing of needed repairs to HVAC systems, roofs, carpeting, etc., in County-owned buildings for consideration during the upcoming County budget discussions.

Mr. Leffel encouraged the Historical Society to develop a priority list of their capital improvement needs. He noted that it should be kept in mind that funding for these capital projects will be a long-term process.

Discussion was then held on the need for restroom facilities in the Society's museum or access to those facilities in a nearby County office building during weekend hours when the museum is open and County offices are closed.

Mr. Rader stated that the Society will begin work on their capital improvements priority listing for submission to the Board of Supervisors.

There being no further discussion, the meeting was adjourned at 10:35 A. M.

AGENDA ITEM: Requests for Transfers.

The following transfer is needed for the reasons indicated. Unless the Board has questions or concerns, it is recommended that it be approved by a single resolution as follows:

1. Transfer \$530.47 to Central Purchasing – Store Supplies, 100-4012530-6021, from various departments as follows for store supplies usage:

\$165.00	County Administrator – Marketing, 100-4012110-5840
\$ 49.30	Dep. County Admin. – Office Supplies, 100-4012121-6001
\$165.00	Comm. of Revenue – Office Supplies, 100-4012310-6001
\$ 7.18	Technology Services - Office Supplies, 100-4012510-6011
\$ 35.99	Purchasing – Office Supplies, 100-4012530-6001
\$ 36.00	Sheriff's Dept. – Office Supplies, 100-4031200-6001
\$ 60.00	Fire & EMS – Uniforms & Wearing Apparel, 100-4035500-6011
\$ 12.00	General Services – Office Supplies, 100-4040000-6001


12-11-15

AGENDA ITEM: Requests for Additional Appropriations.

The following supplemental appropriations are needed for the reasons indicated. Unless the Board has questions or concerns, it is recommended that they be approved by a single resolution as follows:

PASS-THRU APPROPRIATIONS:

1. Additional appropriation in the amount of \$1,000 to Sports Complex – Purchase of Services - Other Government Entities, 100-4031700-3800. These are funds received from the NCAA for reimbursement of umpire expenses for a national softball tournament championship.
2. Additional appropriation in the amount of \$922.95 to the following Sheriff's Department accounts: \$900.00 Ballgame Pay, 100-4031200-1500; and \$22.95 to FICA, 100-4031200-2100. These are funds received for providing security at LBHS playoff games.


12-14-15

**BOTETOURT COUNTY, VIRGINIA
 ACCOUNTS PAYABLE SUMMARY
 DECEMBER, 2015**

	<u>\$ Amount</u>
Total Expenditures For the Month - Regular	\$ <u>724,038.54</u>
Consisting of:	
General Fund	\$ 722,329.68
Debt Service Fund	1,708.86
Total	\$ <u>724,038.54</u>
Short Accounts Payable	\$ <u>277,340.74</u>
Consisting of:	
General Fund	\$ 274,285.74
Debt Service Fund	3,055.00
Total	\$ <u>277,340.74</u>

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4011010-3100	Board of Supervisors	Professional Services	GUYNN & WADDELL, PC	8,233.33
100-4011010-3100	Board of Supervisors	Professional Services	GUYNN & WADDELL, PC	1,443.00
100-4011010-3600	Board of Supervisors	Advertising	MONTGOMERY PUBLISHING, LL	150.00
100-4011010-5306	Board of Supervisors	Surety Bonds	JOHN ALDERSON AGENCY	150.00
100-4011010-5306	Board of Supervisors	Surety Bonds	JOHN ALDERSON AGENCY	150.00
100-4011010-5306	Board of Supervisors	Surety Bonds	JOHN ALDERSON AGENCY	150.00
100-4011010-5306	Board of Supervisors	Surety Bonds	SELECTIVE INSURANCE COMPA	707.00
100-4011010-5530	Board of Supervisors	Subsistence & Lodging	SCOTHORN, DONALD	1,030.27
100-4011010-5530	Board of Supervisors	Subsistence & Lodging	VISA	491.56
100-4011010-6014	Board of Supervisors	Other Operating Supplies	SPICKARD LLC	75.00

Account 4011010 Total:				12,580.16
100-4012110-2200	County Administrator	Retirement	VANTAGEPOINT TRANSFER AGE	291.67
100-4012110-2300	County Administrator	Hospital/Medical Plan	CORVESTA SERVICES, INC	85.80
100-4012110-2700	County Administrator	Worker's Compensation	VACO INSURANCE PROGRAMS	29.00
100-4012110-3320	County Administrator	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	207.32
100-4012110-5530	County Administrator	Subsistence & Lodging	VISA	75.83
100-4012110-5530	County Administrator	Subsistence & Lodging	VISA	10.43
100-4012110-5810	County Administrator	Dues & Assoc Memberships	INTERNATIONAL ECONOMIC DE	405.00
100-4012110-6001	County Administrator	Office Supplies	VISA	66.36
100-4012110-6001	County Administrator	Office Supplies	SUPPLY ROOM COMPANIE	61.98
100-4012110-6012	County Administrator	Books & Subscriptions	MATTHEW BENDER & CO	21.94

Account 4012110 Total:				1,255.33
100-4012121-2300	Deputy Administrators	Hospital/Medical Plan	CORVESTA SERVICES, INC	85.80
100-4012121-2700	Deputy Administrators	Worker's Compensation	VACO INSURANCE PROGRAMS	296.00
100-4012121-3100	Deputy Administrators	Professional Services	VISA	45.00
100-4012121-3600	Deputy Administrators	Advertising	MONTGOMERY PUBLISHING, LL	82.50
100-4012121-5210	Deputy Administrators	Postal Services	UNITED PARCEL SERVICE	13.89
100-4012121-5230	Deputy Administrators	Telecommunications	MOORMAN, DAVID	35.00
100-4012121-5230	Deputy Administrators	Telecommunications	SEXTON, ADAM	35.00
100-4012121-5530	Deputy Administrators	Subsistence & Lodging	VISA	18.93
100-4012121-5810	Deputy Administrators	Dues & Assoc Memberships	ICMA DUES RENEWAL	824.00
100-4012121-5810	Deputy Administrators	Dues & Assoc Memberships	SOCIETY FOR HUMAN RESOURC	190.00
100-4012121-6001	Deputy Administrators	Office Supplies	OFFICE DEPOT	26.18
100-4012121-6001	Deputy Administrators	Office Supplies	OFFICE DEPOT	44.65
100-4012121-6001	Deputy Administrators	Office Supplies	MOUNTAIN SPRINGS	6.50
100-4012121-6001	Deputy Administrators	Office Supplies	OFFICE DEPOT	5.21
100-4012121-6008	Deputy Administrators	Vehicle & Pwr Equip Fuels	VISA	10.00

Account 4012121 Total:				1,718.66
100-4012310-2300	Commissioner of Revenue	Hospital/Medical Plan	CORVESTA SERVICES, INC	171.60
100-4012310-2500	Commissioner of Revenue	Disability Insurance	VACO INSURANCE PROGRAMS	12.78
100-4012310-2700	Commissioner of Revenue	Worker's Compensation	VACO INSURANCE PROGRAMS	225.00
100-4012310-3320	Commissioner of Revenue	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	115.42
100-4012310-3320	Commissioner of Revenue	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	121.99
100-4012310-6001	Commissioner of Revenue	Office Supplies	JOHNSON & SONS, R M	12.00
100-4012310-6001	Commissioner of Revenue	Office Supplies	VIRGINIA OFFICE SUPP	518.78
100-4012310-6001	Commissioner of Revenue	Office Supplies	VIRGINIA OFFICE SUPP	18.46

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4012310-6001	Commissioner of Revenue	Office Supplies	VIRGINIA OFFICE SUPP	18.33
Account 4012310 Total:				1,214.36
100-4012410-2300	Treasurer	Hospital/Medical Plan	CORVESTA SERVICES, INC	143.00
100-4012410-2500	Treasurer	Disability Insurance	VACO INSURANCE PROGRAMS	28.82
100-4012410-2700	Treasurer	Worker's Compensation	VACO INSURANCE PROGRAMS	29.00
100-4012410-3160	Treasurer	Pymt for Collection Ser	DEPARTMENT OF MOTOR VEHIC	400.00
100-4012410-3160	Treasurer	Pymt for Collection Ser	VIRGINIA EMPLOYMENT COMMI	931.00
100-4012410-3320	Treasurer	Maint Service Contracts	PITNEY BOWES INC	570.00
100-4012410-3320	Treasurer	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	116.04
100-4012410-3600	Treasurer	Advertising	MONTGOMERY PUBLISHING, LL	225.00
100-4012410-3600	Treasurer	Advertising	ROANOKE TIMES	216.00
100-4012410-6001	Treasurer	Office Supplies	OFFICE DEPOT	19.79
100-4012410-6001	Treasurer	Office Supplies	SUPPLY ROOM COMPANIE	309.90
100-4012410-6014	Treasurer	Other Operating Supplies	PITNEY BOWES INC	118.90
Account 4012410 Total:				3,107.45
100-4012430-2300	Financial Services	Hospital/Medical Plan	CORVESTA SERVICES, INC	57.20
100-4012430-2500	Financial Services	Disability Insurance	VACO INSURANCE PROGRAMS	16.55
100-4012430-2700	Financial Services	Worker's Compensation	VACO INSURANCE PROGRAMS	21.00
100-4012430-3100	Financial Services	Professional Services	NOWDOCS INTERNATIONAL	525.00
100-4012430-3100	Financial Services	Professional Services	DAVENPORT & COMPANY LLC	7,500.00
100-4012430-3120	Financial Services	Accountg & Auditing Ser	ROBINSON, FARMER, COX ASS	34,000.00
100-4012430-3320	Financial Services	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	107.41
100-4012430-6001	Financial Services	Office Supplies	OFFICE DEPOT	160.51
100-4012430-6001	Financial Services	Office Supplies	NOWDOCS INTERNATIONAL	304.00
100-4012430-6001	Financial Services	Office Supplies	MOUNTAIN SPRINGS	13.00
100-4012430-6001	Financial Services	Office Supplies	SUPPLY ROOM COMPANIE	143.96
100-4012430-6001	Financial Services	Office Supplies	AMAZON.COM CREDIT	8.67
100-4012430-6001	Financial Services	Office Supplies	OFFICE DEPOT	20.44
100-4012430-8002	Financial Services	Cap Otly - Furn & Fixt	VIRGINIA OFFICE SUPP	748.20
100-4012430-8002	Financial Services	Cap Otly - Furn & Fixt	VIRGINIA OFFICE SUPP	73.98
Account 4012430 Total:				43,699.92
100-4012510-2300	Technology Services	Hospital/Medical Plan	CORVESTA SERVICES, INC	171.60
100-4012510-2500	Technology Services	Disability Insurance	VACO INSURANCE PROGRAMS	14.46
100-4012510-2700	Technology Services	Worker's Compensation	VACO INSURANCE PROGRAMS	34.00
100-4012510-3100	Technology Services	Professional Services	ROANOKE ELECTRIC ZUPPLY	44.49
100-4012510-3100	Technology Services	Professional Services	SUNBELT RENTALS	189.75
100-4012510-3311	Technology Services	Repairs & Maint - Equipment	VISA	52.37
100-4012510-3311	Technology Services	Repairs & Maint - Equipment	AMAZON.COM CREDIT	84.80
100-4012510-3320	Technology Services	Maint Service Contracts	EGTS	4,225.73
100-4012510-3320	Technology Services	Maint Service Contracts	INTERACTIVEGIS, INC	500.00
100-4012510-3320	Technology Services	Maint Service Contracts	RELYCO	225.00
100-4012510-3320	Technology Services	Maint Service Contracts	EMERGENT	16,646.91
100-4012510-3320	Technology Services	Maint Service Contracts	CAROUSEL INDUSTRIES OF NO	931.23
100-4012510-5230	Technology Services	Telecommunications	SENEKER, VINCENT	70.00
100-4012510-5230	Technology Services	Telecommunications	GRAY, RODNEY	105.00
100-4012510-5230	Technology Services	Telecommunications	CROOM, CHASON	105.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4012510-5530	Technology Services	Subsistence & Lodging	VISA	315.54
100-4012510-6001	Technology Services	Office Supplies	MOUNTAIN SPRINGS	13.00
100-4012510-6001	Technology Services	Office Supplies	AMAZON.COM CREDIT	139.96
100-4012510-6001	Technology Services	Office Supplies	DOLLAR GENERAL	9.25
100-4012510-6007	Technology Services	Repair & Maint Supplies	LOWE'S HOME CENTERS	61.59
100-4012510-6007	Technology Services	Repair & Maint Supplies	LOWE'S HOME CENTERS	70.58
100-4012510-6008	Technology Services	Vehicle & Pwr Equip Fuels	VISA	24.17
100-4012510-6012	Technology Services	Books & Subscriptions	AMAZON.COM CREDIT	60.40
Account 4012510 Total:				24,094.83
100-4012530-2300	Central Purchasing	Hospital/Medical Plan	CORVESTA SERVICES, INC	28.60
100-4012530-2700	Central Purchasing	Worker's Compensation	VACO INSURANCE PROGRAMS	7.00
100-4012530-6001	Central Purchasing	Office Supplies	OFFICE DEPOT	21.13
100-4012530-6001	Central Purchasing	Office Supplies	OFFICE DEPOT	28.44
Account 4012530 Total:				85.17
100-4012560-2300	Central Garage	Hospital/Medical Plan	CORVESTA SERVICES, INC	28.60
100-4012560-2700	Central Garage	Worker's Compensation	VACO INSURANCE PROGRAMS	74.00
100-4012560-3100	Central Garage	Professional Services	SAFETY & COMPLIANCE SERVI	38.50
100-4012560-5230	Central Garage	Telecommunications	DUPREE, J D	60.00
100-4012560-6001	Central Garage	Office Supplies	OFFICE DEPOT	80.64
100-4012560-6001	Central Garage	Office Supplies	OFFICE DEPOT	2.40
100-4012560-6011	Central Garage	Uniforms & Wearing Apparel	ALSCO	37.04
100-4012560-6014	Central Garage	Other Operating Supplies	ALLDATA AUTOMOTIVE INFORM	487.50
100-4012560-8001	Central Garage	Cap Otlly - Mach & Equip	FISHER AUTO PARTS INC	72.45
Account 4012560 Total:				881.13
100-4013300-2300	Electoral Bd/Registrar	Hospital/Medical Plan	CORVESTA SERVICES, INC	28.60
100-4013300-2500	Electoral Bd/Registrar	Disability Insurance	VACO INSURANCE PROGRAMS	26.53
100-4013300-2700	Electoral Bd/Registrar	Worker's Compensation	VACO INSURANCE PROGRAMS	487.00
100-4013300-3100	Electoral Bd/Registrar	Professional Services	SAFETY & COMPLIANCE SERVI	38.50
100-4013300-5230	Electoral Bd/Registrar	Telecommunications	CLARK, TRACI	60.00
100-4013300-5420	Electoral Bd/Registrar	Lease/Rent of Buildings	SPICKARD LLC	1,010.04
100-4013300-6014	Electoral Bd/Registrar	Other Operating Supplies	OWEN G DUNN CO, INC	389.25
Account 4013300 Total:				2,039.92
100-4021100-2300	Circuit Court	Hospital/Medical Plan	CORVESTA SERVICES, INC	28.60
100-4021100-2700	Circuit Court	Worker's Compensation	VACO INSURANCE PROGRAMS	4.00
Account 4021100 Total:				32.60
100-4021200-3320	General District Court	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	191.25
100-4021200-6001	General District Court	Office Supplies	SUPPLY ROOM COMPANIE	51.36
100-4021200-6012	General District Court	Books & Subscriptions	THOMSON REUTERS-WEST	209.50
Account 4021200 Total:				452.11
100-4021600-1300	Clerk of Circuit Court	Part-Time Wages - Reg	TOWLES, TED	60.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4021600-1300	Clerk of Circuit Court	Part-Time Wages - Reg	BEASLEY, JANE	60.00
100-4021600-1300	Clerk of Circuit Court	Part-Time Wages - Reg	SWEET, SUE	60.00
100-4021600-2300	Clerk of Circuit Court	Hospital/Medical Plan	CORVESTA SERVICES, INC	171.60
100-4021600-2700	Clerk of Circuit Court	Worker's Compensation	VACO INSURANCE PROGRAMS	49.00
100-4021600-5210	Clerk of Circuit Court	Postal Services	PETTY CASH, CLERK OF COUR	451.88
100-4021600-5210	Clerk of Circuit Court	Postal Services	PETTY CASH, CLERK OF COUR	114.00
100-4021600-6001	Clerk of Circuit Court	Office Supplies	OFFICE DEPOT	24.19
100-4021600-6001	Clerk of Circuit Court	Office Supplies	OFFICE DEPOT	16.81
100-4021600-6001	Clerk of Circuit Court	Office Supplies	OFFICE DEPOT	53.54
100-4021600-6001	Clerk of Circuit Court	Office Supplies	PETTY CASH, CLERK OF COUR	52.41
100-4021600-6001	Clerk of Circuit Court	Office Supplies	SUPPLY ROOM COMPANIE	996.86
100-4021600-6001	Clerk of Circuit Court	Office Supplies	OFFICE DEPOT	19.29
100-4021600-6012	Clerk of Circuit Court	Books & Subscriptions	OFFICE DEPOT	114.51
100-4021600-6012	Clerk of Circuit Court	Books & Subscriptions	CASKIE GRAPHICS	430.68
100-4021600-6012	Clerk of Circuit Court	Books & Subscriptions	MOUNTAIN VIEW LEASING, IN	241.38
Account 4021600 Total:				2,916.15
100-4022100-2300	Commonwealth's Attorney	Hospital/Medical Plan	CORVESTA SERVICES, INC	171.60
100-4022100-2700	Commonwealth's Attorney	Worker's Compensation	VACO INSURANCE PROGRAMS	55.00
100-4022100-3320	Commonwealth's Attorney	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	216.01
100-4022100-3320	Commonwealth's Attorney	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	207.53
100-4022100-5120	Commonwealth's Attorney	Heating Services	ROANOKE GAS COMPANY	79.84
100-4022100-5130	Commonwealth's Attorney	Water and Sewer	WESTERN VIRGINIA WATER AU	48.32
100-4022100-5230	Commonwealth's Attorney	Telecommunications	BRANSCOM, JOEL	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	ALEXANDER, JOHN	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	DEEGAN, GILLIAN	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	HAMMOND, LETHIA	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	GILLILAND, HEATHER	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	NAPIER, MIRANDA	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	SEIBEL, LINDA	250.00
100-4022100-5230	Commonwealth's Attorney	Telecommunications	PERRY, MAGGI	250.00
100-4022100-5420	Commonwealth's Attorney	Lease/Rent of Buildings	BANK OF FINCASTLE	1,832.00
100-4022100-6001	Commonwealth's Attorney	Office Supplies	VIRGINIA OFFICE SUPP	7.19
100-4022100-6001	Commonwealth's Attorney	Office Supplies	SUPPLY ROOM COMPANIE	154.95
Account 4022100 Total:				4,772.44
100-4031200-2300	Sheriff	Hospital/Medical Plan	CORVESTA SERVICES, INC	1,372.80
100-4031200-2500	Sheriff	Disability Insurance	VACO INSURANCE PROGRAMS	13.21
100-4031200-2700	Sheriff	Worker's Compensation	VACO INSURANCE PROGRAMS	5,497.00
100-4031200-3100	Sheriff	Professional Services	CHIEF MEDICAL EXAMINER	20.00
100-4031200-3100	Sheriff	Professional Services	BOTETOURT FUNERAL HOME	2,500.00
100-4031200-3311	Sheriff	Repairs & Maint - Equipment	GLASS AMERICA MIDWEST	176.27
100-4031200-3311	Sheriff	Repairs & Maint - Equipment	COMSONICS	271.05
100-4031200-3311	Sheriff	Repairs & Maint - Equipment	PROFESSIONAL COMMUNICATIO	122.88
100-4031200-3311	Sheriff	Repairs & Maint - Equipment	PROFESSIONAL COMMUNICATIO	125.00
100-4031200-3311	Sheriff	Repairs & Maint - Equipment	PETTY CASH, RONALD N SPRI	139.72
100-4031200-3311	Sheriff	Repairs & Maint - Equipment	SURE-FLO	225.00
100-4031200-3320	Sheriff	Maint Service Contracts	AUTOMOTIVE WIRING AND INS	200.00
100-4031200-3320	Sheriff	Maint Service Contracts	US BANCORP EQUIPMENT FINA	139.81
100-4031200-3320	Sheriff	Maint Service Contracts	CANON SOLUTIONS AMERICA,	26.62

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4031200-5540	Sheriff	Convention & Education	PUBLIC AGENCY TRAINING CO	590.00
100-4031200-5830	Sheriff	RAID Patrol	CANON SOLUTIONS AMERICA,	26.62
100-4031200-5850	Sheriff	Crime Prevention	RICE SIGNS LLC	743.80
100-4031200-5850	Sheriff	Crime Prevention	VISA	127.80
100-4031200-5850	Sheriff	Crime Prevention	BOTETOVRT TECHNICAL EDUCA	109.93
100-4031200-6001	Sheriff	Office Supplies	SUPPLY ROOM COMPANIE	23.68
100-4031200-6001	Sheriff	Office Supplies	VISA	357.50
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	OFFICE DEPOT	16.98
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	INTERSTATE BATTERY SYSTEM	116.95
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	AUTO PLUS	190.99
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	FISHER AUTO PARTS INC	17.91
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	THOMPSON TIRE	813.78
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	THOMPSON TIRE	1,074.15
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	GCR TIRE & SERVICE	371.24
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	MSC INDUSTRIAL SUPPLY CO	70.81
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS	14.24
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS	24.49
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	ANCHOR	320.00
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	ANCHOR	320.00
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	GCR TIRE & SERVICE	462.00
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	PETTY CASH, RONALD N SPRI	166.39
100-4031200-6010	Sheriff	Police Supplies	PRINTECH	1,234.62
100-4031200-6011	Sheriff	Uniforms & Wearing Apparel	BOB BARKER COMPANY	323.94
100-4031200-6011	Sheriff	Uniforms & Wearing Apparel	BKT UNIFORMS	55.98
100-4031200-6011	Sheriff	Uniforms & Wearing Apparel	BKT UNIFORMS	115.47
100-4031200-6011	Sheriff	Uniforms & Wearing Apparel	BKT UNIFORMS	18.99
100-4031200-6011	Sheriff	Uniforms & Wearing Apparel	BKT UNIFORMS	62.99
100-4031200-6012	Sheriff	Books & Subscriptions	MATTHEW BENDER & CO	21.94
100-4031200-6014	Sheriff	Other Operating Supplies	DOLLAR GENERAL	10.65
100-4031200-6014	Sheriff	Other Operating Supplies	LEXISNEXIS	50.00
100-4031200-6014	Sheriff	Other Operating Supplies	CAHOON'S FLORIST	154.16
100-4031200-6014	Sheriff	Other Operating Supplies	EQUIFAX CREDIT INFORMATIO	103.26
100-4031200-6014	Sheriff	Other Operating Supplies	LANGUAGE LINE SERVICES	6.64
100-4031200-6015	Sheriff	Firing Range Expenses	TIDY SERVICES	60.00
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	SHEEHY AUTO STORES	420.32
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	SHEEHY AUTO STORES	2,600.51
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	SHEEHY AUTO STORES	2,600.51
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	SHEEHY AUTO STORES	2,600.51
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	SHEEHY AUTO STORES	2,600.51
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	SHEEHY AUTO STORES	2,600.51
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	AUTOMOTIVE WIRING AND INS	1,200.00
100-4031200-8005	Sheriff	Cap Otly - Mtr Veh/Eqp	AUTOMOTIVE WIRING AND INS	1,400.00
Account 4031200 Total:				35,030.13
100-4031700-2300	Dispatch	Hospital/Medical Plan	CORVESTA SERVICES, INC	314.60
100-4031700-2500	Dispatch	Disability Insurance	VACO INSURANCE PROGRAMS	56.39
100-4031700-2700	Dispatch	Worker's Compensation	VACO INSURANCE PROGRAMS	63.00
100-4031700-3320	Dispatch	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	141.97
100-4031700-3320	Dispatch	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	147.79
100-4031700-5540	Dispatch	Convention & Education	PETTY CASH, RONALD N SPRI	14.00
100-4031700-5810	Dispatch	Dues & Assoc Memberships	APCO INTERNATIONAL	184.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4031700-8001	Dispatch	Cap Otlly - Mach & Equip	VISA	798.00
Account 4031700 Total:				1,719.75
100-4032200-3180	Volunteer Fire & Rescue	Instruction/Training	JONES & BARTLETT LEARNING	2,280.00
100-4032200-3180	Volunteer Fire & Rescue	Instruction/Training	VDFF: FIRE PUBLICATIONS B	130.80
100-4032200-3320	Volunteer Fire & Rescue	Maint Service Contracts	JACKSON, LEATA	820.00
100-4032200-3320	Volunteer Fire & Rescue	Maint Service Contracts	AIRGAS MID AMERICA	89.56
100-4032200-3320	Volunteer Fire & Rescue	Maint Service Contracts	AIRGAS MID AMERICA	14.60
100-4032200-3320	Volunteer Fire & Rescue	Maint Service Contracts	BIOMEDICAL ALTERNATIVES	2,160.00
100-4032200-5302	Volunteer Fire & Rescue	Fire Insurance	HUGH'S BODY SHOP	524.00
100-4032200-5302	Volunteer Fire & Rescue	Fire Insurance	GLATFELTER INSURANCE GROU	13,807.00
100-4032200-5302	Volunteer Fire & Rescue	Fire Insurance	GLATFELTER INSURANCE GROU	19,544.00
100-4032200-5651	Volunteer Fire & Rescue	County Vol Resc Squads	CRAIG-BOTETOURT ELECTRIC	29.12
100-4032200-6004	Volunteer Fire & Rescue	Medical & Laboratory Supplies	BOUND TREE MEDICAL	458.79
100-4032200-6004	Volunteer Fire & Rescue	Medical & Laboratory Supplies	PHYSIO-CONTROL, INC.	471.01
100-4032200-6004	Volunteer Fire & Rescue	Medical & Laboratory Supplies	BOUND TREE MEDICAL	132.90
100-4032200-6011	Volunteer Fire & Rescue	Uniforms & Wearing Apparel	MUNICIPAL EMERGENCY SERVI	768.42
100-4032200-6011	Volunteer Fire & Rescue	Uniforms & Wearing Apparel	MUNICIPAL EMERGENCY SERVI	233.23
100-4032200-8001	Volunteer Fire & Rescue	Cap Otlly - Mach & Equip	MAPTOOLS	107.05
100-4032200-8001	Volunteer Fire & Rescue	Cap Otlly - Mach & Equip	VISA	139.90
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	BLUE RIDGE VOLUNTEER FIRE	3,450.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	BLUE RIDGE RESCUE SQUAD	2,100.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	TROUTVILLE VOLUNTEER FIRE	5,700.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	BUCHANAN VOLUNTEER FIRE D	5,175.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	BUCHANAN RESCUE SQUAD	600.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	FINCASTLE VOLUNTEER FIRE	4,950.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	FINCASTLE RESCUE SQUAD	2,325.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	EAGLE ROCK VOLUNTEER FIRE	3,825.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	EAGLE ROCK RESCUE SQUAD	3,375.00
100-4032200-8012	Volunteer Fire & Rescue	Cap Otlly - Othr Capital	GLEN WILTON VOLUNTEER FIR	3,150.00
Account 4032200 Total:				76,360.38
100-4033100-2300	Correction and Detention	Hospital/Medical Plan	CORVESTA SERVICES, INC	1,430.02
100-4033100-2500	Correction and Detention	Disability Insurance	VACO INSURANCE PROGRAMS	12.25
100-4033100-2700	Correction and Detention	Worker's Compensation	VACO INSURANCE PROGRAMS	4,177.00
100-4033100-3100	Correction and Detention	Professional Services	CENTER FOR EMOTIONAL WELL	2,622.75
100-4033100-3100	Correction and Detention	Professional Services	VESS JR, DR FREMONT	819.00
100-4033100-3311	Correction and Detention	Repairs & Maint - Equipment	ROTO-ROOTER	315.00
100-4033100-3320	Correction and Detention	Maint Service Contracts	BOTETOURT PEST CONTROL	168.00
100-4033100-3320	Correction and Detention	Maint Service Contracts	WATER CHEMISTRY	145.00
100-4033100-3320	Correction and Detention	Maint Service Contracts	CANON SOLUTIONS AMERICA,	21.75
100-4033100-3320	Correction and Detention	Maint Service Contracts	CANON SOLUTIONS AMERICA,	51.70
100-4033100-3320	Correction and Detention	Maint Service Contracts	CANON SOLUTIONS AMERICA,	26.62
100-4033100-5130	Correction and Detention	Water and Sewer	WESTERN VIRGINIA WATER AU	5,230.27
100-4033100-6001	Correction and Detention	Office Supplies	VISA	311.05
100-4033100-6001	Correction and Detention	Office Supplies	ROANOKE STAMP	16.05
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	US FOOD SERVICE	3,602.46
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	US FOOD SERVICE	4,361.25
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	US FOOD SERVICE	4,517.46
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	FLOWERS BAKING CO	130.83

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	FLOWERS BAKING CO	146.04
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	DEPARTMENT OF CORRECTIONS	153.75
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	DEPARTMENT OF CORRECTIONS	170.50
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	DEPARTMENT OF CORRECTIONS	240.65
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	DEPARTMENT OF CORRECTIONS	487.20
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	DEPARTMENT OF CORRECTIONS	499.80
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	DEPARTMENT OF CORRECTIONS	426.30
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	US FOOD SERVICE	1,489.78
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	US FOOD SERVICE	4,671.35
100-4033100-6002	Correction and Detention	Food Supplies & Fd Serv Supplies	FLOWERS BAKING CO	109.08
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	WESTWOOD PHARMACY CLINICA	5,314.97
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	LABCORP	1,265.50
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	DOLLAR GENERAL	25.80
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	MOORE MEDICAL CORP	333.14
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	DOWNHOME PHARMACY	259.31
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	MOORE MEDICAL CORP	101.00
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	WALMART COMMUNITY BRC	14.41
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	ADVANCED HOME CARE	13.00
100-4033100-6004	Correction and Detention	Medical & Laboratory Supplies	ADVANCED HOME CARE	150.00
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	BOB BARKER COMPANY	241.36
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	DIAMOND PAPER CO	167.68
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	DIAMOND PAPER CO	198.36
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	DIAMOND PAPER CO	104.98
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	DIAMOND PAPER CO	216.17
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	HAMCO	316.59
100-4033100-6005	Correction and Detention	Laundry, Hskpg, Janitor Supplies	BRAME SPECIALTY COMPANY	701.42
100-4033100-6010	Correction and Detention	Police Supplies	PROFESSIONAL COMMUNICATIO	563.80
100-4033100-6011	Correction and Detention	Uniforms & Wearing Apparel	BKT UNIFORMS	82.98
100-4033100-6014	Correction and Detention	Other Operating Supplies	VISA	100.00
100-4033100-8001	Correction and Detention	Cap Otlly - Mach & Equip	ESITECH	325.00
100-4033100-8001	Correction and Detention	Cap Otlly - Mach & Equip	SOUTHERN MAINTENANCE SUPP	264.60
100-4033100-8001	Correction and Detention	Cap Otlly - Mach & Equip	S3 INTEGRATION, LLC	85,200.89
100-4033100-8007	Correction and Detention	Cap Otlly - EDP Equipmt	VISA	747.06
			Account 4033100 Total:	133,060.93
100-4033200-3800	Juvenile Detention Center	Prch of Serv frm Othr Gov Entities	ROANOKE VALLEY JUVENILE D	6,825.00
			Account 4033200 Total:	6,825.00
100-4034000-2300	Dept of Community Development	Hospital/Medical Plan	CORVESTA SERVICES, INC	228.80
100-4034000-2500	Dept of Community Development	Disability Insurance	VACO INSURANCE PROGRAMS	64.86
100-4034000-2700	Dept of Community Development	Worker's Compensation	VACO INSURANCE PROGRAMS	762.00
100-4034000-3100	Dept of Community Development	Professional Services	RKG ASSOCIATES INC	11,771.70
100-4034000-3194	Dept of Community Development	Stormwater Management	DEPARTMENT OF ENVIRONMENT	756.00
100-4034000-3312	Dept of Community Development	Repairs & Maint - Vehicles	SPRINKEL'S TOWING, LLC	16.00
100-4034000-3312	Dept of Community Development	Repairs & Maint - Vehicles	ADVANCE AUTO PARTS	104.24
100-4034000-3320	Dept of Community Development	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	356.87
100-4034000-3320	Dept of Community Development	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	221.96
100-4034000-3500	Dept of Community Development	Printing & Binding	DIGITAL IMAGE PRINTING	45.00
100-4034000-3500	Dept of Community Development	Printing & Binding	ROANOKE STAMP	29.40
100-4034000-3600	Dept of Community Development	Advertising	MONTGOMERY PUBLISHING, LL	1,425.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4034000-5230	Dept of Community Development	Telecommunications	KING, BRANDON	60.00
100-4034000-5230	Dept of Community Development	Telecommunications	GAULDIN, PATRICK	60.00
100-4034000-5230	Dept of Community Development	Telecommunications	GIVENS, DAVID	60.00
100-4034000-5230	Dept of Community Development	Telecommunications	PENDLETON, NICOLE	60.00
100-4034000-5510	Dept of Community Development	Mileage	FOSTER, SAM	64.27
100-4034000-5510	Dept of Community Development	Mileage	NICELY JR, HIAWATHA	18.98
100-4034000-5510	Dept of Community Development	Mileage	KIDD, STEVEN L	36.80
100-4034000-5510	Dept of Community Development	Mileage	THURMAN, WILLIAM	43.26
100-4034000-5510	Dept of Community Development	Mileage	GRIFFIN, JOHN W	3.45
100-4034000-5510	Dept of Community Development	Mileage	SCOTHORN, DONALD	28.75
100-4034000-5510	Dept of Community Development	Mileage	CALDWELL, J SCOTT	20.42
100-4034000-5510	Dept of Community Development	Mileage	CASH, S E "GENE"	46.23
100-4034000-5510	Dept of Community Development	Mileage	YOUNG, HUNTER	12.19
100-4034000-5510	Dept of Community Development	Mileage	VAUGHN, STEVE	36.00
100-4034000-6001	Dept of Community Development	Office Supplies	VIRGINIA OFFICE SUPP	86.27
100-4034000-6001	Dept of Community Development	Office Supplies	OFFICE DEPOT	44.64
100-4034000-6001	Dept of Community Development	Office Supplies	MOUNTAIN SPRINGS	13.00
100-4034000-6001	Dept of Community Development	Office Supplies	SUPPLY ROOM COMPANIE	143.96
100-4034000-6001	Dept of Community Development	Office Supplies	GOAD, LAURA	28.61
100-4034000-6001	Dept of Community Development	Office Supplies	DOLLAR GENERAL	5.45
100-4034000-6011	Dept of Community Development	Uniforms & Wearing Apparel	BLUE RIDGE MARKETING	159.05
100-4034000-6011	Dept of Community Development	Uniforms & Wearing Apparel	BLUE RIDGE MARKETING	130.78
Account 4034000 Total:				16,943.94
100-4035100-2300	Animal Control	Hospital/Medical Plan	CORVESTA SERVICES, INC	85.80
100-4035100-2700	Animal Control	Worker's Compensation	VACO INSURANCE PROGRAMS	334.00
100-4035100-3100	Animal Control	Professional Services	COUNTY OF ROANOKE	14,637.67
100-4035100-6001	Animal Control	Office Supplies	DIGITAL IMAGE PRINTING	235.95
100-4035100-6004	Animal Control	Medical & Laboratory Supplies	EMERGENCY VETERINARY SERV	46.12
Account 4035100 Total:				15,339.54
100-4035500-2300	Fire & EMS	Hospital/Medical Plan	CORVESTA SERVICES, INC	915.20
100-4035500-2700	Fire & EMS	Worker's Compensation	VACO INSURANCE PROGRAMS	11,667.00
100-4035500-3100	Fire & EMS	Professional Services	SAFETY & COMPLIANCE SERVI	114.00
100-4035500-3100	Fire & EMS	Professional Services	SAFETY & COMPLIANCE SERVI	115.50
100-4035500-3160	Fire & EMS	Pymt for Collection Ser	EMS MANAGEMENT & CONSULTA	3,407.65
100-4035500-3311	Fire & EMS	Repairs & Maint - Equipment	BATTERIES PLUS	18.72
100-4035500-3311	Fire & EMS	Repairs & Maint - Equipment	LOWE'S HOME CENTERS	9.00
100-4035500-3311	Fire & EMS	Repairs & Maint - Equipment	VISA	396.00
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	BOTETOURT TECHNICAL EDUCA	436.05
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	LOWE'S HOME CENTERS	75.94
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	THOMPSON TIRE	610.88
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	GCR TIRE & SERVICE	371.24
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	ADVANCE AUTO PARTS	2.76
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	ADVANCE AUTO PARTS	17.05
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	ADVANCE AUTO PARTS	33.98
100-4035500-3312	Fire & EMS	Repairs & Maint - Vehicles	INTERSTATE BATTERY SYSTEM	70.14
100-4035500-3320	Fire & EMS	Maint Service Contracts	MOUNTAIN SPRINGS	19.50
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	75.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	635.10

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	513.60
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	102.01
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	220.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	250.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	473.83
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	250.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	100.87
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	586.70
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	463.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	300.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	454.20
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	250.00
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	504.20
100-4035500-3800	Fire & EMS	Prch of Serv frm Othr Gov Entities	ROANOKE COUNTY FIRE AND R	147.52
100-4035500-5230	Fire & EMS	Telecommunications	ANDREWS, THOMAS	30.00
100-4035500-5230	Fire & EMS	Telecommunications	GOYER, JEREMY	30.00
100-4035500-5230	Fire & EMS	Telecommunications	HARRIS, MICHAEL	30.00
100-4035500-5230	Fire & EMS	Telecommunications	HARTBERGER, RYAN	30.00
100-4035500-5230	Fire & EMS	Telecommunications	HENDERSON, GEARLD	30.00
100-4035500-5230	Fire & EMS	Telecommunications	HOLDEN, GARY	30.00
100-4035500-5230	Fire & EMS	Telecommunications	HUMBERT, HELEN	30.00
100-4035500-5230	Fire & EMS	Telecommunications	JOHNSON JR, ROBERT	30.00
100-4035500-5230	Fire & EMS	Telecommunications	KOVAR, RONALD J	30.00
100-4035500-5230	Fire & EMS	Telecommunications	LEONARD, FRANK	30.00
100-4035500-5230	Fire & EMS	Telecommunications	MCPEAK, MARY	30.00
100-4035500-5230	Fire & EMS	Telecommunications	ANTHONY, DOUGLAS	30.00
100-4035500-5230	Fire & EMS	Telecommunications	MOORE, ANDREW	30.00
100-4035500-5230	Fire & EMS	Telecommunications	MURRAY, DANIEL	30.00
100-4035500-5230	Fire & EMS	Telecommunications	PATTERSON, CRISTA	30.00
100-4035500-5230	Fire & EMS	Telecommunications	RODGERS, JON	30.00
100-4035500-5230	Fire & EMS	Telecommunications	SALYER, JERRY	30.00
100-4035500-5230	Fire & EMS	Telecommunications	SAUNDERS, BRANDON	30.00
100-4035500-5230	Fire & EMS	Telecommunications	SCRUGGS, PATRICK	30.00
100-4035500-5230	Fire & EMS	Telecommunications	SMITH, ADAM	30.00
100-4035500-5230	Fire & EMS	Telecommunications	WILES, IAN	30.00
100-4035500-5230	Fire & EMS	Telecommunications	BECKNER, JEFFREY	135.00
100-4035500-5230	Fire & EMS	Telecommunications	BLACK, CAMILLE	30.00
100-4035500-5230	Fire & EMS	Telecommunications	FIRESTONE, DAVID	135.00
100-4035500-5230	Fire & EMS	Telecommunications	FITZGERALD, CLAY	90.00
100-4035500-5230	Fire & EMS	Telecommunications	PUGH, SARAH	60.00
100-4035500-5230	Fire & EMS	Telecommunications	BUNN, JUSTIN	30.00
100-4035500-5230	Fire & EMS	Telecommunications	CALHOUN, JAMES	30.00
100-4035500-5230	Fire & EMS	Telecommunications	EAST, JACLYN	30.00
100-4035500-5230	Fire & EMS	Telecommunications	ELMORE, JEFF	30.00
100-4035500-5230	Fire & EMS	Telecommunications	GILLISPIE, DOUG	30.00
100-4035500-5230	Fire & EMS	Telecommunications	GOLLA, BRANDON L	30.00
100-4035500-5230	Fire & EMS	Telecommunications	VERIZON WIRELESS	40.01
100-4035500-5530	Fire & EMS	Subsistence & Lodging	VISA	245.31
100-4035500-5530	Fire & EMS	Subsistence & Lodging	GUEST SERVICES	125.20
100-4035500-5530	Fire & EMS	Subsistence & Lodging	GUEST SERVICES	167.32
100-4035500-6001	Fire & EMS	Office Supplies	VISA	108.14
100-4035500-6001	Fire & EMS	Office Supplies	DIGITAL IMAGE PRINTING	20.75

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4035500-6001	Fire & EMS	Office Supplies	SUPPLY ROOM COMPANIE	92.97
100-4035500-6008	Fire & EMS	Vehicle & Pwr Equip Fuels	VISA	27.33
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	RICKMAN, JAMES A	125.00
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	SUPER SHOE STORES	62.99
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	SYMBOLARTS	690.00
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	BKT UNIFORMS	413.94
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	FIRST DUE GEAR	83.50
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	CHALAINE	608.00
100-4035500-6011	Fire & EMS	Uniforms & Wearing Apparel	BKT UNIFORMS	15.98
100-4035500-6014	Fire & EMS	Other Operating Supplies	AMAZON.COM CREDIT	11.70
100-4035500-6014	Fire & EMS	Other Operating Supplies	SIGN DESIGN	156.17
100-4035500-6014	Fire & EMS	Other Operating Supplies	ADVANCE AUTO PARTS	150.00
100-4035500-6014	Fire & EMS	Other Operating Supplies	DIAMOND PAPER CO	44.93
100-4035500-6014	Fire & EMS	Other Operating Supplies	DIAMOND PAPER CO	56.36
100-4035500-6014	Fire & EMS	Other Operating Supplies	DIAMOND PAPER CO	108.47
100-4035500-6014	Fire & EMS	Other Operating Supplies	CAHOON'S FLORIST	40.00
100-4035500-8002	Fire & EMS	Cap Otlly - Furn & Fixt	FITNESS FACTORY OUTLET	1,605.50
100-4035500-8002	Fire & EMS	Cap Otlly - Furn & Fixt	FITNESS FACTORY OUTLET	239.00
Account 4035500 Total:				30,105.21
100-4035600-3311	Emergency Communications	Repairs & Maint - Equipment	MOTOROLA SOLUTIONS	565.00
100-4035600-3311	Emergency Communications	Repairs & Maint - Equipment	MOTOROLA SOLUTIONS	1,019.75
100-4035600-3311	Emergency Communications	Repairs & Maint - Equipment	INNOVATIVE PRODUCTS,INC	635.18
100-4035600-3320	Emergency Communications	Maint Service Contracts	PROFESSIONAL COMMUNICATIO	5,783.50
100-4035600-5410	Emergency Communications	Lease/Rent of Equipment	TOWN OF FINCASTLE	1,451.88
100-4035600-5410	Emergency Communications	Lease/Rent of Equipment	BOTETOURT LAND HOLDING II	2,733.81
100-4035600-5410	Emergency Communications	Lease/Rent of Equipment	BOTETOURT LAND HOLDING II	1,398.22
100-4035600-5420	Emergency Communications	Lease/Rent of Buildings	BOTETOURT LAND HOLDING II	216.00
Account 4035600 Total:				13,803.34
100-4040000-2300	General Services	Hospital/Medical Plan	CORVESTA SERVICES, INC	85.80
100-4040000-2500	General Services	Disability Insurance	VACO INSURANCE PROGRAMS	16.23
100-4040000-2700	General Services	Worker's Compensation	VACO INSURANCE PROGRAMS	564.00
100-4040000-3312	General Services	Repairs & Maint - Vehicles	VISA	5.00
100-4040000-3320	General Services	Maint Service Contracts	SOUTHERN GRAPHICS & SUPPL	210.00
100-4040000-3320	General Services	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	118.61
100-4040000-3320	General Services	Maint Service Contracts	SOUTHERN GRAPHICS & SUPPL	210.00
100-4040000-3320	General Services	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	118.67
100-4040000-3320	General Services	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	268.10
100-4040000-5230	General Services	Telecommunications	ASBURY, DIANA	60.00
100-4040000-6001	General Services	Office Supplies	MOUNTAIN SPRINGS	26.00
100-4040000-8012	General Services	Cap Otlly - Othr Capital	KORMAN SIGNS	197.04
Account 4040000 Total:				1,879.45
100-4042400-2300	Waste Management	Hospital/Medical Plan	CORVESTA SERVICES, INC	114.40
100-4042400-2700	Waste Management	Worker's Compensation	VACO INSURANCE PROGRAMS	714.00
100-4042400-3100	Waste Management	Professional Services	ADVANCED ENGINEERING SERV	325.00
100-4042400-3100	Waste Management	Professional Services	REIC LABS	1,323.03
100-4042400-3191	Waste Management	Refuse Disposal	CITY OF SALEM	5,571.39

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4042400-3192	Waste Management	Recycling	ADVANCED DISPOSAL	16,500.00
100-4042400-3312	Waste Management	Repairs & Maint - Vehicles	BOTETOURT TRUCK & TRAILER	7,655.61
100-4042400-5230	Waste Management	Telecommunications	HANNAH, GREGORY W	60.00
100-4042400-5230	Waste Management	Telecommunications	KITT, MARK A	60.00
100-4042400-6009	Waste Management	Vehicle & Pwr Equip Supplies	BASHAM OIL COMPANY	381.56
100-4042400-6009	Waste Management	Vehicle & Pwr Equip Supplies	GRAINGER	5.48
Account 4042400 Total:				32,710.47
100-4043000-2300	Maint of Gen Bldg & Grounds	Hospital/Medical Plan	CORVESTA SERVICES, INC	200.20
100-4043000-2700	Maint of Gen Bldg & Grounds	Worker's Compensation	VACO INSURANCE PROGRAMS	602.00
100-4043000-3100	Maint of Gen Bldg & Grounds	Professional Services	CARTER MACHINERY	1,435.88
100-4043000-3191	Maint of Gen Bldg & Grounds	Refuse Disposal	ADVANCED DISPOSAL	467.50
100-4043000-3191	Maint of Gen Bldg & Grounds	Refuse Disposal	ADVANCED DISPOSAL	192.50
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	DUNBAR, ROGER	150.00
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	MORGAN, JOHN T SHEET META	331.00
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	MORGAN, JOHN T SHEET META	236.00
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	CARTER MACHINERY	534.38
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	MECHANICAL MAINTENAN	815.00
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	OVERHEAD DOOR COMPANY OF	138.00
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	MORGAN, JOHN T SHEET META	217.00
100-4043000-3311	Maint of Gen Bldg & Grounds	Repairs & Maint - Equipment	MORGAN, JOHN T SHEET META	143.00
100-4043000-3313	Maint of Gen Bldg & Grounds	Repair & Maint - Bldgs	GRAINGER	77.33
100-4043000-3320	Maint of Gen Bldg & Grounds	Maint Service Contracts	SCRUBZ PROCLEANING	354.00
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	DOMINION VIRGINIA POWER	239.95
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	ROANOKE GAS COMPANY	109.87
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	ROANOKE GAS COMPANY	136.06
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	ROANOKE GAS COMPANY	750.27
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	ROANOKE GAS COMPANY	209.21
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	ROANOKE GAS COMPANY	59.89
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	SUBURBAN PROPANE	75.82
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	SUBURBAN PROPANE	75.82
100-4043000-5120	Maint of Gen Bldg & Grounds	Heating Services	SUBURBAN PROPANE	72.00
100-4043000-5130	Maint of Gen Bldg & Grounds	Water and Sewer	WESTERN VIRGINIA WATER AU	48.42
100-4043000-5130	Maint of Gen Bldg & Grounds	Water and Sewer	WESTERN VIRGINIA WATER AU	46.70
100-4043000-5130	Maint of Gen Bldg & Grounds	Water and Sewer	WESTERN VIRGINIA WATER AU	91.16
100-4043000-5130	Maint of Gen Bldg & Grounds	Water and Sewer	WESTERN VIRGINIA WATER AU	59.44
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	BELCHER, HELEN	60.00
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	BURRELL JR, CLARENCE W	60.00
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	HIPPERT, TONYA	60.00
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	MARSH, DOUGLAS	60.00
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	PANNELL SR, JERRY	60.00
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	WARNOCK, BILLY	60.00
100-4043000-6005	Maint of Gen Bldg & Grounds	Laundry, Hskpg, Janitor Supplies	OFFICE DEPOT	65.74
100-4043000-6005	Maint of Gen Bldg & Grounds	Laundry, Hskpg, Janitor Supplies	ALSCO	203.44
100-4043000-6005	Maint of Gen Bldg & Grounds	Laundry, Hskpg, Janitor Supplies	DIAMOND PAPER CO	633.07
100-4043000-6005	Maint of Gen Bldg & Grounds	Laundry, Hskpg, Janitor Supplies	DIAMOND PAPER CO	206.76
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	VISA	18.00
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	73.12
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	40.74
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	157.29
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	60.64

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	110.34
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	23.73
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	43.13
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	LOWE'S HOME CENTERS	20.91
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	ROANOKE ELECTRIC ZUPPLY	398.95
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	ROANOKE ELECTRIC ZUPPLY	132.00
100-4043000-6007	Maint of Gen Bldg & Grounds	Repair & Maint Supplies	FINCASTLE CONSULTING	90.50
100-4043000-6011	Maint of Gen Bldg & Grounds	Uniforms & Wearing Apparel	SUPER SHOE STORES	103.48
100-4043000-8005	Maint of Gen Bldg & Grounds	Cap Otly - Mtr Veh/Equip	AUTO PLUS	69.99
Account 4043000 Total:				10,680.23
100-4052500-3800	Mental Health Serv Bd	Prch of Serv frm Othr Gov Entities	BLUE RIDGE BEHAVIORAL HEA	38,743.00
Account 4052500 Total:				38,743.00
100-4053500-2300	Children's Services (CSA)	Hospital/Medical Plan	CORVESTA SERVICES, INC	28.60
100-4053500-2500	Children's Services (CSA)	Disability Insurance	VACO INSURANCE PROGRAMS	15.49
100-4053500-2700	Children's Services (CSA)	Worker's Compensation	VACO INSURANCE PROGRAMS	45.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE BEHAVIORAL HEA	800.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE BEHAVIORAL HEA	326.50
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE BEHAVIORAL HEA	252.00
100-4053500-3100	Children's Services (CSA)	Professional Services	UNITED METHODIST FAMILY S	1,764.00
100-4053500-3100	Children's Services (CSA)	Professional Services	UNITED METHODIST FAMILY S	4,356.00
100-4053500-3100	Children's Services (CSA)	Professional Services	DISCOVERY SCHOOL OF VIRGI	5,400.00
100-4053500-3100	Children's Services (CSA)	Professional Services	DISCOVERY SCHOOL OF VIRGI	5,400.00
100-4053500-3100	Children's Services (CSA)	Professional Services	GIFT OF HOPE	4,830.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE BEHAVIORAL HEA	500.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE AUTISM & ACHIE	4,930.00
100-4053500-3100	Children's Services (CSA)	Professional Services	LUTHERAN FAMILY SERVICES	4,860.00
100-4053500-3100	Children's Services (CSA)	Professional Services	LUTHERAN FAMILY SERVICES	3,240.00
100-4053500-3100	Children's Services (CSA)	Professional Services	LUTHERAN FAMILY SERVICES	3,240.00
100-4053500-3100	Children's Services (CSA)	Professional Services	LUTHERAN FAMILY SERVICES	5,580.00
100-4053500-3100	Children's Services (CSA)	Professional Services	FISHER, MAURICE	90.00
100-4053500-3100	Children's Services (CSA)	Professional Services	YOUTH ADVOCATE PROGRAMS	1,840.00
100-4053500-3100	Children's Services (CSA)	Professional Services	PROFESSIONAL THERAPIES	2,281.25
100-4053500-3100	Children's Services (CSA)	Professional Services	RICKMAN, RYAN	322.00
100-4053500-3100	Children's Services (CSA)	Professional Services	INTERCEPT YOUTH SERVICES	1,740.00
100-4053500-3100	Children's Services (CSA)	Professional Services	HALL COMMUNITY SERVICES	752.50
100-4053500-3100	Children's Services (CSA)	Professional Services	BLUE RIDGE BEHAVIORAL HEA	1,000.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTER FOR PEDIATRIC THER	480.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTER FOR PEDIATRIC THER	720.00
100-4053500-3100	Children's Services (CSA)	Professional Services	HOPE TREE FAMILY SERVICES	6,696.00
100-4053500-3100	Children's Services (CSA)	Professional Services	FAMILY INSIGHT, PC	1,920.00
100-4053500-3100	Children's Services (CSA)	Professional Services	INTERCEPT YOUTH SERVICES	1,507.00
100-4053500-3100	Children's Services (CSA)	Professional Services	INTERCEPT YOUTH SERVICES	1,001.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTRA HEALTH	3,330.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTRA HEALTH	3,330.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTRA HEALTH	3,150.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTRA HEALTH	3,330.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTRA HEALTH	5,940.00
100-4053500-3100	Children's Services (CSA)	Professional Services	CENTRA HEALTH	3,330.00
100-4053500-6001	Children's Services (CSA)	Office Supplies	OFFICE DEPOT	17.99
100-4053500-6001	Children's Services (CSA)	Office Supplies	SUPPLY ROOM COMPANIE	61.98
			Account 4053500 Total:	117,987.31
100-4071000-2300	Parks & Recreation	Hospital/Medical Plan	CORVESTA SERVICES, INC	228.80
100-4071000-2700	Parks & Recreation	Worker's Compensation	VACO INSURANCE PROGRAMS	1,217.00
100-4071000-3100	Parks & Recreation	Professional Services	SAFETY & COMPLIANCE SERVI	38.50
100-4071000-3180	Parks & Recreation	Instruction/Training	VISA	156.96
100-4071000-3181	Parks & Recreation	Coaches Certification	SOUTHEASTERN SECURITY CON	60.00
100-4071000-3181	Parks & Recreation	Coaches Certification	SOUTHEASTERN SECURITY CON	45.00
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	LOWE'S HOME CENTERS	15.54
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	LOWE'S HOME CENTERS	44.28
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	LOWE'S HOME CENTERS	87.47
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	BLUERIDGE FARM CENTER	198.09
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	LOWE'S HOME CENTERS	48.45
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	ADVANCE AUTO PARTS	2.55
100-4071000-3311	Parks & Recreation	Repairs & Maint - Equipment	ADVANCE AUTO PARTS	1.59
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	LANDSCAPE SUPPLY	120.00
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	LOWE'S HOME CENTERS	15.18
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	BOXLEY AGGREGATES	465.96
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	BOXLEY AGGREGATES	377.91
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	BOXLEY AGGREGATES	222.65
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	LOWE'S HOME CENTERS	184.24
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	LOWE'S HOME CENTERS	87.32
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	AQUATURF	1,360.00
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	PIONEER MANUFACTURING COM	366.50
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	ROYAL OAK FARM, LLC	1,081.10
100-4071000-3313	Parks & Recreation	Repair & Maint - Bldgs	ADVANCE AUTO PARTS	3.87
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	100.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	65.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	50.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	1,650.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	130.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	4,075.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	2,850.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	1,050.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	65.00
100-4071000-3320	Parks & Recreation	Maint Service Contracts	THOMPSON LANDSCAPING	480.00
100-4071000-3800	Parks & Recreation	Prch of Serv frm Othr Gov Entities	FMS INCORPORATED	540.00
100-4071000-5130	Parks & Recreation	Water and Sewer	MOUNTAIN SPRINGS	13.00
100-4071000-5230	Parks & Recreation	Telecommunications	CRAWFORD, ANGELA	60.00
100-4071000-5230	Parks & Recreation	Telecommunications	FIREBAUGH, CHRIS	60.00
100-4071000-5230	Parks & Recreation	Telecommunications	GOAD, PEGGY	60.00
100-4071000-5230	Parks & Recreation	Telecommunications	LALUSH, DAVID M	60.00
100-4071000-5230	Parks & Recreation	Telecommunications	MCCOY, GORDON	60.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4071000-5230	Parks & Recreation	Telecommunications	PETERS JR, RICHARD	40.00
100-4071000-5230	Parks & Recreation	Telecommunications	RATCLIFFE JR, JESSE	60.00
100-4071000-5230	Parks & Recreation	Telecommunications	SPENCE, MICHAEL	60.00
100-4071000-5410	Parks & Recreation	Lease/Rent of Equipment	TIDY SERVICES	130.00
100-4071000-5410	Parks & Recreation	Lease/Rent of Equipment	TIDY SERVICES	20.00
100-4071000-5410	Parks & Recreation	Lease/Rent of Equipment	TIDY SERVICES	75.00
100-4071000-5410	Parks & Recreation	Lease/Rent of Equipment	TIDY SERVICES	195.00
100-4071000-5410	Parks & Recreation	Lease/Rent of Equipment	TIDY SERVICES	130.00
100-4071000-5420	Parks & Recreation	Lease/Rent of Buildings	BRAVO PROPERTIES, LLC	1,500.00
100-4071000-5810	Parks & Recreation	Dues & Assoc Memberships	ROANOKE COUNTY PARKS AND	500.00
100-4071000-5840	Parks & Recreation	Marketing	ROANOKE TIMES	558.40
100-4071000-6001	Parks & Recreation	Office Supplies	OFFICE DEPOT	53.76
100-4071000-6001	Parks & Recreation	Office Supplies	VISA	14.71
100-4071000-6001	Parks & Recreation	Office Supplies	OFFICE DEPOT	27.99
100-4071000-6001	Parks & Recreation	Office Supplies	OFFICE DEPOT	18.84
100-4071000-6003	Parks & Recreation	Agricultural Supplies	ROYAL OAK FARM, LLC	1,211.40
100-4071000-6003	Parks & Recreation	Agricultural Supplies	LANDSCAPE STORE	89.00
100-4071000-6003	Parks & Recreation	Agricultural Supplies	LANDSCAPE SUPPLY	1,350.00
100-4071000-6009	Parks & Recreation	Vehicle & Pwr Equip Supplies	BOTETOVRT TRUCK & TRAILER	151.28
100-4071000-6009	Parks & Recreation	Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS	33.88
100-4071000-6011	Parks & Recreation	Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	81.29
100-4071000-6011	Parks & Recreation	Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	81.29
100-4071000-6011	Parks & Recreation	Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	81.29
100-4071000-6011	Parks & Recreation	Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	81.29
100-4071000-6013	Parks & Recreation	Educ & Rec Supplies	AAA TROPHIES	75.00
			Account 4071000 Total:	24,416.38
100-4071300-2300	Botetourt Sports Complex	Hospital/Medical Plan	CORVESTA SERVICES, INC	85.80
100-4071300-2500	Botetourt Sports Complex	Disability Insurance	VACO INSURANCE PROGRAMS	12.91
100-4071300-2700	Botetourt Sports Complex	Worker's Compensation	VACO INSURANCE PROGRAMS	520.00
100-4071300-3313	Botetourt Sports Complex	Repair & Maint - Bldgs	AQUATURF	340.00
100-4071300-5230	Botetourt Sports Complex	Telecommunications	BRYANT, SHELBY	60.00
100-4071300-5230	Botetourt Sports Complex	Telecommunications	FARMER, JIM	60.00
100-4071300-5230	Botetourt Sports Complex	Telecommunications	THOMPSON, MARCUS	60.00
100-4071300-6003	Botetourt Sports Complex	Agricultural Supplies	LANDSCAPE SUPPLY	540.40
100-4071300-6009	Botetourt Sports Complex	Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS	9.58
100-4071300-6009	Botetourt Sports Complex	Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS	19.01
100-4071300-6014	Botetourt Sports Complex	Other Operating Supplies	BOTETOVRT PEST CONTROL	110.00
			Account 4071300 Total:	1,817.70
100-4071500-2700	Van Program	Worker's Compensation	VACO INSURANCE PROGRAMS	184.00
100-4071500-3100	Van Program	Professional Services	SAFETY & COMPLIANCE SERVI	77.00
100-4071500-5230	Van Program	Telecommunications	JETER, PHYLLIS	60.00
			Account 4071500 Total:	321.00
100-4073100-2300	Library	Hospital/Medical Plan	CORVESTA SERVICES, INC	343.20
100-4073100-2500	Library	Disability Insurance	VACO INSURANCE PROGRAMS	11.14
100-4073100-2700	Library	Worker's Compensation	VACO INSURANCE PROGRAMS	251.00
100-4073100-3100	Library	Professional Services	OCLC, INC	1,024.39

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4073100-3320	Library	Maint Service Contracts	ALSCO	10.08
100-4073100-3320	Library	Maint Service Contracts	BROWN EXTERMINATING	75.00
100-4073100-3320	Library	Maint Service Contracts	BRYANT'S CLEANING	800.00
100-4073100-3320	Library	Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	205.79
100-4073100-3320	Library	Maint Service Contracts	SCRUBZ PROCLEANING	875.00
100-4073100-3800	Library	Prch of Serv frm Othr Gov Entities	COUNTY OF ROANOKE	806.69
100-4073100-5120	Library	Heating Services	ROANOKE GAS COMPANY	196.90
100-4073100-5120	Library	Heating Services	ROANOKE GAS COMPANY	223.65
100-4073100-5130	Library	Water and Sewer	WESTERN VIRGINIA WATER AU	246.58
100-4073100-5130	Library	Water and Sewer	TOWN OF BUCHANAN	115.07
100-4073100-5130	Library	Water and Sewer	WESTERN VIRGINIA WATER AU	108.35
100-4073100-5230	Library	Telecommunications	COMCAST	143.54
100-4073100-5230	Library	Telecommunications	COX COMMUNICATIONS INC.	363.46
100-4073100-5230	Library	Telecommunications	VERIZON	320.65
100-4073100-5230	Library	Telecommunications	VERIZON WIRELESS	80.06
100-4073100-5810	Library	Dues & Assoc Memberships	VIRGINIA LIBRARY ASSOCIAT	285.00
100-4073100-6001	Library	Office Supplies	FSI MID STATE DIV, INC	45.00
100-4073100-6001	Library	Office Supplies	OFFICE DEPOT	114.51
100-4073100-6012	Library	Books & Subscriptions	CENTER POINT PUBLISHING	120.00
100-4073100-6012	Library	Books & Subscriptions	CENTER POINT PUBLISHING	128.22
100-4073100-6012	Library	Books & Subscriptions	AUTOMOBILE	32.00
100-4073100-6012	Library	Books & Subscriptions	BROAD REACH	94.80
100-4073100-6012	Library	Books & Subscriptions	CENTER POINT PUBLISHING	160.14
100-4073100-6012	Library	Books & Subscriptions	GARDEN GATE	39.00
100-4073100-6012	Library	Books & Subscriptions	OVERDRIVE	165.90
100-4073100-6012	Library	Books & Subscriptions	RECORDED BOOKS	161.20
100-4073100-6012	Library	Books & Subscriptions	ROANOKE TIMES	208.00
100-4073100-6012	Library	Books & Subscriptions	RUNNER'S WORLD	26.94
100-4073100-6012	Library	Books & Subscriptions	SELF	24.97
100-4073100-6012	Library	Books & Subscriptions	SOUTHERN LIVING	21.97
100-4073100-6012	Library	Books & Subscriptions	TEI LANDMARK AUDIO	150.75
100-4073100-6012	Library	Books & Subscriptions	TEI LANDMARK AUDIO	89.25
100-4073100-6012	Library	Books & Subscriptions	WALL STREET JOURNAL	395.88
100-4073100-6012	Library	Books & Subscriptions	MICROMARKETING	310.66
100-4073100-6012	Library	Books & Subscriptions	BAKER & TAYLOR	198.60
100-4073100-6012	Library	Books & Subscriptions	GALE GROUP	392.91
100-4073100-6012	Library	Books & Subscriptions	INGRAM	2,831.16
100-4073100-6012	Library	Books & Subscriptions	AMAZON.COM CREDIT	377.25

Account 4073100 Total:				12,574.66
100-4081230	Botetourt Co Chamber of Comrce		BOTETOURT COUNTY CHAMBER	4,500.00

Account 4081230 Total:				4,500.00
100-4081600-2300	Tourism	Hospital/Medical Plan	CORVESTA SERVICES, INC	53.79
100-4081600-2500	Tourism	Disability Insurance	VACO INSURANCE PROGRAMS	19.67
100-4081600-2700	Tourism	Worker's Compensation	VACO INSURANCE PROGRAMS	253.00
100-4081600-3100	Tourism	Professional Services	PARAMORE - THE DIGITAL AG	1,500.00
100-4081600-5210	Tourism	Postal Services	UNITED PARCEL SERVICE	31.61
100-4081600-5210	Tourism	Postal Services	VISA	12.20
100-4081600-5230	Tourism	Telecommunications	TOLEDO, MARIANA	60.00

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4081600-5230	Tourism	Telecommunications	MOORMAN, LISA	60.00
100-4081600-5530	Tourism	Subsistence & Lodging	VISA	314.98
100-4081600-5840	Tourism	Marketing	VISA	239.40
100-4081600-6009	Tourism	Vehicle & Pwr Equip Supplies	VISA	26.00
Account 4081600 Total:				2,570.65
100-4083000-1100	Cooperative Extension Program	Salaries & Wages - Regular	VIRGINIA POLYTECHNIC INST	6,393.98
100-4083000-1300	Cooperative Extension Program	Part-Time Wages - Reg	VIRGINIA POLYTECHNIC INST	2,659.90
100-4083000-2200	Cooperative Extension Program	Retirement	VIRGINIA POLYTECHNIC INST	2,490.88
Account 4083000 Total:				11,544.76
100-4092000-5999	Revenue Refunds	Refunds	EASTMAN, STEPHEN T & VICK	6.22
100-4092000-5999	Revenue Refunds	Refunds	GROOTEN, JOEY D	7.01
100-4092000-5999	Revenue Refunds	Refunds	DZINIC, DZEVAD & KOVILJKA	10.45
100-4092000-5999	Revenue Refunds	Refunds	FINANCIAL SERVICES VEHICL	220.92
100-4092000-5999	Revenue Refunds	Refunds	DAILEY, CHARLES A	34.68
100-4092000-5999	Revenue Refunds	Refunds	FURROW, MICHAEL S	32.57
100-4092000-5999	Revenue Refunds	Refunds	MANGELS, KIMBERLY	37.30
100-4092000-5999	Revenue Refunds	Refunds	COOK JR, CHARLES C	125.57
100-4092000-5999	Revenue Refunds	Refunds	BOWSER, DANIEL S & ANNA E	29.48
100-4092000-5999	Revenue Refunds	Refunds	SHATTUCK, SUZANNE SMITH	46.14
100-4092000-5999	Revenue Refunds	Refunds	TOYOTA MOTOR CREDIT CORPO	452.43
100-4092000-5999	Revenue Refunds	Refunds	SELLINGER, THOMAS J	8.27
100-4092000-5999	Revenue Refunds	Refunds	BOOTHE, WALTER D & DONNA	47.09
100-4092000-5999	Revenue Refunds	Refunds	BILDEL CORPORATION	1,181.55
100-4092000-5999	Revenue Refunds	Refunds	SPANGLER, RANDY S	51.89
100-4092000-5999	Revenue Refunds	Refunds	MANSPILE, JAMES LEE & SHE	35.77
100-4092000-5999	Revenue Refunds	Refunds	WOODS, KAYE ANNE MARIE	41.94
100-4092000-5999	Revenue Refunds	Refunds	GEORGE JR, KENNETH R	18.77
100-4092000-5999	Revenue Refunds	Refunds	LAPRAD, DAWN ASHLEY & LOR	516.25
100-4092000-5999	Revenue Refunds	Refunds	KIDD, RYAN T & STEVEN L	35.25
100-4092000-5999	Revenue Refunds	Refunds	DELP, GLENNA MARIE	11.78
100-4092000-5999	Revenue Refunds	Refunds	HUTCHINS, BRADLEY L & AMB	30.10
100-4092000-5999	Revenue Refunds	Refunds	GEARHART, WILLIAM C	69.43
100-4092000-5999	Revenue Refunds	Refunds	BLESSARD, HEATHER JEAN	18.06
100-4092000-5999	Revenue Refunds	Refunds	SIMMONS, GEORGE MATTHEW	81.37
100-4092000-5999	Revenue Refunds	Refunds	HYUNDAI LEASE TITLING TR	125.51
100-4092000-5999	Revenue Refunds	Refunds	FORD MOTOR CREDIT CO	526.32
100-4092000-5999	Revenue Refunds	Refunds	ARELLANO, ELIJIO	15.39
100-4092000-5999	Revenue Refunds	Refunds	TUCKER, PAUL A	244.49
100-4092000-5999	Revenue Refunds	Refunds	CECIL, ADAM JOSHUA	14.84
100-4092000-5999	Revenue Refunds	Refunds	BIBBY, DONALD C	8.98
100-4092000-5999	Revenue Refunds	Refunds	FITZGERALD, STEVEN H	17.89
100-4092000-5999	Revenue Refunds	Refunds	PAINTER, AGNES LANDERS	97.80
100-4092000-5999	Revenue Refunds	Refunds	NUNNENKAMP, WILLIAM J	281.67
100-4092000-5999	Revenue Refunds	Refunds	DESKINS, DANIEL LUKE	134.03
100-4092000-5999	Revenue Refunds	Refunds	BRICKEY, JEFFREY SCOTT	30.27
100-4092000-5999	Revenue Refunds	Refunds	SOUTHEASTERN FREIGHT LINE	879.05
100-4092000-5999	Revenue Refunds	Refunds	UNDERWOOD, RODNEY LYNN	23.66
100-4092000-5999	Revenue Refunds	Refunds	HAMILTON, DAVID & DENISE	8.40

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4092000-5999	Revenue Refunds	Refunds	GARDNER, DENNIS WAYN	31.60
100-4092000-5999	Revenue Refunds	Refunds	HENSON, DANIEL WILBER	69.48
100-4092000-5999	Revenue Refunds	Refunds	FOX SR, MICHAEL RUSSELL	61.36
100-4092000-5999	Revenue Refunds	Refunds	BASSETT, COLLEEN M	275.40
Account 4092000 Total:				5,996.43
100-4094101-0000-00	Enterprise-Wide Software	0000	VISA	426.38
100-4094101-0000-00	Enterprise-Wide Software	0000	AMAZON.COM CREDIT	1,400.81
Account 4094101 Total:				1,827.19
100-4094111-0000-00	PC / Laptop Replacements	0000	EARHART, MARY K	400.00
Account 4094111 Total:				400.00
100-4094310-0000-00	Emerg'y Operations Center	0000	GRAYBAR ELECTRIC	35.00
Account 4094310 Total:				35.00
100-4094719-0000-00	Library Incentive Fund	0000	FRIENDS OF THE BUCHANAN L	1,100.00
Account 4094719 Total:				1,100.00
100-4094801-0000-00	Indust Site Development	0000	FLYING MOUSE BREWERY LLC	7,405.00
100-4094801-0000-00	Indust Site Development	0000	DYNAX AMERICA CORP	17,782.00
Account 4094801 Total:				25,187.00
Fund 100 Total:				722,329.68
400-4095113-9100	Phone Equipment Lease	Debt Service	BANK OF AMERICA NATIONAL	1,708.86
Account 4095113 Total:				1,708.86
Fund 400 Total:				1,708.86
Grand Total:				724,038.54

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4011010-5530	Board of Supervisors	Subsistence & Lodging	MOORMAN, DAVID	19.14
Account 4011010 Total:				19.14
100-4012110-2300	County Administrator	Hospital/Medical Plan	BOTETOURE COUNTY EMPLOYEE	2,745.30
100-4012110-5230	County Administrator	Telecommunications	LUMOS NETWORKS	77.63
100-4012110-5230	County Administrator	Telecommunications	LUMOS NETWORKS	6.75
100-4012110-5230	County Administrator	Telecommunications	VIRGINIA INFORMATION TECH	1.47
100-4012110-5230	County Administrator	Telecommunications	VIRGINIA INFORMATION TECH	1.20
100-4012110-5230	County Administrator	Telecommunications	LUMOS NETWORKS	164.72
100-4012110-5510	County Administrator	Mileage	FAIN, SUSAN	9.20
100-4012110-6001	County Administrator	Office Supplies	FAIN, SUSAN	2.82
Account 4012110 Total:				3,009.09
100-4012121-2300	Deputy Administrators	Hospital/Medical Plan	BOTETOURE COUNTY EMPLOYEE	2,745.30
100-4012121-5230	Deputy Administrators	Telecommunications	LUMOS NETWORKS	20.24
100-4012121-5230	Deputy Administrators	Telecommunications	VIRGINIA INFORMATION TECH	4.42
100-4012121-5230	Deputy Administrators	Telecommunications	VIRGINIA INFORMATION TECH	0.24
100-4012121-5230	Deputy Administrators	Telecommunications	LUMOS NETWORKS	47.09
100-4012121-5230	Deputy Administrators	Telecommunications	VERIZON WIRELESS	40.01
100-4012121-5530	Deputy Administrators	Subsistence & Lodging	MOORMAN, DAVID	10.96
100-4012121-6008	Deputy Administrators	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	93.90
Account 4012121 Total:				2,962.16
100-4012310-2300	Commissioner of Revenue	Hospital/Medical Plan	BOTETOURE COUNTY EMPLOYEE	5,490.60
100-4012310-5230	Commissioner of Revenue	Telecommunications	VIRGINIA INFORMATION TECH	15.65
100-4012310-5230	Commissioner of Revenue	Telecommunications	LUMOS NETWORKS	195.70
Account 4012310 Total:				5,701.95
100-4012410-2300	Treasurer	Hospital/Medical Plan	BOTETOURE COUNTY EMPLOYEE	4,575.50
100-4012410-5230	Treasurer	Telecommunications	VIRGINIA INFORMATION TECH	11.26
100-4012410-5230	Treasurer	Telecommunications	LUMOS NETWORKS	167.30
Account 4012410 Total:				4,754.06
100-4012430-2300	Financial Services	Hospital/Medical Plan	BOTETOURE COUNTY EMPLOYEE	1,830.20
100-4012430-5230	Financial Services	Telecommunications	LUMOS NETWORKS	20.24
100-4012430-5230	Financial Services	Telecommunications	VIRGINIA INFORMATION TECH	4.42
100-4012430-5230	Financial Services	Telecommunications	VIRGINIA INFORMATION TECH	1.00
100-4012430-5230	Financial Services	Telecommunications	LUMOS NETWORKS	24.89
Account 4012430 Total:				1,880.75
100-4012510-2300	Technology Services	Hospital/Medical Plan	BOTETOURE COUNTY EMPLOYEE	5,490.60
100-4012510-5230	Technology Services	Telecommunications	LUMOS NETWORKS	900.00
100-4012510-5230	Technology Services	Telecommunications	COMCAST	129.41
100-4012510-5230	Technology Services	Telecommunications	LUMOS NETWORKS	27.61
100-4012510-5230	Technology Services	Telecommunications	VIRGINIA INFORMATION TECH	5.89
100-4012510-5230	Technology Services	Telecommunications	VIRGINIA INFORMATION TECH	0.24

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4012510-5230	Technology Services	Telecommunications	LUMOS NETWORKS	2,425.81
100-4012510-5230	Technology Services	Telecommunications	VERIZON WIRELESS	297.24
100-4012510-6008	Technology Services	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	18.31
Account 4012510 Total:				9,295.11
100-4012530-2300	Central Purchasing	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	915.10
100-4012530-5230	Central Purchasing	Telecommunications	LUMOS NETWORKS	6.75
100-4012530-5230	Central Purchasing	Telecommunications	VIRGINIA INFORMATION TECH	1.47
100-4012530-5230	Central Purchasing	Telecommunications	VIRGINIA INFORMATION TECH	0.74
100-4012530-5230	Central Purchasing	Telecommunications	LUMOS NETWORKS	26.89
Account 4012530 Total:				950.95
100-4012560-2300	Central Garage	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	915.10
Account 4012560 Total:				915.10
100-4013300-2300	Electoral Bd/Registrar	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	1,830.20
100-4013300-5230	Electoral Bd/Registrar	Telecommunications	LUMOS NETWORKS	20.24
100-4013300-5230	Electoral Bd/Registrar	Telecommunications	VIRGINIA INFORMATION TECH	4.42
100-4013300-5230	Electoral Bd/Registrar	Telecommunications	VIRGINIA INFORMATION TECH	1.20
100-4013300-5230	Electoral Bd/Registrar	Telecommunications	LUMOS NETWORKS	24.89
100-4013300-5510	Electoral Bd/Registrar	Mileage	CLARK, TRACI	68.77
Account 4013300 Total:				1,949.72
100-4021100-2300	Circuit Court	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	915.10
100-4021100-5230	Circuit Court	Telecommunications	VIRGINIA INFORMATION TECH	18.62
100-4021100-5230	Circuit Court	Telecommunications	LUMOS NETWORKS	104.51
Account 4021100 Total:				1,038.23
100-4021200-5230	General District Court	Telecommunications	VIRGINIA INFORMATION TECH	30.75
100-4021200-5230	General District Court	Telecommunications	LUMOS NETWORKS	350.37
Account 4021200 Total:				381.12
100-4021300-5230	Magistrate	Telecommunications	LUMOS NETWORKS	13.49
100-4021300-5230	Magistrate	Telecommunications	VIRGINIA INFORMATION TECH	2.94
Account 4021300 Total:				16.43
100-4021600-2300	Clerk of Circuit Court	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	5,490.60
100-4021600-5230	Clerk of Circuit Court	Telecommunications	VIRGINIA INFORMATION TECH	9.81
100-4021600-5230	Clerk of Circuit Court	Telecommunications	LUMOS NETWORKS	204.57
Account 4021600 Total:				5,704.98
100-4022100-2300	Commonwealth's Attorney	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	6,405.70
100-4022100-5110	Commonwealth's Attorney	Electrical Services	AMERICAN ELECTRIC PO	97.14
100-4022100-5230	Commonwealth's Attorney	Telecommunications	VIRGINIA INFORMATION TECH	19.16

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4022100-5230	Commonwealth's Attorney	Telecommunications	LUMOS NETWORKS	149.34
100-4022100-8007	Commonwealth's Attorney	Cap Otlly - EDP Equipmt	VERIZON WIRELESS	80.02
Account 4022100 Total:				6,751.36
100-4031200-2300	Sheriff	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	41,179.50
100-4031200-5230	Sheriff	Telecommunications	LUMOS NETWORKS	432.17
100-4031200-5230	Sheriff	Telecommunications	VIRGINIA INFORMATION TECH	55.91
100-4031200-5230	Sheriff	Telecommunications	VERIZON WIRELESS	1,163.50
100-4031200-5230	Sheriff	Telecommunications	LUMOS NETWORKS	43.79
100-4031200-5830	Sheriff	RAID Patrol	LUMOS NETWORKS	26.98
100-4031200-5830	Sheriff	RAID Patrol	VIRGINIA INFORMATION TECH	5.89
100-4031200-5830	Sheriff	RAID Patrol	VERIZON WIRELESS	82.24
100-4031200-5850	Sheriff	Crime Prevention	LUMOS NETWORKS	6.75
100-4031200-5850	Sheriff	Crime Prevention	VIRGINIA INFORMATION TECH	1.47
100-4031200-5850	Sheriff	Crime Prevention	VERIZON WIRELESS	126.04
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	3,418.06
100-4031200-6009	Sheriff	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	4,795.91
100-4031200-6015	Sheriff	Firing Range Expenses	CRAIG-BOTETOURT ELECTRIC	212.30
Account 4031200 Total:				51,550.51
100-4031700-2300	Dispatch	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	10,066.10
100-4031700-5230	Dispatch	Telecommunications	LUMOS NETWORKS	236.41
100-4031700-5230	Dispatch	Telecommunications	VIRGINIA INFORMATION TECH	34.89
100-4031700-5230	Dispatch	Telecommunications	VERIZON WIRELESS	30.34
Account 4031700 Total:				10,367.74
100-4032200-5641	Volunteer Fire & Rescue	County Volunteer FDs	WEBB'S OIL CORPORATION	560.94
100-4032200-5651	Volunteer Fire & Rescue	County Vol Resc Squads	WEBB'S OIL CORPORATION	1,485.06
Account 4032200 Total:				2,046.00
100-4033100-2300	Correction and Detention	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	44,841.77
100-4033100-5110	Correction and Detention	Electrical Services	AMERICAN ELECTRIC PO	9,947.78
100-4033100-5120	Correction and Detention	Heating Services	ROANOKE GAS COMPANY	1,082.54
100-4033100-5230	Correction and Detention	Telecommunications	LUMOS NETWORKS	239.64
100-4033100-5230	Correction and Detention	Telecommunications	VIRGINIA INFORMATION TECH	27.96
100-4033100-5230	Correction and Detention	Telecommunications	VERIZON WIRELESS	82.24
Account 4033100 Total:				56,221.93
100-4033300-5230	Probation Office	Telecommunications	VIRGINIA INFORMATION TECH	12.02
100-4033300-5230	Probation Office	Telecommunications	LUMOS NETWORKS	109.51
Account 4033300 Total:				121.53
100-4034000-2300	Dept of Community Development	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	8,235.90
100-4034000-5230	Dept of Community Development	Telecommunications	LUMOS NETWORKS	60.72
100-4034000-5230	Dept of Community Development	Telecommunications	VIRGINIA INFORMATION TECH	13.25
100-4034000-5230	Dept of Community Development	Telecommunications	VIRGINIA INFORMATION TECH	2.84

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4034000-5230	Dept of Community Development	Telecommunications	LUMOS NETWORKS	32.75
100-4034000-5230	Dept of Community Development	Telecommunications	VERIZON WIRELESS	110.36
100-4034000-5540	Dept of Community Development	Convention & Education	SCOTT, JEFFERY	116.00
100-4034000-6009	Dept of Community Development	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	558.84
Account 4034000 Total:				9,130.66
100-4035100-2300	Animal Control	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	2,745.30
100-4035100-5230	Animal Control	Telecommunications	LUMOS NETWORKS	26.98
100-4035100-5230	Animal Control	Telecommunications	VIRGINIA INFORMATION TECH	5.89
100-4035100-5230	Animal Control	Telecommunications	VERIZON WIRELESS	129.72
100-4035100-6009	Animal Control	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	436.12
Account 4035100 Total:				3,344.01
100-4035500-2300	Fire & EMS	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	30,198.30
100-4035500-5230	Fire & EMS	Telecommunications	LUMOS NETWORKS	47.23
100-4035500-5230	Fire & EMS	Telecommunications	VIRGINIA INFORMATION TECH	10.30
100-4035500-5230	Fire & EMS	Telecommunications	LUMOS NETWORKS	73.28
100-4035500-5230	Fire & EMS	Telecommunications	VIRGINIA INFORMATION TECH	9.87
100-4035500-5230	Fire & EMS	Telecommunications	LUMOS NETWORKS	49.78
100-4035500-5230	Fire & EMS	Telecommunications	VERIZON WIRELESS	441.21
100-4035500-6008	Fire & EMS	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	2,432.69
Account 4035500 Total:				33,262.66
100-4035600-5231	Emergency Communications	Wireless E911 Communications	LUMOS NETWORKS	496.95
100-4035600-5231	Emergency Communications	Wireless E911 Communications	LUMOS NETWORKS	418.05
100-4035600-5231	Emergency Communications	Wireless E911 Communications	VERIZON	7.54
100-4035600-5232	Emergency Communications	E911 Landline Communications	LUMOS NETWORKS	840.96
100-4035600-5232	Emergency Communications	E911 Landline Communications	VERIZON	2,664.66
Account 4035600 Total:				4,428.16
100-4040000-2300	General Services	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	2,745.30
100-4040000-5230	General Services	Telecommunications	VIRGINIA INFORMATION TECH	3.42
100-4040000-5230	General Services	Telecommunications	LUMOS NETWORKS	120.51
100-4040000-5230	General Services	Telecommunications	VERIZON WIRELESS	82.89
100-4040000-6009	General Services	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	127.59
Account 4040000 Total:				3,079.71
100-4042400-2300	Waste Management	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	3,660.40
100-4042400-3191	Waste Management	Refuse Disposal	COUNTY WASTE	1,368.50
100-4042400-5110	Waste Management	Electrical Services	CRAIG-BOTETOURT ELECTRIC	145.63
100-4042400-5110	Waste Management	Electrical Services	CRAIG-BOTETOURT ELECTRIC	111.33
100-4042400-5110	Waste Management	Electrical Services	CRAIG-BOTETOURT ELECTRIC	43.62
100-4042400-5230	Waste Management	Telecommunications	VIRGINIA INFORMATION TECH	1.81
100-4042400-5230	Waste Management	Telecommunications	LUMOS NETWORKS	115.11
100-4042400-8012	Waste Management	Cap Otlly - Othr Capital	EIG, JOEL	5.00
Account 4042400 Total:				5,451.40

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4043000-2300	Maint of Gen Bldg & Grounds	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	6,405.70
100-4043000-3191	Maint of Gen Bldg & Grounds	Refuse Disposal	COUNTY WASTE	1,033.93
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	57.69
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	128.41
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	252.48
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	1,850.30
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	78.36
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	130.84
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	194.04
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	276.08
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	10.25
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	17.55
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	3,433.18
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	10.53
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	158.39
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	105.29
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	10.25
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	89.47
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	AMERICAN ELECTRIC PO	672.09
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	CRAIG-BOTETOURT ELECTRIC	189.15
100-4043000-5110	Maint of Gen Bldg & Grounds	Electrical Services	CRAIG-BOTETOURT ELECTRIC	130.08
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	VIRGINIA INFORMATION TECH	2.25
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	LUMOS NETWORKS	321.97
100-4043000-5230	Maint of Gen Bldg & Grounds	Telecommunications	VERIZON WIRELESS	49.81
100-4043000-6008	Maint of Gen Bldg & Grounds	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	274.08

Account 4043000 Total:				15,882.17
100-4053500-2300	Children's Services (CSA)	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	915.10
100-4053500-5230	Children's Services (CSA)	Telecommunications	LUMOS NETWORKS	6.75
100-4053500-5230	Children's Services (CSA)	Telecommunications	VIRGINIA INFORMATION TECH	1.47
100-4053500-5230	Children's Services (CSA)	Telecommunications	VIRGINIA INFORMATION TECH	1.33
100-4053500-5230	Children's Services (CSA)	Telecommunications	LUMOS NETWORKS	49.78

Account 4053500 Total:				974.43
100-4071000-2300	Parks & Recreation	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	8,235.90
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	14.33
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	206.61
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	86.77
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	91.42
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	25.25
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	36.20
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	37.08
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	40.05
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	24.69
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	24.88
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	40.14
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	105.66
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	72.44
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	40.05

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	10.25
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	111.85
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	28.46
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	34.96
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	27.37
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	35.97
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	139.34
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	89.27
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	14.50
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	14.50
100-4071000-5110	Parks & Recreation	Electrical Services	AMERICAN ELECTRIC PO	56.39
100-4071000-5110	Parks & Recreation	Electrical Services	DOMINION VIRGINIA POWER	13.95
100-4071000-5110	Parks & Recreation	Electrical Services	DOMINION VIRGINIA POWER	13.18
100-4071000-5120	Parks & Recreation	Heating Services	ROANOKE GAS COMPANY	97.63
100-4071000-5130	Parks & Recreation	Water and Sewer	WESTERN VIRGINIA WATER AU	66.65
100-4071000-5130	Parks & Recreation	Water and Sewer	WESTERN VIRGINIA WATER AU	49.06
100-4071000-5130	Parks & Recreation	Water and Sewer	WESTERN VIRGINIA WATER AU	30.75
100-4071000-5230	Parks & Recreation	Telecommunications	VIRGINIA INFORMATION TECH	23.34
100-4071000-5230	Parks & Recreation	Telecommunications	LUMOS NETWORKS	322.08
100-4071000-5230	Parks & Recreation	Telecommunications	VERIZON WIRELESS	50.07
100-4071000-6008	Parks & Recreation	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	1,109.98
Account 4071000 Total:				11,421.02
100-4071300-2300	Botetourt Sports Complex	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	2,745.30
100-4071300-3191	Botetourt Sports Complex	Refuse Disposal	COUNTY WASTE	109.75
100-4071300-5110	Botetourt Sports Complex	Electrical Services	AMERICAN ELECTRIC PO	483.84
100-4071300-5130	Botetourt Sports Complex	Water and Sewer	WESTERN VIRGINIA WATER AU	138.75
100-4071300-5230	Botetourt Sports Complex	Telecommunications	VIRGINIA INFORMATION TECH	5.13
100-4071300-5230	Botetourt Sports Complex	Telecommunications	LUMOS NETWORKS	144.32
100-4071300-6008	Botetourt Sports Complex	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	158.18
100-4071300-6014	Botetourt Sports Complex	Other Operating Supplies	TELVENT DTN INC	246.75
Account 4071300 Total:				4,032.02
100-4071500-5230	Van Program	Telecommunications	VERIZON WIRELESS	15.88
100-4071500-6009	Van Program	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	521.04
Account 4071500 Total:				536.92
100-4073100-2300	Library	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	10,981.20
100-4073100-5110	Library	Electrical Services	AMERICAN ELECTRIC PO	552.68
100-4073100-5110	Library	Electrical Services	AMERICAN ELECTRIC PO	18.35
100-4073100-5110	Library	Electrical Services	AMERICAN ELECTRIC PO	481.62
100-4073100-5230	Library	Telecommunications	VIRGINIA INFORMATION TECH	44.01
100-4073100-5230	Library	Telecommunications	LUMOS NETWORKS	893.05
100-4073100-6009	Library	Vehicle & Pwr Equip Supplies	WEBB'S OIL CORPORATION	361.20
Account 4073100 Total:				13,332.11
100-4081600-2300	Tourism	Hospital/Medical Plan	BOTETOURT COUNTY EMPLOYEE	1,830.20
100-4081600-6008	Tourism	Vehicle & Pwr Equip Fuels	WEBB'S OIL CORPORATION	89.84

GL Account	LI Acct Description	LI Object Description	Vendor Sort Name	Total
			Account 4081600 Total:	1,920.04
100-4083000-5230	Cooperative Extension Program	Telecommunications	VIRGINIA INFORMATION TECH	17.19
100-4083000-5230	Cooperative Extension Program	Telecommunications	LUMOS NETWORKS	149.34
			Account 4083000 Total:	166.53
100-4092000-5999	Revenue Refunds	Refunds	US BANK NATIONAL ASSOCIAT	92.15
100-4092000-5999	Revenue Refunds	Refunds	BUSHMAN, WILLIAM H	8.96
100-4092000-5999	Revenue Refunds	Refunds	TYSON, ANTHONY I & CHARLO	78.26
100-4092000-5999	Revenue Refunds	Refunds	GILL, WILLIAM Q	24.75
100-4092000-5999	Revenue Refunds	Refunds	WANDA G PAGANELLI REVOCAB	41.12
100-4092000-5999	Revenue Refunds	Refunds	POINT, ROBERT W & JACQUEL	172.59
100-4092000-5999	Revenue Refunds	Refunds	SCHWANDT, MEGAN E	167.02
100-4092000-5999	Revenue Refunds	Refunds	MANSPILE, FRANCIS E	7.98
100-4092000-5999	Revenue Refunds	Refunds	MASON, ARNOLD T & VICKIE	17.93
100-4092000-5999	Revenue Refunds	Refunds	MOLNAR, BRUCE D & TAMELA	5.46
100-4092000-5999	Revenue Refunds	Refunds	WHITE, DONALD JUSTIN	15.23
100-4092000-5999	Revenue Refunds	Refunds	ALLY BANK	167.75
100-4092000-5999	Revenue Refunds	Refunds	UMBERGER, CAROL E	7.19
100-4092000-5999	Revenue Refunds	Refunds	HAZELGROVE, WILLIAM P	20.62
100-4092000-5999	Revenue Refunds	Refunds	BROOKS, JOSHUA CORY	48.28
100-4092000-5999	Revenue Refunds	Refunds	HONDA LEASE TRUST	270.29
100-4092000-5999	Revenue Refunds	Refunds	LANFORD BROTHERS CO	535.31
			Account 4092000 Total:	1,680.89
100-4092750-5230	Utility Expenses - Post 6/30/1	Telecommunications	VIRGINIA INFORMATION TECH	5.15
			Account 4092750 Total:	5.15
			Fund 100 Total:	274,285.74
400-4095112-9100	Buchanan Fire Truck	Debt Service	BANK OF BOTETOURT	3,055.00
			Account 4095112 Total:	3,055.00
			Fund 400 Total:	3,055.00
			Grand Total:	277,340.74

AGENDA ITEM: Consideration of a resolution approving the award of a contract under emergency procurement provisions to Timberworks of Interest, LLC, to relocate two historic structures on the Greenfield property.

Administrator's Comments:

On November 24, 2015, the Board of Supervisors authorized and directed County staff to procure archaeological investigation and building moving services at Greenfield. As discussed in that meeting, given the time constraints in which the work is required to be accomplished, staff awarded a contract to Timberworks of Interest, LLC, on December 5, 2015. The County's Procurement policy requires that the Board adopt a resolution documenting this procurement and the basis for procurement on an emergency basis.

Recommendation:

Adopt the following resolution approving the award of a contract under emergency procurement provisions to Timberworks of Interest, LLC, to relocate two historic structures on the Greenfield property:

WHEREAS, Botetourt County negotiated, committed itself to, and approved an agreement to convey certain property within Botetourt Center at Greenfield to the Botetourt County Industrial Development Authority for the purposes of conveyance to the Greater Roanoke Valley Development Foundation and the construction, by that entity, of a speculative industrial shell building to attract manufacturing investment and employment; and,

WHEREAS, under the terms of said agreement, the County must relocate two historic structures from the property and, under terms of said agreement, time is of the essence; and,

WHEREAS, the relocation of the structures will require expertise and experience to prepare the buildings for moving and a new site for their setting; and,

WHEREAS, the County solicited and received from the Virginia Department of Historic Preservation referrals of qualified and reputable contractors to perform the required work; and,

WHEREAS, upon review and evaluation, County staff selected Timberworks of Interest, LLC, as the preferred contractor based on experience, references, interviews and written proposal;

NOW, THEREFORE, BE IT RESOLVED, that the Botetourt County Board of Supervisors, in order to fulfil its contractual obligations to the Botetourt County Industrial Development Authority and to the Greater Roanoke Valley Development Foundation, does hereby endorse and authorize the emergency procurement of services to repair and relocate two historic buildings by Timberworks of Interest, LLC as described and provided in its proposal dated December 4, 2015, for an estimated price of \$183,000 and effective December 5, 2015.

Jon
12-10-15

TIMBER WORKS OF INTEREST, LLC

12/04/2015

Contract proposal to relocate two log structures within the Greenfield Center between Timber Works of Interest, LLC (contractor) and Botetourt County, Virginia (owner)

Contractor proposes to move two log structures from their current location to a new site located about ¾ mile designated by the owner. Contractor will also dismantle a log structure on Blacksburg Road Fincastle, VA to be used as repair material for the Greenfield structures.

Scope of work: contained in attached spreadsheet

Contractor:

Dismantle 2 story log structure located on Blacksburg Rd near Fincastle, VA.
Prepare Greenfield structures to be lifted onto dollies, rolled on access road provided by owner, set into position at new location on foundation provided by contractor.
Contractor is responsible for all repairs needed for the safe relocation of the buildings but for restoring the structures.

Owner:

Provide access road from structures current location to new location.
Provide containers and disposal of refuse loaded into container by contractor.
Provide foundation stone for foundation work at new location.
Provide backfill and grading at new location.

The owner has indicated a desire to contract with contractor on a "time and materials" basis.

The basis used for calculating time is \$50/hr. for contractor's employees and cost plus 15% for subcontracted labor only costs.

The basis for calculating materials is actual cost incurred by contractor plus 15% including all subcontractor billings. The exception is Blake Moving and Rigging where a 10% fee will be added to the direct cost.

The contractor will make every reasonable effort to keep within the attached spreadsheet pricing for the itemized scope of work contained in spreadsheet but this is not guaranteed.

Payment schedule:

Contractor will bill owner electronically via email and owner will make payments by electronic fund transfer within two business days of receiving invoice.
An initial payment of \$30,000 is due to the contractor at contract approval.
Contractor will bill owner at two week intervals based on anticipated costs for the following two weeks adjusted for the previous two week period actual verses anticipated.

Work schedule:

4670 OLD PIKE RD PILOT, VA 24138
Cell 540 392-2056
alaanderson@earthlink.net

TIMBER WORKS OF INTEREST, LLC

It is anticipated to take approximately 8 weeks to complete the work of moving the structures into position. It is anticipated to take an additional 3 weeks to complete the foundation which cannot commence until the risk of freezing weather for a 30 day period has passed. This is approximately the middle of April 2016. The buildings will remain on cribbing until that time.

Attachments:

Botetourt County Standard terms and Conditions as amended:

Requirement for Bond is waived

Any discrepancy between this proposal and the Standard Terms and Conditions will be favored toward this proposal.

Scope of Work spreadsheet:

I/we agree to the terms and conditions above.

Al Anderson owner

Timber Works of Interest, LLC

Date 12/04/2015

Signed Al Anderson


County of Botetourt, VA

Date

Signed 12-5-15

4670 OLD PIKE RD PILOT, VA 24138

Cell 540 392-2056

alaanderson@earthlink.net

GREENFIELD LOG STRUCTURES REPAIR
AND RELOCATE

Scope of work	man days	cost	materials	equipment	subcontract	subtotal
Build access road	COUNTY					
dismantle Duluth log cabin for reuse as parts for greenfield structures						
mobilize	4	\$1,600.00				
strip interior and exterior	16	\$6,400.00				
load refuse	1	\$400.00				
dispose of refuse	COUNTY					
dismantle log crib	12	\$4,800.00				
transport logs to Greenfield	2	\$800.00				
unload logs	0.5	\$200.00				
prep slave quarters				\$1,000.00		\$15,200.00
mobilize	2	\$800.00				
demo porch and block addition	6	\$2,400.00				
repair/replace lower logs as needed to move	12	\$4,800.00				
repair/replace first floor framing as needed for move	12	\$4,800.00	\$1,000.00			
brace log crib for move	3	\$1,200.00	\$300.00			
tidy up after move	1	\$400.00				
excavate new foundation and crawl space	1.5	\$600.00				
form and pour footers	3	\$1,200.00	\$2,000.00			
provide drainage to daylight for new foundation	1	\$400.00	\$150.00			
provide vapor barrier and gravel in crawl space	2	\$800.00	\$600.00			
move slave quarters				\$600.00		\$6,350.00
sub					\$60,500.00	
sub					\$2,200.00	
build new block foundation walls	COUNTY					
provide foundation stone					\$3,500.00	
sub						
build new stone foundation walls						
remove steel						
incl						
fill in foundation block and stone					inc	
sub						
backfill foundation	COUNTY					
						\$66,200.00
prep kitchen						
mobilize	0					
remove loose brick from chimney	2	\$800.00				
repair/replace lower logs as needed for move	5	\$2,000.00				
repair/replace first floor framing as needed for move	8	\$3,200.00	\$600.00			
brace log crib for move	3	\$1,200.00	\$250.00			
tidy up after move	1	\$400.00				
excavate new foundation and crawl space	1.5	\$600.00				
form and pour footers	3	\$1,200.00	\$1,000.00			
provide drainage to daylight for new foundation	1	\$400.00	\$300.00			
provide vapor barrier and gravel in crawl space	1.5	\$600.00	\$400.00			
move kitchen				\$800.00		\$5,300.00
sub					\$60,500.00	
sub					\$1,100.00	
build new block foundation walls	COUNTY					
provide foundation stone					\$2,000.00	
sub						
build new stone foundation walls						
remove steel						
incl						
fill in foundation block and stone					inc	
sub						
backfill foundation	COUNTY					
						\$63,600.00
TOTALS	105	\$42,000.00	\$6,600.00	\$4,600.00	\$129,800.00	\$183,000.00

Time and Materials estimate for job \$183,000.00

Fixed price for above scope of work
(estimated cost plus 20% not including actual subcontracted moving cost) \$195,400.00

6 items marked "COUNTY" are required and are the responsibility of the county

**APPENDIX A
COUNTY OF BOTETOURT, VIRGINIA
STANDARD TERMS AND CONDITIONS**

1. General Provisions

- 1.1 Unless otherwise agreed to in a writing signed by the County Administrator for Botetourt County, and approved as to form by the Botetourt County Attorney, these Standard Terms and Conditions apply to and govern all purchases, regardless of the type of goods or services purchased, by the County of Botetourt, Virginia (the "County") from Timber Works of Interest, LLC (the "Vendor").

2. Definitions

- 2.1 "Solicitation" means the vehicle by which the County solicited pricing, and if applicable other terms, by which it could acquire goods or services from Vendor, regardless of whether the vehicle was an Invitation for Bid, Request for Proposal, Request for Quote, telephone quote or any other means permissible under the Botetourt County Code or Virginia law.
- 2.2 "Contract Documents" means all documents that constitute any legal and binding agreement between the Vendor and the County, including these Standard Terms and Conditions.
- 2.3 "Contract Period" means the time period from the time that Vendor first becomes legally bound to provide goods or services to the County in response to a Solicitation until all of Vendor's contractual obligations to the County, arising out the Solicitation, cease.
- 2.4 "Botetourt County Code" means the Botetourt County Code and Procurement Manual.
- 2.5 "Obligations" means any and all legal obligations of Vendor under any Contract Documents.

3. Laws of the Commonwealth

- 3.1 The Contract Documents are governed in all respects by the laws of the Commonwealth of Virginia and the Botetourt County Code. Vendor represents and warrants to the County that during the Contract Period it:
- a) Will comply and conform with the provisions of the Civil Rights Act of 1964, as amended, the Virginia Fair Employment Contracting Act of 1975, as amended, and the Virginia Human Rights Act, as amended, where applicable;

- b) Not employ illegal alien workers or otherwise violate the provisions of the Immigration Reform and Control Act of 1986; and
- c) Comply with all federal, state, and local laws and regulations applicable to the performance of the services procured.

4. Botetourt County Policies

4.1 In every contract of over \$10,000, the Vendor agrees during the Contract Period that Vendor:

- a) Will not discriminate against any employee or applicant for employment because of race, religion, color, sex, national origin, age, disability, or other basis prohibited by local, state, or federal law relating to discrimination in employment, except where there is a bona fide occupational qualification reasonably necessary to the normal operation of the Vendor;
- b) Will post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause;
- c) Will state that the Vendor is an equal opportunity employer in all solicitations or advertisements for employees placed by or on behalf of the Vendor to perform under the Contract Documents. All notices, advertisements, and solicitations placed in accordance with federal law, rule or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section; and
- d) Will include the provisions of the foregoing subparagraphs in every subcontract or purchase order exceeding \$10,000 issued by Vendor in order to fulfill its Obligations, so that the provisions will be binding on each subcontractor or vendor employed by Vendor.

4.2 In every contract of over \$10,000, the Vendor agrees during the Contract Period the Vendor must:

- a) Provide a drug-free workplace for its employees;
- b) Post in conspicuous places, available to employees and applicants for employment, a statement notifying employees that the unlawful manufacture, sale, distribution, dispensation, possession, or use of a controlled substance or marijuana is prohibited in its workplace and specify the actions which will be taken against any employee for a violation;

- c) State in all of its solicitations or advertisements for employees that the Vendor maintains a drug-free workplace;
- d) Include the provisions of this sub-paragraph in every subcontract or purchase order of over \$10,000, so that said provisions shall be binding upon each subcontractor or subvendor;
- e) For purposes of this sub-paragraph, “drug-free workplace” means a site for the performance of work done in connection with a specific contract awarded to a Vendor under a Solicitation and in accordance with the Virginia Public Procurement Act and/or the Botetourt County Code; and
- f) In addition to the provisions contained herein, the Vendor must comply with the federal Drug Free Workplace Act.

4.3 Pursuant to Va. Code § 2.2-4343.1 and the Botetourt County Code, in all Solicitations, contracts, and purchase orders, the County does not discriminate against faith-based organizations.

- a) “Faith-based Organization” means a religious organization that is or applies to be a Vendor to provide goods or services for programs funded by the block grant provided pursuant to the Personal Responsibility and Work Opportunity Reconciliation Act of 1996, P.L. 104-193.
- b) If Vendor is a faith-based organization, then Vendor must give to each individual who applies for or receives goods, services, or disbursements provided pursuant to this Agreement the following notice in bold-face type:

NOTICE:

Neither the County’s selection of a charitable or faith-based provider of services nor the expenditure of funds under this contract is an endorsement of the provider’s charitable or religious character, practices, or expression. No provider of services may discriminate against you on the basis of religion, a religious belief, or your refusal to actively participate in a religious practice. If you object to a particular provider because of its religious character, you may request assignment to a different provider. If you believe that your rights have been violated, please discuss the complaint with your provider or notify the appropriate person as indicated in this form.

5. Certifications

- 5.1 The Vendor certifies that Vendor's response to the Solicitation:
- a) Has been prepared without prior participation, understanding, agreement, or connection with any corporation, firm or other person that is also submitting a bid/offer in response to the same Solicitation;
 - b) Is in all respects fair, without misrepresentations of fact, and free from collusion or fraud;
 - c) Is in full compliance with the Virginia Conflicts of Interest Act and all provisions relating to ethics in public contracting;
 - d) Is or is intended to be competitive and free from any collusion with any person, firm or corporation; and
 - e) Has been prepared without the benefit of being provided information not available to the general public, or other potential bidders, such as insider information known to County employees or other sources which may have gained such information from interaction with County employees.
- 5.2 The Vendor certifies that it has not offered or received any kickback from any other bidder or vendor, supplier, manufacturer, or subcontractor in connection with the bid/offer on this solicitation. A kickback is defined as an inducement for the award of a contract, subcontracts or order, in the form of any payment, loan, subscription, advance, deposit of money, services or anything else, present or promised, unless consideration of substantially equal or greater value is exchanged. Further, no person may demand or receive any payment, loan, subscription, advance, and deposit of money, services or anything of value in return for an agreement not to compete on a public contract.
- 5.3 The Vendor certifies that it is not a party to nor has it participated in nor is it obligated or otherwise bound by agreement, arrangement or other understanding with any person, firm or corporation relating to the exchange of information concerning bids, prices, terms or conditions upon which the contract resulting from the acceptance of his bid proposal is to be performed.
- 5.4 The Vendor certifies that it understands that collusive bidding is a violation of the Virginia Governmental Frauds Act as well as federal law, and can result in fines, prison sentences, and civil damage awards and agrees to abide by all conditions of this proposal.
- 5.5 Neither Vendor, Vendor's subcontractors, nor any person acting on Vendor's behalf, have conferred, or will confer, on any public employee having official responsibility for a procurement transaction any payment, loan, subscription, advance, deposit of money, services or anything of more than nominal value,

present or promised, unless consideration of substantially equal or greater value is exchanged.

6. Warranties

- 6.1 The Vendor represents and warrants that it has the requisite experience, skills, capabilities, and manpower to perform the Obligations in a good and workmanlike fashion, that it is a legal business entity chartered or authorized to do business in Virginia having all necessary licenses required by law, that the person signing any of the Contract Documents has been fully authorized to do so, and his signature will legally bind the Vendor to perform its Obligations. Any goods or services furnished by the Vendor under the Contract Documents must be covered by the most favorable warranties provided by the Vendor to any customer, but in no event may such warranty be for a term of less than one year from date of completion of services or sale of goods, as applicable.
- 6.2 Vendor warrants to the County that all materials and equipment furnished will be new, unless otherwise specified, and that Vendor's Work will be of good quality, free from faults and defects and in strict conformance with the Contract Documents. All materials and work not conforming to these requirements, including substitutions not properly approved and authorized, may be considered defective. This warranty is in addition to, and not in limitation of, any other warranty or remedy required by law or by the Contract Documents.
- 6.3 The Vendor agrees that if warranties set forth in the Contract Documents are in any respect breached, the Vendor will refund to the County the full contract price agreed to by the County to be paid for the supplies, materials, equipment or services furnished under the bid or proposal and be due no payment whatsoever. These rights and remedies are in addition to and do not limit those rights and remedies otherwise available to the County.

7. Modifications, Additions or Changes

- 7.1 Modifications, additions or changes to these terms and conditions may not be made except in writing and agreed to by the County and approved by the County as to form. No fixed priced contract may be increased by more than 25% of the amount of the contract or \$50,000, whichever is greater, without the prior approval of the County. The amount of any contract may not be increased for any purpose without adequate consideration provided to the County.

8. Procurement Code

- 8.1 Solicitations are subject to the Botetourt County Code and any revisions thereto, which are hereby incorporated into this contract in their entirety.

ANY SOLICITATION OR CONTRACT DOCUMENTS THAT ARE ISSUED, REQUESTED OR EXECUTED IN VIOLATION OF THE BOTETOURT COUNTY CODE OR VIRGINIA LAW ARE VOID AB INITIO, AND ARE VOID AND OF NO EFFECT, REGARDLESS OF WHETHER ANY PURCHASE HAS BEEN MADE UNDER THE CONTRACT DOCUMENTS AND IRRESPECTIVE OF THE AMOUNT OR LENGTH OF VENDOR'S PERFORMANCE UNDER THE CONTRACT DOCUMENTS. A current copy of the Botetourt County Code is available Botetourt County administration building during normal business hours.

9. Bid Acceptance Period

9.1 Any bid in response to a Solicitation must be valid for 60 days. At the end of the 60 days, the bid may be withdrawn at the written request of the bidder. If the bid is not withdrawn at that time, it remains in effect until an award is made or the Solicitation is cancelled.

10. Indemnification

10.1 The Vendor agrees to indemnify, defend, and hold harmless the County and its officers, agents, and employees from any claims, damages and actions of any kind or nature, whether at law or in equity, arising from or caused by (i) the use of any materials, goods, or equipment of any kind or nature furnished by the Vendor; (ii) any services of any kind or nature provided by the Vendor; or (iii) Vendor's performance of its Obligations, provided that such liability is not solely attributable to the negligence of the County.

11. Assignment

11.1 Neither the Obligations nor the Contract Documents may be assigned, sublet, or transferred, in whole or in part, without the written consent of the County.

12. Audit

12.1 The Vendor hereby agrees to retain all books, records, and other documents relative to Vendor's Obligations and the Contract Documents for five years after final payment or after all other pending matters are closed, whichever is longer. The County and its authorized agents, state auditors, the grantor of the funds to the County, the Comptroller of Virginia or of the United States, or any of their duly authorized representatives must have access to any such books, documents, papers and records of the Vendor for the purpose of making audits, examinations, excerpts or transcriptions.

13. Ownership of Documents

- 13.1 Any reports, studies, photographs, negatives, or other documents prepared by Vendor in the performance of its Obligations shall be remitted to the County by the Vendor, without demand therefore, upon the earliest of (i) completion of its Obligations; (ii) completion of the Contract Period; or (iii) termination, cancellation or expiration of the Contract Documents. Vendor shall not use, willingly allow or cause to have such materials used for any purpose other than performance of the Obligations without the prior written consent of the County. The County shall own the intellectual property rights to all materials produced under this Agreement.

14. Payment and Performance Bond

- 14.1 If Vendor's Obligations include construction, the amount of which exceeds \$100,000, the Vendor shall furnish to the County the bonds required under the Botetourt County Code and must otherwise fully comply with the requirements of the Botetourt County Code. The County reserves the right to require payment and/or performance bonds in the amount of the Obligations for any other projects, goods or services, whether or not required by the Botetourt County Code.

15. Required Payment

- 15.1 The Vendor covenants and agrees to: (i) Within seven days after receipt of any amounts paid to the Vendor under the Agreement, pay any subcontractor for its proportionate share of the total payment received from the County attributable to the work under the Agreement performed by such subcontractor, or (ii) notify the County and the subcontractor, in writing, of its intention to withhold all or a part of the subcontractor's payment and the reason therefor.
- 15.2 Vendor agrees to provide its federal employer identification number (FEIN) or social security number, as applicable, as a condition precedent to the County being required to make any payment to the Vendor under the Contract Documents.
- 15.3 Vendor agrees to pay interest at the legal rate or such other rate as may be agreed to in writing by the subcontractor and the Vendor on all amounts owed by the Vendor that remain unpaid seven days following receipt by the Vendor of payment from the County for work performed by the subcontractor in furtherance of Vendor meeting its Obligations to the County, except for amounts withheld pursuant to subparagraph 15.1(ii) above.
- 15.4 Vendor agrees to include in its contracts with any and all subcontractors the requirements of Paragraph 15.1, above.

16. Liability Coverage

- 16.1 Unless otherwise expressly excepted in the Solicitation documents prepared by the County, the Vendor must take out and maintain during the Contract Period such bodily injury, personal liability, and property damage liability insurance necessary protect it and the County from claims for damages arising from personal injury, including death, as well as from claims for property damage, which might arise from Vendor's performance of its Obligations. Such insurance must have at least the coverages and be in the amounts set forth in Paragraph 19, "Insurance and Bond Requirements," set forth below, and must name the "Board of Supervisors of Botetourt County, Virginia" and "Botetourt County, Virginia" as additional insureds. Such insurance must be issued by a company admitted to do business in the Commonwealth of Virginia and with at least an AM Best rating of A-. Within 10 days after Vendor is awarded a contract in response to a Solicitation, and in no event later than the first day on which Vendor provides goods or services to the County, the Vendor must provide the County with a certificate of insurance showing such insurance to be in force and providing that the insurer must give the County at least 30 days' notice prior to cancellation or other termination of or reduction in such insurance.

17. Loss or Damage in Transit

- 17.1 Delivery by a Vendor to a common carrier does not constitute delivery to the County. Any claim for loss or damage incurred during delivery will be between the Vendor and the carrier. The County accepts title only when goods are received regardless of the F.O.B. point noted in the Solicitation or the Contract Documents. The receiving agency will note all apparent damages in transit on the freight bill and notify the Vendor. Discovery of concealed damages or loss will be reported by the receiving agency to the carrier and the Vendor within a reasonable time following discovery, but in no case more than 45 days following receipt and prior to removal from the point of delivery if possible. The Vendor must immediately replace the damaged or lost merchandise or be in default of the Contract Documents. It is the Vendor's responsibility to file any claim against the carrier. If the damage is to a small quantity of goods or services, then, with the approval of the agency accepting the goods or services, the Vendor may deduct the amount of damage or loss from his or her invoice to the agency in lieu of replacement.

18. Freight

- 18.1 By signing any response to a Solicitation the bidder certifies that the bid price(s) offered for F.O.B. destination include only the actual freight charges at the lowest and best rate and is based on the actual weight of the goods to be shipped. Freight charges are, therefore, established for each individual purchase. If a requirement is bid F.O.B. origin, the Vendor must prepay the charges and add the amount to the invoice to the County. A copy of the freight bill must be attached to all invoices that include freight charges. In a

solicitation specifying F.O.B. origin the County will consider freight cost in the evaluation of bids.

19. Insurance and Bond Requirements

19.1 The Vendor shall maintain the following insurance to protect it from claims that could arise from performance of the Obligations, including claims (i) under the Workers' Compensation Act; (ii) for personal injury, including death; and (iii) for damage to property, regardless of whether such claims arise out of Vendor's actions or inactions, or those of Vendor's subcontractor or other persons directly or indirectly employed by either of them:

a) Worker's Compensation and Employer's Liability. Vendor must purchase and maintain Workers' Compensation and Employer's Liability Insurance covering all of its employees in conformance with the laws of any state, district or territory of the United States of America in which work towards meeting Vendor's Obligations is performed. Such insurance must not have a limit of liability less than the following:

- a) Bodily Injury by accident, \$100,000 for each accident;
- b) Bodily Injury by disease, \$500,000 policy limit;
- c) Bodily Injury by disease, \$100,000 for each employee;
- d) Employer's liability, \$100,000 per incident.

b) Commercial General Liability Insurance. This coverage must include contractual liability, underground hazard, explosion and collapse, hazard, property damage, independent Vendor, and personal injury insurance in support of Paragraph 10 of this Agreement entitled "Indemnification." This policy must include the County as an additional insured party during the Contract Period and must state that this insurance is primary insurance as it relates to any other insurance carried by the County. Vendor must purchase and maintain Public Liability Insurance in an amount not less than:

- a) \$1,000,000 for each occurrence involving bodily injury;
- b) \$1,000,000 for each occurrence involving property damage;
- c) \$2,000,000 aggregate limit.

c) Comprehensive Automobile Liability. Vendor must purchase and maintain Comprehensive Automobile Liability Insurance covering all automobiles, trucks, tractors, trailers, or other automobile equipment, whether owned, not owned, or hired by the Vendor, with the following limits:

- a) \$1,000,000 for each occurrence involving personal injury;
- b) \$1,000,000 for each occurrence involving property damage.

- d) The Vendor must purchase and maintain insurance coverage in a sufficient amount to cover all potential claims on his tools, equipment and machinery.
- 19.2 The County reserves the right to require insurance of any Vendor in greater amounts provided notice of such requirements is stated in the solicitation.
- 19.3 All insurance policies required under this Paragraph, or otherwise required by the Solicitation or Contract Documents, must include a clause waiving any and all subrogation rights against the County.
- 19.4 Insurance policies must provide for notification to the County of non-payment of any premium and give the County the right to make the premium payment thereunder within a reasonable time, if the insurance policy is in danger of lapsing during the Contract Period. Any premium payments made by the County will be deducted from amounts due Vendor under the Contract.

20. Compliance With Laws

- 20.1 All work performed shall be in accordance with all local, state and federal codes, laws and regulations, including but not limited to: Virginia Conflict of Interest Act, Virginia Fair Employment Contracting Act, Virginia Freedom of Information Act, Virginia Prompt Payment Act, the Virginia Public Procurement Act, and the Botetourt County Code.

21. No Waiver

- 21.1 Any failure of the County to demand rigid adherence to one or more of the terms of the Contract Documents, on one or more occasions, will not be construed as a waiver nor deprive the County of the right to insist upon strict compliance with the terms of the Contract Documents. Moreover, it is the County's position and Vendor hereby agrees that the legal theories of Implied Waiver, Statute of Limitation, Estoppel, and Laches do not apply as defenses that the Vendor may assert in any action by the County. Any waiver of a term of this Agreement, in whole or in part, must be in writing and signed by the party granting the waiver to be effective.

22. Termination and Cancellation

- 22.1 The County has the unilateral right to terminate any contract with Vendor for default on the terms of that contract, or any other contract between the Vendor and the County.
- 22.2 The County has the unilateral right to cancel and terminate any contract with Vendor, in whole or in part, without penalty, merely out of convenience, and will require no breach of contract by Vendor as a condition of termination.

This right of termination for convenience may be exercised at the sole unconditional discretion of the County. If a contract is terminated in whole or in part for the convenience of the County, the Vendor will be paid the contracted price for the service or goods actually provided or rendered up to the date of the termination of the contract, but will not be paid any other fees or lost profits.

- 22.3 Any contract cancellation notice does not relieve the Vendor of the obligation to perform on all outstanding orders issued prior to the effective date of cancellation.

23. Availability of Funds

- 23.1 It is understood and agreed between the County and the Vendor that the County is bound by this Agreement only to the extent of the funds available and duly appropriated or which may hereafter become available and duly appropriated for the purpose of fulfilling the County's obligations with respect to the Contract Documents.

24. Billing, Method of Payment and Offset Rights

- 24.1 Billing will be done monthly based on the contracted rate bid by the Vendor and submitted to the Botetourt County Administration Department. The County will remit payment within 30 days of receipt of a correct invoice. Incorrect invoices will be subject to correction and/or rejection by the Botetourt County Administration Department.
- 24.2 Vendor agrees that the County has the unilateral right to offset any bill submitted to County by Vendor, or any payment owed to Vendor by the County, by any amount due to the County from Vendor pursuant to the Contract Documents, or any other agreement, contract or transaction between County and Vendor.

25. Tax Exemption

- 25.1 The County of Botetourt, as a political subdivision of the Commonwealth of Virginia, is exempt from any federal excise tax and Virginia sales and use tax. The county of Botetourt's tax identification number is 54-6001153.

26. Work Site Damages

- 26.1 Any damages, including damage to finished surfaces, resulting from Vendor's performance of its Obligations must be repaired to the satisfaction of the County at the Vendor's expense.

27. Choice of Law

27.1 To ensure uniformity of the enforcement of the Contract Documents, and irrespective of the fact that either of the parties now is, or may become, a resident of a different state, this Agreement will be governed by and construed in accordance with the laws of the Commonwealth of Virginia and of Botetourt County without regard to any principles of conflicts of law.

28. Forum Selection

28.1 Vendor agrees, and submits, to sole and exclusive jurisdiction and venue in the General District or Circuit Courts for Botetourt County, Virginia for resolution of any and all claims, causes of action or disputes between Vendor and the County. The Vendor agrees hereby to waive any jurisdictional or venue defenses related to any such action brought in the courts of Botetourt County, and further agrees not to remove or file any such action in federal court.

28.2 Vendor agrees that service by registered mail to the address set forth in Paragraph 31.1 of these Standard Terms and Conditions constitutes sufficient service of process for any such action.

29. Severability

29.1 If any provision of any one or all of the Contract Documents is held to be illegal, invalid, or unenforceable, or is found to be against public policy for any reason, such provision is fully severable and the remainder of the Contract Documents will be construed and enforced as if such illegal, invalid, or unenforceable provision had never been part of the Contract Documents, and the remaining provisions of the Contract Documents remain in full force and effect and are not be affected by the illegal, invalid, or unenforceable provision, or by its severance.

30. Attorneys' Fees

30.1 Should the County employ an attorney to either (i) institute and maintain a suit against Vendor arising out of the Contract Documents or Vendor's Obligations; (ii) assist in enforcing or defending any of the County's rights under the Contract Documents; (iii) protect the County's interest in any matter arising under a contract with Vendor; (iv) collect damages for the breach of a contract or any other amounts owed to the County; or (v) recover on a surety bond given by the Vendor, then the County shall be entitled to recover its attorneys' fees, costs, charges, and expenses expended or incurred therein from the Vendor if the County prevails in court, regardless whether the County recovers at law or in equity.

31. Notices

31.1 All requests, notices and other communications required or permitted to be given under the Contract Documents shall be in writing. Delivery of a notice shall be deemed to have been made when such notice is either:

- a) Duly mailed by first-class mail, postage prepaid, return receipt requested, or any comparable or superior postal or air courier service then in effect; or
- b) Transmitted by hand delivery, telegram, telex, telecopy or facsimile transmission, to the party entitled to receive the same at the address indicated below or at such other address as such party shall have specified by written notice to the other party. Notices to the County shall be sent to:

County Administrator
Botetourt County
One West Main Street
Fincastle, Virginia 24090

With a copy to:
County Attorney
Botetourt County
Gynn & Waddell, P.C.
415 South College Ave.
Salem, Virginia 24153

32. Contractual Claims Procedure

- 32.1 Contractual claims or disputes by Vendor against the County, whether for money or other relief, except for claims or disputes exempted by law from the procedure set forth herein, shall be submitted in writing no later than sixty (60) days after final payment; provided, however, that Vendor shall give the County written notice of its intention to file a claim or dispute within fifteen (15) days after the occurrence upon which the claim or dispute shall be based. Any written notice of Vendor's intention to file such a claim or dispute need not detail the amount of the claim, but shall state the facts and/or issues relating to the claim in sufficient detail to identify the claim, together with its character and scope. Whether or not Vendor files such written notice, Vendor shall proceed with the work as directed. If Vendor fails to make its claim or dispute, or fails to give notice of its intention to do so as provided herein, then such claim or dispute shall be deemed forfeited.
- 32.2 The County, upon receipt of a detailed claim, may at any time render its decision and shall render such decision within one hundred twenty (120) days of final payment. Each such decision rendered shall be forwarded to the Vendor by written notice.

AGENDA ITEM: Consideration of approval of the transfer of a 19.435 acre parcel identified as Lot C in Botetourt Center at Greenfield to the Economic Development Authority's ownership.

Administrator's Comments:

At the November regular meeting, the Board approved an agreement with the Greater Roanoke Valley Development Foundation and the Botetourt County Economic Development Authority for the construction of a shell building on Lot C in Botetourt Center at Greenfield. The agreement has been approved by both the Foundation and the Authority.

In order to proceed with this project, Lot C, consisting of 19.435 acres as shown on the attached plat, will need to be transferred to the Authority's ownership.

Recommendation:

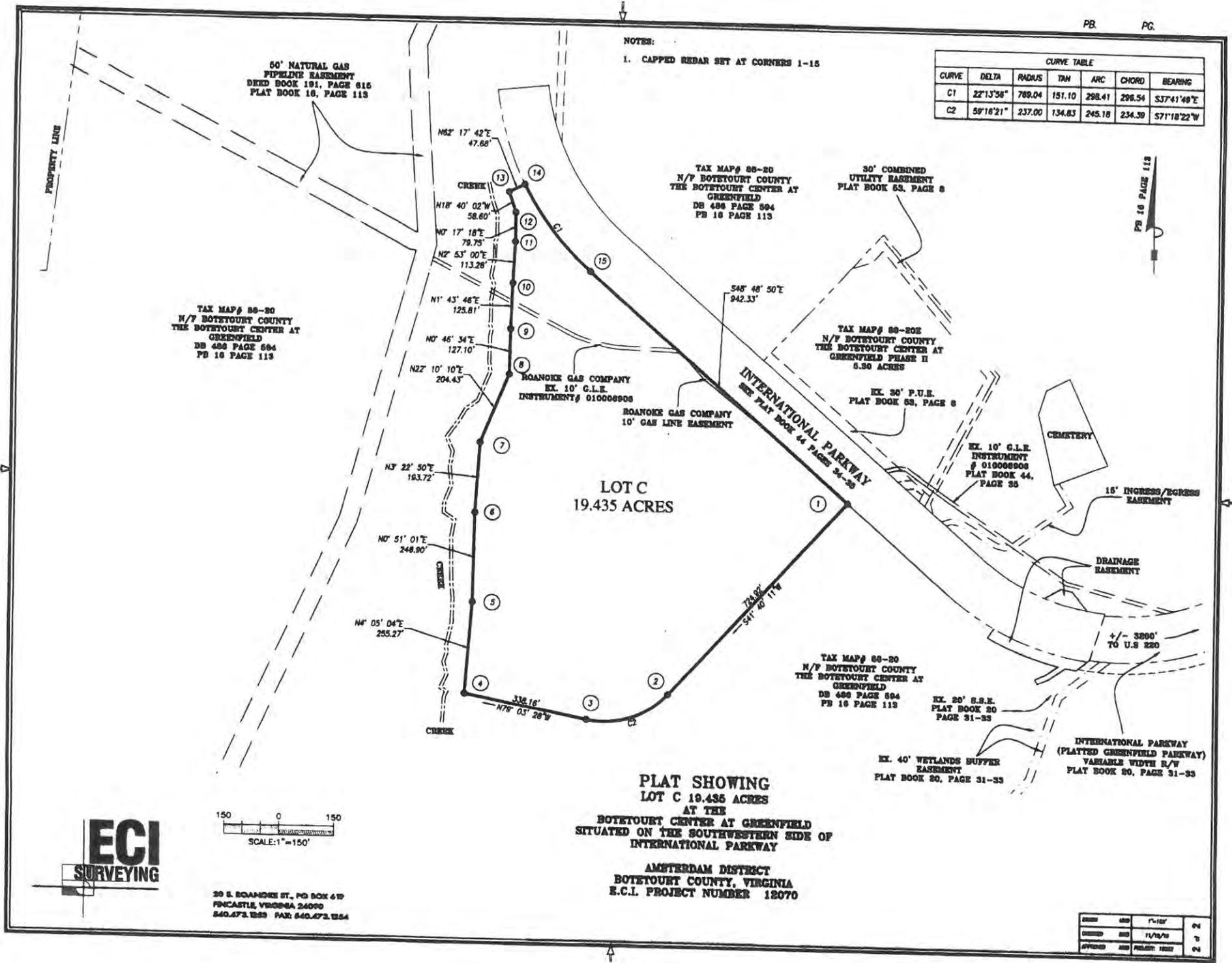
Approve the transfer of Lot C in Botetourt Center at Greenfield consisting of 19.435 acres to the Botetourt County Economic Development Authority and authorize the County Administrator to sign the deed and any associated documents on the County's behalf, subject to review and approval by the County Attorney.

Attachment

A handwritten signature in blue ink, followed by the date "12-14-15".

NOTES:
 1. CAPPED REDBAR SET AT CORNERS 1-15

CURVE TABLE						
CURVE	DELTA	RADIUS	TAN	ARC	CHORD	BEARING
C1	22°13'36"	769.04	151.10	298.41	298.54	S37°41'48"E
C2	59°18'21"	237.00	134.83	245.18	234.39	S71°18'22"W



TAX MAP# 88-20
 N/Y BOTETOURT COUNTY
 THE BOTETOURT CENTER AT
 GREENFIELD
 DB 488 PAGE 504
 PB 16 PAGE 113

TAX MAP# 88-20
 N/Y BOTETOURT COUNTY
 THE BOTETOURT CENTER AT
 GREENFIELD
 DB 488 PAGE 504
 PB 16 PAGE 113

30' COMBINED
 UTILITY EASEMENT
 PLAT BOOK 63, PAGE 8

TAX MAP# 88-20E
 N/Y BOTETOURT COUNTY
 THE BOTETOURT CENTER AT
 GREENFIELD PHASE II
 6.50 ACRES

EX. 30' P.U.E.
 PLAT BOOK 63, PAGE 8

EX. 10' G.L.E.
 INSTRUMENT
 # 010008908
 PLAT BOOK 44,
 PAGE 35

15' INGRESS/EGRESS
 EASEMENT

DRAINAGE
 EASEMENT

+/- 3500'
 TO U.S. 220

TAX MAP# 88-20
 N/Y BOTETOURT COUNTY
 THE BOTETOURT CENTER AT
 GREENFIELD
 DB 488 PAGE 504
 PB 16 PAGE 113

EX. 20' S.R.E.
 PLAT BOOK 20
 PAGE 31-33

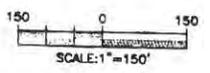
EX. 40' WETLANDS BUFFER
 EASEMENT
 PLAT BOOK 20, PAGE 31-33

INTERNATIONAL PARKWAY
 (PLATTED GREENFIELD PARKWAY)
 VARIABLE WIDTH R/W
 PLAT BOOK 20, PAGE 31-33

LOT C
 19.435 ACRES

PLAT SHOWING
 LOT C 19.435 ACRES
 AT THE
 BOTETOURT CENTER AT GREENFIELD
 SITUATED ON THE SOUTHWESTERN SIDE OF
 INTERNATIONAL PARKWAY

AMSTERDAM DISTRICT
 BOTETOURT COUNTY, VIRGINIA
 E.C.I. PROJECT NUMBER 12070



20 S. ROANOKE ST., PO BOX 419
 FINECASTLE, VIRGINIA 24090
 540.673.1259 FAX 540.673.1254

DATE	BY	REVISION	NO.

AGENDA ITEM: Appointments.

Administrator's Comments:

The following appointment-related item is listed on this month's agenda:

A. Consideration of the appointment of a Board member to the School Division's Planning Committee.

The County has received a request from John Busher, Superintendent of Schools, to appoint a Board of Supervisors member to serve on the School Division's Planning Committee. Mr. Leffel has agreed to serve on this committee.

Recommendation:

A. Appoint Mr. Jack Leffel as the Board of Supervisors representative on the School Division's Planning Committee.


12-10-15

TERMS OF OFFICE THAT EXPIRE IN 2016

EXPIRATION DATE	DISTRICT	NAME	BOARD/COMMITTEE
03-17-16		S. E. Cash	Building Code Brd. of Appeals
03-31-16	Amsterdam	Hunter Young	Board of Zoning Appeals
06-30-16		Erin Henderson	RVARC
07-01-16	Amsterdam	Donna Henderson	Social Services Board
07-01-16	Buchanan	Joe Obenshain	Social Services Board
07-01-16	Valley	Jan Smith	Social Services Board
09-01-16		Jeff Stritesky/Ronnie Sprinkle	CPMT
09-01-16		Penny Hall/Leigh Martin	CPMT
09-01-16		Julie Baker/Sam Foster	CPMT
09-01-16		Stephanie Harper/ Suzanne Renegar	CPMT
09-01-16		Donna Dent/Cathy Brown/ Cheryl Wilkinson	CPMT
09-01-16		Samantha Higgins/ Sandra Crawford	CPMT
09-01-16		Ashley Wittl/Tanisha Nash	CPMT
11-01-16		John Kilby	IDA
11-01-16		Jeff Emry	IDA
12-31-16	Blue Ridge	Wanda Wingo	Library Board of Trustees

AGENDA ITEM: 2:30 P. M. - VDoT Monthly Report.

Administrator's Comments:

Attached please find the December update report from VDoT's Residency Administration staff regarding plans for various current and near-term VDoT projects.

Recommendations:

Allow VDoT's representative to review this report and ask any questions as necessary.

Attachment


12-14-15

Botetourt County Board of Supervisor's Meeting

December 17, 2015

VDOT ~ Discussion Items

Project Updates:

- **Exit 150 Project:**
 - The roadway contract has been awarded to Branch Highways, Inc. in the amount of \$17.9 million. Work started on project May 29, 2015.
 - Continue roadway grading operations on Gateway Crossing
 - Continue preparation for the new box culvert under Lemons Run.
 - **Blasting operations are complete.**
 - Grading operations at Parcel 001 (TA) are ongoing.
 - Continue work on box culvert extension under Rt. 11
 - Test boring for new signal @ Gateway Crossing and Rt. 220A
 - **Reducing Exit 150B off-ramp to one lane.**
 - **Begin laying the slope back at box culvert under Exit 150B to facilitate the extension.**
 - This project will continue until summer 2018.

- **I-81 Latex Concrete Deck Overlays (6 Bridges) – Botetourt County**
 - Includes work on bridges over Routes 648, 779 & 676
 - The deck overlays have been completed on all bridges.
 - Contractor will continuing substructure repairs to the bridges over Routes 648, 779 & 676.
 - **Estimated completion of this project is January 2016.**

- **Route 779 (Catawba Road) & Etzler Intersection Improvements & Bridge over Amsterdam Creek:**
 - Contractor continues working on constructing bridge for phase I
 - Continue work constructing mainline 779. Work includes demolition of pavement, complete constructing sub-grade, stone and asphalt placement.
 - Estimated completion summer 2016.

Botetourt County Board of Supervisor's Meeting

December 17, 2015

- **Box Culvert Replacements BR02-962 127**
 - **Contractor – Burleigh Construction Co.**
 - **Amount of Contract – \$1.6 Million**
 - Rte. 615 Craig Creek Rd. – Culvert replacement over a branch of Craig Creek. Estimated completion is **December**.
 - Rte. 621 Roaring Run Rd. – Work scheduled to begin in September 2016.

- **Bridge Replacements – BR02-962-129**
 - **Contractor – D. A. Brown, Inc.**
 - **Amount of Contract - \$552,186.00**
 - **Tentative Road Closure Dates:**
 - Route 668 Mount Pleasant Church Road / Botetourt County: 3/14/16
 - Route 615 Craig Creek Road –Work scheduled to start 4/4/16
 - Route 779 Catawba Road - Work scheduled to start 6/13/16

Secondary Six Year Plan Projects (SSYP):

- **SR 675 (Glebe Road) (UPC 57034)**
 - Vertical Curve Improvements
 - Update: Estimated Project Cost = \$1,358,411
 - SSYP 32% Funded

Land Development Projects & Land Use Permits:

- **Projects:**
 - No submittals during the past month.

- **Permits Issued:**
 - Permits issued between 10/16/15 and 11/15/15:
 - 4 Private Entrance Permits
 - 1 Commercial Permits
 - 1 Sign Permit – Town of Fincastle
 - 7 Utility Permits

Area Headquarter Projects:

- **Asphalt Patching**
 - Brugh's Mill Rd.
 - Blue Ridge Tpk.
 - Breckinridge Mill Road

Botetourt County Board of Supervisor's Meeting

December 17, 2015

o **Cartmill Gap Drainage**

- Armor stream at 2 locations where water is coming out of the channel in large storm events and washing out the road.
- Establish ditch line behind houses to assist with carrying water back to channel from spring.
- Work continues; approximate completion end of the year.

o **Lithia Rd Water Channel Issue**

- Awaiting environmental recommendations
- Contacted landowner about donating R/W for realignment and raising, but there are 2 properties involved. In the process of locating second property owner (no local address available).

Traffic Engineering Study Requests:

- o **Rte. 220 Speed Limit Reduction Request from Fincastle to Daleville.**
 - Submitted and in progress
- o **Country Club Road Center Lane Painting**
 - Request sent to Traffic Engineering for review.
- o **Alt. 220 Speed Limit Study**
 - Request sent to Traffic Engineering for review.
- o **Rte. 652 Mountain Pass Rd. Truck Restriction**
 - Submitted to VDOT's Central Office in Richmond for a Full Truck Restriction
 - Completion estimated at 30-60 days (mid-December 2015/mid-January 2016).
- o **Rte. 652 Mountain Pass Rd. request for Guardrail in S-Curves**
 - Request sent to Traffic Engineering on 11/17/15 for review.
- o **Request for Rte. 220 North across from Lord Botetourt High School to change from 3 turning lanes into one solid turn lane**
 - Request sent to Traffic Engineering on 11/17/15 for review.

AGENDA ITEM: 3:00 P. M. - Public hearing on a proposed amendment to Chapter 20 Solid Waste, Article IV Litter Control of the Botetourt County Code regarding inoperative motor vehicles.

Administrator's Comments:

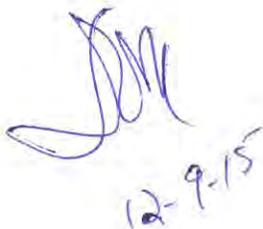
Section 20-86.1 Property to be kept free of inoperative motor vehicles of the Botetourt County Code prohibits citizens and businesses from keeping inoperative motor vehicles on their property unless they are kept within a fully enclosed building/structure or buffered/screened from view as per Section 25-5 of the Zoning Ordinance. During previous upgrades to the Zoning Ordinance, Section 25-5 was eliminated and these provisions are now included under Section 25-486 Storage and service area landscaping and screening.

Staff is recommending that the Board approve this proposed ordinance amendment as attached.

Recommendation:

1. Open the public hearing and allow any citizens present to speak.
2. Close the public hearing and amend Section 20-86.1 Property to be kept free of inoperative motor vehicles of Chapter 20 Solid Waste, Article IV Litter Control of the Botetourt County Code to change the Code reference number from Section 25-5 to Section 25-486.

Attachment



Handwritten signature and date: 12-9-15

**AN ORDINANCE TO AMEND AND REENACT § 20-86.1 OF THE BOTETOURT
COUNTY CODE**

CHAPTER 20—SOLID WASTE

...

Article IV. Litter Control.

...

Sec. 20-86.1. Property to be kept free of inoperative motor vehicles.

It shall be unlawful for any person, firm or corporation to keep, or allow to be kept, except within a fully enclosed building or structure, or otherwise buffered and screened from view as defined by section 25-~~5-486~~ of this Code, any inoperative motor vehicle on any property owned by such person, firm, or corporation. Vehicles in an automobile graveyard licensed pursuant to Chapter 5 of the Code are exempt from the provisions of this section. This section shall not apply to a licensed business which on June 26, 1970, was regularly engaged in business as an automobile dealer, salvage dealer or scrap processor.

...

AGENDA ITEM: 3:05 P. M. - Public hearing on proposed amendments to Chapter 21. Subdivisions of the Botetourt County Code regarding site plans.

Administrator's Comments:

As discussed at the November regular meeting, amendments are being proposed to Chapter 21. Subdivisions of the County Code to bring the ordinance into compliance with the Code of Virginia. Please see the November 25 memo from Nicole Pendleton, Planning Manager, (attached) which explains these amendments in more detail.

The Planning Commission recommended approval of these amendments, at their December 14 meeting, to include some additions as suggested by Reid McMurry.

Recommendation:

1. Allow staff/County Attorney to review the proposed amendments and ask any questions as necessary.
2. Open the public hearing and allow any citizens present to speak.
3. Close the public hearing and adopt the proposed amendments to Chapter 21. Subdivisions of the Botetourt County Code regarding site plans as attached.

Attachments


12-14-15



Botetourt County, Virginia
Development Services

Planning Commission Extract
Land Use Related Request

5 W. Main Street, Suite 100
Fincastle, Virginia 24090
Phone (540) 473-8248
or (540) 473-8320
Fax (540) 473-2018

Board of Supervisors Action Needed

December 17, 2015

Request

Construction Compliance
Erosion & Sediment Control
Inspections & Enforcement
Permit Applications &
Plan Reviews

Planning
Subdivisions
Zoning
Site Plans
Land Conservation

Public hearing on proposed amendments to Chapter 21, Article IV. Approval of Plats, and Article III. Definitions of Terms of the Botetourt County Code in accordance with state law processing requirements. The purpose is to update and clarify the subdivision plat approval process to make processing more internally consistent and better conform to state requirements. The changes to be considered are as follows: Sec. 21-66. *Preliminary sketch & preapplication meeting*. Conforms ordinance to state code by making preliminary sketch and preapplication meeting optional, and clarifies how and when meeting held. Sec. 21-67. *When required; process*. Conforms ordinance to state code by making preliminary plat submission optional for subdivisions of 50 or fewer lots and changing processing timeline to conform to state law. Sec. 21-67.1. *Final plat*. Separates section on final plat from section on preliminary plat for clarity and conforms timeline and submission requirements with state code. Sec. 21-68. *Minor subdivisions*. This section, formerly relating to subdivisions of fewer than five lots, is removed and addressed in amended Sec. 21-67. Sec. 21-69. *Boundary line adjustment*. Timeline for boundary line adjustment is revised to make timelines the same as for final plat. Sec. 21-70. *Family subdivisions*. Typographical changes. Sec. 21-71. *Low density subdivision*. Typographical changes. Sec. 21-71. *Subdivision for service facility*. Adds requirement that status of lot as service facility lot must be noted on plat. Sec. 21-80. *General requirements*. Clarifies that written request must be submitted for waivers of submission requirements. Sec. 21-82. *Preliminary plat content*. Typographical changes. Sec. 21-83. *Acceptance of plat*. Section removed as redundant. Sec. 21-85. *Multi-phase subdivisions*. Section removed as redundant under modern state-law multiphase vesting provisions. Sec. 21-86. *Term of validity of preliminary plat*. Conforms term of validity and circumstances in which preliminary plat may be revoked to conform to modern state law. Sec. 21-88. *Appeal of disapproval of preliminary plat*. Typographical changes. Sec. 21-102. *Time limit for filing*. Section removed as redundant and preempted by state law. Sec. 21-103. *Contents of final plat*. Clarifies that requests for waivers must be in writing and that a final plat must include the same details as a preliminary plat in addition to final plat details. Sec. 21-105. *Certificates*. Removes requirement for signature of owners as redundant (addressed elsewhere) and adds requirement for signature blocks for VDH, VDOT, WVWA, and other agency reviewers as appropriate. Sec. 21-108. *Effect of plat recordation*. Clarifies procedure for posting of surety bond and transfer of public facilities and easements by recordation of plat. Sec. 21-51. *Definitions*. Conforms definitions to changes in state law and above sections.

This land use change request involves the following:

- Land rezoning (conditions must be proffered, or offered by the applicant).
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permit (the Board has authority to assign conditions).

Planning Commission Recommendation:

On a vote of 5:0:0, the Planning Commission recommended approval of the text amendments to Chapter 21, Article IV. Approval of Plats Article III. Definitions of Terms.

Action requested of the Board of Supervisors:

The Board of Supervisors may approve or deny the request to the text amendments to Chapter 21, Article IV. Approval of Plats Article III. Definitions of Terms of the Botetourt County Code.

Staff Comments:

These proposed text amendments were included during the November Planning Commission work session. Staff and the county attorney explained that the updates were necessary in order to comply with the Code of Virginia, particularly with regard to timelines.

Staff received public comments from Mr. Reid McMurry, some of which have been incorporated into the text amendments.

DRAFT MOTIONS

Text Amendments to Revise the Subdivision Ordinance

Approval:

I move to approve the text amendments to revise Chapter 21 of the Botetourt County Subdivision Ordinance as previously stated, on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Denial:

I move to deny the text amendments to revise text amendments to revise Chapter 21 of the Botetourt County Subdivision Ordinance as previously stated, for the following reasons...

...and on the basis that the proposed text amendments are **NOT** consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

MEMORANDUM

TO: Members, Botetourt County Planning Commission

FROM: Nicole Pendleton, Planning Manager/Zoning Administrator

SUBJECT: Zoning and Subdivision Ordinance Text Amendments

DATE: November 25, 2015

CC: Kathleen Guzi, County Administrator
David Moorman, Deputy County Administrator
Mike Lockaby, County Attorney

At the November 9 Planning Commission and the November 10 Board of Zoning Appeals work sessions, staff and counsel presented information regarding changes to the Subdivision Ordinance and the Site Plan and Board of Zoning Appeals procedural sections of the Zoning Ordinance. These changes were also presented to the Board of Supervisors on November 24, 2015.

The processes for acceptance and approval of subdivision plats and site plans are identical under the State Code. In its 2015 session, the General Assembly made changes to the State Code provisions relating to subdivision plats and site plans. When staff and the County Attorney began analyzing how to update the County Code to comply with these changes, they also identified other small process changes that needed to be brought into compliance with the State Code.

The process for preliminary plats and final plats and site plans is standardized. Formerly, the Botetourt County Code required a preliminary plat for all subdivisions. The General Assembly prohibited this for subdivisions of less than 50 lots. Some years ago, the General Assembly also established a standardized timeline process for preliminary and final plats and site plans (there are details that differ, but the big picture is the same):

- **10 Days:** Review application for completeness and what County departments or outside agencies might need to review the plat or site plan; this is called the "checklist."
- **45 Days:** If review by a particular County department or outside agency (e.g., VDOT, VDH, WVWA) is necessary, that agency has 45 days to complete review.
- **60 Days:** If no agency review is necessary, the application must be approved or disapproved within 60 days total.
- **35 Days:** If the application requires agency review, it must be approved or disapproved within 35 days of completion of all agency reviews.
- **90 Days:** Maximum length of review if agency review is required.

Currently, total review time for plats and site plans is, on average, 30 to 40 days. Simple plats and plans are faster; more complex ones slower. This is well below the limits

set by statute or ordinance, but the time limits are set to be minimums that must be complied with.

Regarding the BZA-related amendments, the General Assembly made changes earlier this year to the State Code relating to boards of zoning appeals. These changes were designed to make small but substantive changes to how variances are handled, as well as to clarify procedural issues and how Community Development staff and applicants interact with the BZA when specific applications are under consideration.

Because Virginia is a Dillon Rule state where localities may only do those things that the General Assembly has specifically authorized them to do, or that are necessarily implied from such grants, we must bring our ordinances into compliance with State law.

A draft copy of these proposed amendments is attached for your information.

DRAFT MOTIONS

Text Amendments to Revise the Zoning Ordinance

Approval:

I move that the text amendments to revise Chapter 25 of the Botetourt County Zoning Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of approval on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Denial:

I move that the text amendment to text amendments to revise Chapter 25 of the Botetourt County Zoning Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of denial for the following reasons...

...and on the basis that the proposed text amendments are **NOT** consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Text Amendments to Revise the Subdivision Ordinance

Approval:

I move that the text amendments to revise Chapter 21 of the Botetourt County Subdivision Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of approval on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Denial:

I move that the text amendment to text amendments to revise Chapter 21 of the Botetourt County Subdivision Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of denial for the following reasons...

...and on the basis that the proposed text amendments are **NOT** consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Sec. 21-51. - Definitions.

~~Major subdivision: A subdivision creating six (6) or more lots.~~

~~Minor subdivision: A subdivision creating five (5) or fewer lots, including the remainder, if any, of the parent tract as one of the lots.~~

~~(Res. No. 09-02-08, 2-24-09)~~

**AN ORDINANCE AMENDING AND REENACTING CERTAIN PORTIONS OF
BOTETOURT COUNTY CODE CHAPTER 21—SUBDIVISIONS**

ARTICLE IV. APPROVAL OF PLATS.

...

Division 1. In General.

...

Sec. 21-65. Flooding and other hazards.

- (a) Land subject to flooding shall not be platted for residential occupancy, nor for such other uses as may increase dangers to health, life or property, or aggravate erosion or flood hazard. Such land, if any, within any subdivision shall be set aside on the plat for such uses as shall not be endangered by periodic or occasional inundation or shall not produce conditions contrary to public welfare.
- (b) The applicant for any subdivision of lots shall submit with his application a statement by a licensed surveyor or engineer as to whether or not any property in the proposed subdivision lies within the 100-year floodplain. When property lies within the 100-year floodplain, the extent of the floodplain shall be shown on the plat.

Sec. 21-66. Preliminary sketch & preapplication meeting.

~~The~~ The applicant ~~shall~~ may submit to the agent a preliminary sketch of the proposed subdivision prior to the applicant preparing an engineered preliminary plat and request a meeting with the agent to discuss the requirements for an application. The purpose of such preliminary sketch is to permit the agent to advise the applicant whether his plans, in general, are in accordance with the requirements of this chapter, and to facilitate the review as hereafter provided. The agent shall study the sketch and advise the applicant as to any changes that would be necessary to substantially conform to the requirements of this chapter. The agent shall mark the sketch indicating any such necessary changes. The agent shall provide such advice to the applicant within ~~ten~~ (10) working days of submission of the preliminary sketch.

Sec. 21-67. ~~Approval process, major subdivisions~~ Preliminary plat; when required, process.

- (a) When preliminary plat required. An applicant must submit a preliminary subdivision plat for any subdivision of more than 50 lots. For any subdivision of 50 or fewer lots, submission of a preliminary plat is optional and in the discretion of the applicant.
- ~~(a)(b)~~ Submission and acceptance of preliminary plat. After obtaining advice from the agent as to the conformance of the preliminary sketch to the subdivision regulations, the applicant shall submit a preliminary plat, in accord with the subdivision requirements provided for herein. The agent shall review the submitted preliminary plat within ~~twenty~~ (20) ~~10~~ working days to determine whether it ~~is in substantial conformance with the requirements of this chapter~~ meets the minimum submission requirements of this chapter. If deemed to be ~~in substantial conformance~~ complete, the plat is thereby officially accepted ~~for processing and so noted by the agent on the plats of the date of receipt in the agent's office, which shall be called the "official date of submission."~~ Upon making such determination that all documents are in order, the preliminary plat shall be deemed to be

~~official submitted. The date of this determination shall be deemed the filing date for the preliminary plat.~~ If it is not accepted by the agent, the agent shall submit the reasons in writing to the applicant within ~~twenty (20)~~ 10 working days of the date of submission. The agent's determination that the plat has been accepted for review and processing shall not be deemed a determination that the plat meets all requirements for approval.

~~(b)~~(c) *Review of preliminary plat ~~and action.~~*

- (1) Not later than 10 calendar days after the official date of submission of a preliminary plat, ~~the~~ the agent shall distribute copies of the preliminary plat to other county departments, and other county, state or federal government agencies as the agent may deem necessary to determine compliance with all applicable regulations. Review and comment by any such agency shall be completed within ~~twenty (20)~~ 45 working days of the ~~date on which~~ official date of submission of the preliminary plat ~~was officially submitted.~~ Any comments shall be submitted to the agent in writing. The agent shall also forthwith transmit the plat to the E-911 coordinator for approval of any proposed street names for any new streets or extensions to existing streets.
- (2) The agent shall review the preliminary plat for conformance ~~to with~~ the requirements of this chapter and shall prepare written comments as to findings.
- ~~(3)~~ ~~The agent shall then provide a copy of all such written comments to the applicant within forty five (45) days of the date on which the preliminary plat was officially submitted.~~
- ~~(4)~~(3) The applicant shall have the option of revising the application (preliminary plat) based upon the comments received. The agent shall determine whether such revisions, if any, constitute an amended application such that additional substantive review is required by the agent or other agencies, in which case the date on which the amended application is submitted shall thereafter be deemed the official ~~filing date or date of acceptance of the application,~~ official date of submission for timeline purposes.

~~(e)~~(d) *Action on preliminary plat.*

- (1) If no agency reviews pursuant to subsection (c)(1) are necessary, the agent shall complete review of the preliminary plat not later than 60 days after the official date of submission.
- ~~(4)~~(2) The agent shall act on the proposed preliminary plat ~~within ninety (90) days of official acceptance~~ not later than 35 days after receiving all agency comments, or 90 days after the date of official acceptance. The agent may delay such action if the applicant has submitted a written request for a delay. The agent shall act on the preliminary plat by approving, or disapproving such plat, ~~including reasons for the action, in writing, transmitted to the applicant by certified mail.~~ The agent shall approve the preliminary plat provided that the requirements of this ordinance and other applicable ordinances have been met. ~~Approval of the preliminary plat shall constitute approval of the subdivision.~~ If disapproved, specific reasons for disapproval shall be provided in writing or marked on the plat and sent to the

~~applicant by certified mail, in writing~~ and shall include such modifications or corrections as will permit approval of the plat. ~~The disapproval of the plat may be appealed to the Circuit Court of Botetourt County as provided for herein. Nothing herein shall be interpreted so as to preclude the applicant from filing a new preliminary plat for the same property is no appeal to the circuit court is pending.~~

- ~~(2) — After approval of the preliminary plat, a final (record) plat application may be officially submitted within two (2) years of the date of action, hereafter called the initial approval period. If no record plat is submitted within such time, the applicant will be considered as not having diligently pursued final plat approval and the subdivision approval will become null and void. Upon such determination by the county, the applicant is free to resubmit a new preliminary plat and reinitiate the process.~~
- ~~(3) — Extensions of up to one (1) year may be granted by the agent at the written request and justification of the applicant at least twenty-one (21) days prior to the end of the initial approval period or current extension period, provided that the total of all such extensions shall not exceed an aggregate of three (3) years beyond the initial approval period, at which point the county will deem that the applicant is not diligently pursuing final approval. In considering such requests for extensions, the agent shall consider whether the applicant has agreed in writing that all future plats, plans and profiles shall comply with all applicable regulations effect as of the date of granting of such extension, and whether compliance of those plans with the ordinances is feasible without rendering the final (record) plat no longer capable of substantial conformance with the approved preliminary plat and the conditions, if any, imposed at the time of approval.~~
- ~~(4) — If an applicant has obtained approval of a preliminary plat and submitted within two (2) years or any extended period as approved by the agent, a final plat meeting the submission requirements of this ordinance for a portion of the lots shown on the preliminary plat, then the applicant may submit final plats for remaining portions shown on the approved preliminary plat within five (5) years of the date of recordation of the initial final plat, or within such longer period as the agent may, at the time of preliminary plat approval, deem to be reasonable, taking into consideration the size and phasing of the proposed development, provided, however, that no final plat for any portion of the lots on an approved preliminary plat shall be approved unless such final plat is in conformance with the provisions of this chapter and all other applicable regulations in effect at the time it is submitted for approval.~~
- (3) — When the subdivision agent approves ~~the a preliminary~~ final subdivision plat for all or a portion of the property, the underlying preliminary plat shall remain valid for a period of five years from the date of approval of the latest-recorded final subdivision plat for the property. ~~of a multi-phase major subdivision, the subdivision agent may approve an extended period for the recordation of the final plats of the subdivision. The final plats for all phases must be recorded within five (5) years of the first recordation of a final plat for any phase, unless this period is extended by the subdivision agent at the time of the approval of the preliminary~~

~~plat. The subdivision agent may grant the extension for such time as he may deem to be reasonable, taking into consideration the size and phasing of the proposed subdivision. The final plats for unrecorded phases shall be subject to the terms and conditions of the engineering and construction standards and zoning requirements in effect at the time that each remaining phase is recorded.~~

- ~~(5) — The agent shall file a report with the planning commission for each major subdivision approved or disapproved. A copy of the agent's report shall also be filed with the county administrator.~~

~~Final plat.~~

Sec. 21-67.1. Final plat.

- ~~(a) *When required.* No property may be subdivided, except by judicial order, except following application for and approval of a final subdivision plat.~~
- ~~(a) — *Application requirements. Construction plans and profiles.* Subsequent to approval of the preliminary plat and prior to submission of the final plat, the applicant shall submit to the agent copies of the construction plans and profiles of any public improvements that are required by this or other applicable regulations.~~
- ~~(b) Subsequent to approval of the preliminary plat, a~~An applicant who proposes to record a final plat of subdivision shall submit copies of the final plat and other documents as required herein, to the agent for review. The agent shall determine within ~~ten (10) working~~ days if the final plats and documents comply with the minimum submission requirements ~~for final plats of this chapter. Except as provided for with regard to the preliminary/final plat process, the agent shall not accept a final plat unless there is a valid, approved preliminary plat for the same property. If deemed to be complete, the plat is thereby officially accepted as of the date of receipt in the agent's office, which shall be called the "official date of submission." Upon acceptance of the documents and final plat, the application shall be deemed to be officially submitted, and the date upon which such determination is made, shall be the filing date for the final plat.~~ If not accepted, the reasons shall be indicated by the agent in writing and returned with the documents and final plat to the applicant. Acceptance of the application for processing shall not be deemed ~~as~~ a determination that the final plat meets the requirements for approval.
- ~~(c) *Review and action.*~~
- ~~(1) *Within* If the agent determines that no agency review of a plat is necessary, then within ~~sixty (60)~~ days after the ~~filing date~~ official date of submission of the final plat, the agent shall act on the final plat application. If the agent approves the application, approval shall be evidenced by the agent's signature on the final plat, thereby indicating that the final plat is ~~in substantial conformance with the approved preliminary plat and is~~ in conformance with the requirements and provisions of this chapter ~~and all other applicable regulations~~, and that all construction plans and profiles are designed ~~and~~ in accordance ance with all county public facility regulations and requirements.~~

- (2) If the agent determines that agency review will be necessary, then within 10 days after the official date of submission of the final plat, the agent shall forward copies of the plat to all review agencies. Such review agencies shall complete their review and forward comments to the agent within 45 days, unless otherwise provided by law. Following receipt of all agency comments, the agent shall act upon the plat within 35 days.
- (3) If ~~such~~ all requirements and conditions of this chapter are not met, the agent shall not approve the final plat. Written reasons for such disapproval shall identify specific deficiencies with respect to adopted regulations, and shall generally identify such modifications or corrections as will permit approval of the plat.
- (2)(4) Upon resubmission of a disapproved final plat, the agent shall make a determination within 10 days of resubmission of whether the changes are directed to remedying the deficiencies that resulted in rejection or are substantive amendments to the plat. If the changes are directed to remedying the deficiencies that resulted in rejection, then the agent shall act within 45 days of the official date of submission of the revised final plat. If the changes are substantive amendments to the plat, the plat shall be processed as a new original final subdivision plat application.
- (3) ~~The agent shall not release an approved final plat and approval of a final plat shall not be deemed complete until all required agreements and surety relating to the final plat have been submitted, approved and executed in accordance with the policies and regulations in effect at the time the final plat is approved.~~
- (4) ~~An approved final plat shall be recorded by the applicant in the office of the Clerk of the Circuit Court of Botetourt County within six (6) months of the date of final approval, or the county will deem that the applicant is not diligently pursuing completion of the subdivision process and recordation of the plat and subdivision approval will become null and void.~~

Sec. 21-68. ~~Same~~—Minor subdivisions.

~~For minor subdivisions (those consisting of five (5) lots or less), a combined preliminary/final plat may be submitted, which shall include all of the required information and documents for both a preliminary plat of subdivision and a final plat, except as waived by the agent. The procedure for reviewing a preliminary/record plat shall follow that of the final plat. The creation of a subdivision in this manner shall not be for the purpose of circumventing this chapter or other chapters of the Botetourt County Code.~~

Sec. 21-69. ~~Same~~—Boundary line adjustment.

When the boundary lines ~~of~~ between any two ~~(2)~~ legal lots or parcels of record ~~are~~ is proposed to be relocated, or altered without creation of any additional lot or parcel, and where all resultant lots meet all applicable requirements of the zoning and subdivision ordinances, or where the original lots are nonconforming, but are made no more nonconforming by the adjustment, the following provisions apply:

- (1) The agent may waive any of the requirements of this chapter and approve such boundary line adjustment (~~BLA~~) as evidenced by the agent's signature on the plat so long as the following conditions have been met:
 - a. Such ~~BLA~~ boundary line adjustment shall not involve the relocation or alteration of streets, alleys, easements for public passage, or other public areas, and no easements or utility rights-of-way shall be relocated or altered without the express consent of all persons holding any interest therein.
 - b. Such ~~BLA~~ boundary line adjustment shall be clearly depicted upon the plat which shall be executed, acknowledged and recorded by the owner or owners of such land as provided in the Code of Virginia § 15.2-2264.
 - c. Such ~~BLA~~ boundary line adjustment shall not result in any new violation of the area or other dimensional requirements of the zoning ordinance, provided, however, that any existing violation of minimum yard requirements or any existing nonconformity shall be permitted to continue so long as such yard violation or nonconformity is not enlarged, expanded or extended.
 - d. Where the adjustment of the ~~BLA~~ boundary line may impact the suitability of any lot for individual on-site sewage disposal, the agent may require evidence of either ~~health department~~ Virginia Department of Health approval for an on-site sewage disposal system or from the county for connection to a public or community sewage system for any lot so impacted.
 - e. Unless the titles to all parcels affected by the ~~BLA~~ boundary line adjustment are vested identically in the same person or entity or the same combination of persons and/or entities, an executed deed shall be filed with the plat which makes clear that no additional lot or parcel shall be created by the boundary line adjustment.
- (2) For the purposes of the zoning and subdivision ordinances of Botetourt County, the lots or parcels resulting from any such boundary line adjustment approved hereunder shall be considered as coming into existence as of the date of recordation in the office of the Clerk of the Circuit Court of Botetourt County, Virginia, of the boundary line adjustment plat.
- ~~(3) The agent shall take action to approve or deny any BLA plat filed hereunder within twenty (2030) working days after such plat has been officially submitted. Such twenty-day period shall not include time that elapses awaiting applicant's response to the agent's comments and requirements.~~
- ~~(4) Any boundary line adjustment approved hereunder shall be recorded by the applicant in the office of the Clerk of the Circuit Court of Botetourt County, Virginia, within six (6) months of the date of final approval, or the county will deem that the applicant is not diligently pursuing completion of the subdivision process and recordation of the plat and shall declare it void.~~

Sec. 21-70. ~~Same~~—Family subdivisions.

A subdivision of a lot or parcel of record into two ~~(2)~~ or more lots for the purpose of conveyance to members of the **owner's** family will be approved when the following conditions are met:

- (1) There is no intent to circumvent the requirements of the Botetourt County Zoning Ordinance and/or the provisions of this subdivision ordinance by the creation of lots which would not be approved except under this section, for conveyance or reconveyance to grantees who are not eligible family members as defined herein, except for the trustees of a bona fide lender of purchase money and/or money for the construction of a residence or purchase of a mobile home to be sited on the lot conveyed.
- (2) The person to whom the lot is to be conveyed is a natural or legally defined child, spouse, sibling, parent, grandparent, grandchild, niece, or nephew of the property owner. One such division shall be allowed per family member, but this exception shall not apply so as to permit further subdivision of such parcel by grantees hereunder for a period of five ~~(5)~~ years after the final plat is recorded.
- (3) The person to whom the lot is to be conveyed has not previously been conveyed a lot by the exercise of this section or any previous family exemption section of the Botetourt County Code.
- (4) The lot so created shall be 1.25 or more acres in the A-1, AR, RR, and FC districts and shall have at least ~~twenty (20)~~ feet of frontage on a state maintained highway, or at least a ~~twenty~~ 20 foot wide appurtenant easement for ingress and egress to a state maintained highway.
- (5) Applicants for a family subdivision shall not be required to provide a soil survey, and no plat information relating to septic approval shall be required.
- (6) A plat of the proposed division, prepared in accordance with section 21-103 of this chapter, shall be approved by the subdivision agent.
- (7) The plat shall contain a certificate, the exact wording to be provided by the subdivision agent from standard models, wherein the owner of the property or family members receiving same, sets forth the relationship of the parties, attests to the compliance of the conveyance with the county ordinances governing same and affirms the subscriber's awareness that resale of the tract so conveyed to a nonfamily member or the original grantor within three ~~(3)~~ years shall be determined to be a circumvention of the ordinance and that the parties thereto may be subject to fines and/or prosecution for perjury. This certificate shall be subscribed and sworn before a clerk or deputy clerk of the circuit court or a notary public as required by the agent.
- (8) The applicant shall present to the agent three ~~(3)~~ paper copies and one ~~(1)~~ digital copy of the plat of family subdivision and an executed deed of conveyance for approval. ~~Upon approval, both shall immediately be given to the clerk of the~~

~~ircuit court for recordation. Failure to record the plat and deed upon approval shall constitute a violation of this chapter.~~

It shall be the applicant's responsibility to obtain preliminary approvals of the proposed family subdivision before executing the deed.

Sec. 21-71. ~~Same~~—Low density subdivision.

A low density subdivision is a subdivision into lots of ~~twenty-five (25)~~ or more acres each. The subdivider may request an exception to any of the requirements of this chapter pursuant to section 21-25. In no event, however, shall the planning commission grant an exception which permits a lot not approved for an individual sewage disposal system or connection to a public sewage disposal system.

The planning commission's decision to approve an exception to any of the requirements of this chapter shall be guided by the county's comprehensive land plan and by the purposes established in section 21-3, as well as by the requirements of section 21-25.

Sec. 21-72. ~~Same~~—Subdivision for service facility.

A subdivision for the purpose of creating a lot containing a stormwater detention pond, a pump station, utilities or other facility for the provision of services, sewer, water, stormwater runoff and other similar uses if the lot created does not meet the requirements for lot area, frontage, setbacks or permitted uses under the zoning ordinance. Any lot created pursuant to this section shall not be used for residences or commercial or industrial purposes, and such limitation shall be noted on the plat and the deed creating the service facility lot.

Division 2. Preliminary Plat Requirements.

Sec. 21-81. General requirements.

All preliminary plats shall provide all of the facts necessary to show compliance with ~~these this subdivision regulations~~chapter. The agent shall have the authority to waive certain submittal requirements for plats if the agent determines, upon written justification by the applicant, that such information is not necessary for the proper review and approval of the plat and that not providing the information will in no way affect any public improvements, adversely affect adjoining properties, or conflict with any other requirements of the zoning ordinance or subdivision ordinance. Such waivers must be approved prior to submission of the plat and may be addressed at the preapplication meeting pursuant to Section 21-66.

Sec. 21-82. Preliminary plat content.

Unless a waiver is approved as provided for in Section 21-81 above, all applications for preliminary plat approval shall include or be accompanied by the following information:

- (1) The applicant shall present to the agent three ~~(3)~~ paper copies of the plat, at a scale of not less than ~~two hundred (200)~~ feet to the inch, on sheets not larger than ~~twenty-four (24)~~ inches by ~~thirty-six (36)~~ inches, plus one ~~(1)~~ digital copy.
- (2) Name of subdivision, county, state, property owner and name, address, signature and license of the ~~engineer or~~ surveyor who prepared the plat; the date the plat was drawn and dates of any revision(s); north arrow and source of meridian; scale

of drawing and number of sheets. If shown on more than one sheet, matched lines shall clearly indicate where the sheets join.

- (3) General location of the proposed subdivision by an insert vicinity map, at a scale of not less than two ~~(2)~~ inches equals one mile or as otherwise approved by the agent, indicating thereon adjoining roads, their names and number, towns, subdivisions and other landmarks.
- (4) Proposed names and locations for new streets or extensions of existing streets, boundaries of all proposed and existing lots, easements, parks, school sites or other public areas, any areas of common open space, proposed uses of the property, the number and area of all building lots, all existing public and private streets and other rights-of-way, their names, numbers and widths, water courses and their names.
- (5) Names of owners and their property lines within the boundaries of the tract and adjoining such boundaries.
- (6) Deed reference, tax map, and parcel number.
- (7) Existing zoning and any proffers associated with the property; proof of any special exceptions, variances or waiver necessary for the subdivision, and existing zoning of adjoining properties.
- (8) When the subdivision consists of land acquired from more than one source of title, the outlines of the various tracts shall be indicated by dash lines and the identification of the respective tracts shall be placed on the plat.
- (9) The boundary survey or existing survey of record.
- (10) Total acreage, acreage of subdivided area, number, area and frontage of all building lots, existing buildings within the boundaries of the tract, yard and setback lines, and any areas of common open space.
- (11) Existing topography as required by the agent.
- (12) Location of 100-year flood plain as shown on the most recent federal emergency management agency (FEMA) maps.
- (13) All parcels of land to be dedicated for public use or ownership, the prospective owner(s) of such public use sites and the conditions of such dedication.
- (14) Preliminary soils survey or statement of public water/sewer availability.
- (15) Any proposed connections to public or community water and sewer systems.
- (16) Preliminary storm water management plans.
- (17) Outline of any proposed covenants.

~~Sec. 21-83. Acceptance of plat.~~

- ~~(a) A preliminary plat accepted for review and accompanied by the correct fee shall be deemed officially submitted to the county.~~

- (b) ~~The agent is authorized to reject a preliminary plat on account of significant deficiencies as determined by the agent based on the requirements of this chapter.~~
- (c) ~~Preliminary plats which are found deficient shall not be accepted until the deficiencies have been properly addressed and remedied. Resubmittals shall reactivate the review period.~~

Sec. 21-84. Reserved.

Sec. 21-85. Multi-phase subdivisions.

~~When the subdivision agent approves the preliminary plat of a multi-phase major subdivision, the subdivision agent may approve an extended period for the recordation of the final plats of the subdivision. The final plats for all phases must be recorded within five (5) years of the first recordation of a final plat for any phase, unless this period is extended by the subdivision agent at the time of the approval of the preliminary plat. The subdivision agent may grant the extension for such time as he may deem to be reasonable, taking into consideration the size and phasing of the proposed subdivision. The final plats for unrecorded phases shall be subject to the terms and conditions of the engineering and construction standards and zoning requirements in effect at the time that each remaining phase is recorded.~~

Sec. 21-86. Term of validity of preliminary plat.

~~The subdivider shall have one (1) year from the date of approval of the preliminary plat within which to file a final plat and final engineering plan meeting all of the submittal requirements established by article IV of this chapter for the subdivision or section thereof. Failure to do so shall make the preliminary plat approval null and void. The agent may, on written request of the subdivider received no fewer than ten (10) working days prior to expiration of validity and for good cause shown, grant one six-month extension of preliminary plat approval.~~

- (a) Once a preliminary subdivision plat is approved, it shall be valid for a period of five years, provided the subdivider (i) submits a final subdivision plat for all or a portion of the property within one year of such approval and (ii) thereafter diligently pursues approval of the final subdivision plat. "Diligent pursuit of approval" means that the subdivider has incurred extensive obligations or substantial expenses relating to the submitted final subdivision plat or modifications thereto.
- (b) The agent may grant one six-month extension of the time period to file a final subdivision plat under subsection (a) upon request of the subdivider filed at least 10 days prior to expiration of the one-year period of validity.
- (a)(c) However, no sooner than three years following such preliminary subdivision plat approval, and upon 90 days' written notice by certified mail to the subdivider, the commission or other agent may revoke such approval upon a specific finding of facts that the subdivider has not diligently pursued approval of the final subdivision plat.

Sec. 21-87. Appeal of failure to act on preliminary plat.

If the agent fails to approve or disapprove the preliminary plat within ~~ninety (90)~~ ninety (90) days after it has been officially submitted for approval, the subdivider, after ~~ten (10)~~ ten (10) days' written

notice to the agent, may petition the circuit court for an order with respect thereto as it deems proper, which may include directing approval of the plat.

Sec. 21-88. Appeal of disapproval of preliminary plat.

If the agent disapproves a preliminary plat and the subdivider contends that the disapproval was not properly based on the ordinance applicable thereto, or was arbitrary or capricious, he or she may appeal to the ~~Circuit Court of Botetourt County~~ circuit court, which ~~court~~ shall hear and determine the case as soon as may be. The appeal must be filed with the circuit court within ~~sixty (60)~~ days of the written disapproval by the agent.

Division 3. Final Plat Requirements.

Sec. 21-101. General requirements.

All final plats shall provide all of the facts necessary to show compliance with these subdivision regulations. The agent shall have the authority to waive certain submittal requirements for plats if the agent determines that such information is not necessary for the proper review and approval of the plat and that not providing the information will in no way affect any public improvements, adversely affect adjoining properties, or conflict with any other requirements of the zoning ordinance or subdivision ordinance. Such waivers must be approved prior to submission of the plat.

Sec. 21-102. Time limit for filing.

~~The subdivider shall have not more than one (1) year after receiving official notification concerning the preliminary plat to file with the agent a final subdivision plat in accordance with this chapter. Failure to do so shall make preliminary approval null and void. The agent may, on written request by the subdivider, grant an extension of this time limit.~~

Sec. 21-103. Content of final plat.

All final plats shall be clearly and legibly drawn in ink, at a scale of not smaller than ~~fifty (50)~~ feet to the inch (1"= 50'), except in cases where the agent has approved an alternate scale, on sheets being no larger than ~~seventeen (17)~~ by ~~twenty-two (22)~~ inches in size. If the plat is drawn on more than one sheet, match lines shall clearly indicate where the several sheets join. ~~The agent shall have the authority to waive certain submittal requirements for plats if the agent determines, upon written justification from the applicant, that such information is not necessary for the proper review and approval of the plat and that not providing the information will in no way affect any public improvements, adversely affect adjoining properties, or conflict with any other requirements of the zoning ordinance or subdivision ordinance. Unless a waiver is approved as provided for above, the final plat will clearly show the following information:~~

~~(1)~~ (1) If no preliminary plat is submitted, all applications for final plat approval shall include or be accompanied by the information required by Sec. 21-82

~~(1)~~(2) Name of the subdivision, county and state.

~~(2)~~(3) Name of owner(s), name, and address of the licensed professional **engineer or** surveyor who prepared the plat.

~~(3)~~(4) The numerical section number if the plat includes only a portion of a larger tract.

- ~~(4)~~(5) Date of preparation of the plat and dates of any revisions.
- ~~(5)~~(6) General vicinity map showing the location of the parcel to be subdivided and its relationship to surrounding roads.
- ~~(6)~~(7) The exact layout, including all dimensions, both linear and angular, for locating lots, adjoining streets, proposed and existing streets and easements. The linear dimensions shall be expressed in feet and hundredths of a foot and the angular measurements shall be expressed by bearings or angles in degrees, minutes and seconds. The accurate location and dimensions by bearings and distances with all curve data shall be shown on all lots and street lines and center lines of streets. The data of all curves along the street frontages shall be shown in detail at the curve or in a curve data table containing the following: radius, arc, chord and chord bearings. Survey accuracy shall result in a closure of one (1) in ten thousand (10,000) or better.
- ~~(7)~~(8) Numerical lot and block numbers.
- ~~(8)~~(9) Street names, as approved by the Botetourt County E-911 Coordinator.
- ~~(9)~~(10) Total area within the final plat, to nearest one-one thousandth of an acre.
- ~~(10)~~(11) Setback and yard requirements.
- ~~(11)~~(12) All survey monuments, lot corners, block markers and benchmarks, together with their description.
- ~~(12)~~(13) The endorsement of the surveyor duly licensed by the state who prepared the plat and, in addition, a statement that the platting or dedication of the following described land (here insert description of land subdivided) is with the free consent and in accordance with the desire of the undersigned owners, proprietors and trustees, if any, which statement shall be duly acknowledged before some officer authorized to take acknowledgements of deeds.
- ~~(13)~~(14) Certificates signed by the surveyor setting forth the source of title of the owners of the land subdivided and the place of record of the last instrument in the chain of title.
- ~~(14)~~(15) A land-disturbing permit for the subdivision in accordance with chapter 10 of the Code.
- ~~(15)~~(16) A certificate signed by the highway engineer that all proposed public streets or roads within the subdivision meet department of transportation standards.
- ~~(16)~~(17) Any deed covenants which may affect the type or location of structures, use of properties, or access to public rights-of-way.
- ~~(17)~~(18) Any lot which has been designated by the health department as not suitable for an individual sewage disposal system shall be replatted so that all lots on the final plat are suitable for individual sewage disposal systems, unless public or community sewer is being installed by the developer.

~~(18)~~(19) _____ For plats that contain common or shared easements, the following note shall be shown on the plat:

Whenever the board of supervisors shall determine that any pipes, cables, poles, equipment, or other facilities installed by or for any utility after the recordation of this subdivision plat in any street right-of-way or stormwater management easement shown on this plat must be relocated or removed, the owner or operator of such facilities shall relocate or remove the same at its expense in accordance with the order of the board.

~~(19)~~(20) _____ Survey requirements. All multiple lot subdivision plats shall be based on a current field survey performed in accordance with the "Minimum Standards and Procedures for Land Boundary Surveying Practice" promulgated by the Virginia Department of Professional and Occupational Regulation (18 V.A.C. § 10-20-370) as amended. All ~~single-single~~ lot subdivisions, including family, low density, agricultural divisions and boundary line adjustments or resubdivisions, may, with the consent of the parties to the subsequent conveyance and the waiver of the subdivision agent, be based on a plat from records of previous surveys without additional monumentation, or combination of same with a partial current field survey. In either event, all of the plat information listed as required in said minimum standards and procedures shall be shown together with such additional items required by this chapter.

~~(20)~~(21) _____ For plats that contain private roads or streets, the following note shall be shown on the plat:

All streets in this subdivision do not meet the standards necessary for inclusion in the system of state highways and will not be maintained by the department of transportation or Botetourt County and are not eligible for rural addition funds or any other funds appropriated by the General Assembly and allocated by the Commonwealth Transportation Board.

Sec. 21-105. Certificates.

The following certificates shall appear on the final plat, and shall be executed as appropriate:

- (1) I certify that, to the best of my knowledge and belief, all requirements of the Board of Supervisors and ordinances of the County, regarding the platting of subdivisions within the County, have been complied with (to be signed, dated by owner for all major subdivisions).
- ~~(2) The platting and subdivision of (here insert a correct legal description of land subdivided, including magisterial district, source of title, and location of last instrument in the chain of title), containing (insert acreage) and designated (insert name of subdivision), is with the free consent and in accordance with the desire of the undersigned owners, proprietors and trustees, if any; that all streets shown on the plat are irrevocably offered for dedication to public use (unless offered as a permitted, private street); and that all lots are subject to certain covenants and restrictions dated (insert date) and recorded at (deed book and page) in the office~~

~~of the clerk of the circuit court of the County. (To be signed and dated by all owners).~~

~~(3)(2)~~ Provide area for subdivision agent, ~~and health department~~ Virginia Department of Health, and, if applicable, Virginia Department of Health, Virginia Department of Transportation and Western Virginia Water Authority approval.

Sec. 21-106. Posting of bond.

- (a) After approval of the final plat, the subdivider shall post a surety bond, cash bond, or an irrevocable letter of credit in an amount sufficient to cover the costs of necessary improvements as determined by the agent. A proposed surety bond, cash bond, or irrevocable letter of credit will not be accepted by the county until it is approved by the county attorney. Improvements to be covered shall include, without limitations, all roads, streets, drainage facilities, water and sewer facilities, other utility facilities and all other required or proffered facilities. The bond or irrevocable letter of credit shall be terminated only with the consent of the agent.
- (b) In determining the cost of required improvements and the amount of the bond, the agent may consult with a duly licensed engineer who shall prepare this data for the agent or, preferably, shall require a bona fide estimate of the cost improvements to be furnished him by the subdivider to assist the agent in determining the amount of the bond.
- (c) The agent shall review progress on all subdivisions on an annual basis to determine if adjustment of the amount of the bond is necessary.
- (d) All such bonded subdivision improvements shall be accomplished and roads accepted into the Virginia department of transportation system within two (2) years from date of approval of the subdivision and the bond shall guarantee such performance. The bond shall not be released until the construction has been inspected and approved by the highway engineer, county department of public works and other appropriate authorized agents.
- (e) The county subdivision agent shall be empowered to grant up to two (2) six-month extensions or one (1) twelve-month extension to this two-year period when extenuating circumstances or hardship conditions are found to exist. The agent shall make such determination within thirty (30) days of receiving such request from the applicant in writing. If proposed public street(s) or public street improvements have not been approved by the Virginia Department of Transportation for acceptance into the Virginia State Highway System within the time limits specified, the county subdivision agent shall immediately initiate appropriate bond collection procedures.

Sec. 21-106.1. Additional submissions.

Prior to final plat approval the agent may require the applicant to submit any of the following:

- (a) Deed of dedication and/or deed of easement for all rights of way, easements, or other estates or improvements which will be conveyed to the county, or other entity, as a result of the subdivision.

- (b) Any declaration of restrictive covenants applicable to the subdivision.
- (c) Any property owners' association documents applicable to the subdivision.
- (d) Any construction plans, profiles and/or specifications applicable to the subdivision, including water, sewer and storm management systems.
- (e) As built construction drawings for all utilities or other facilities applicable to the subdivision.

Sec. 21-107. Recording of plat.

After approval of the final plat and the posting of the bond, where applicable, approval of the final plat shall be written by the agent on the face thereof. When thus executed and approved as herein specified, the plat shall be filed and recorded in the office of the clerk of the circuit court and indexed under the names of the landowners signing the statement specified in section 21-105 and under the name of the subdivision.

Sec. 21-108. Effect of plat recordation.

(a) Unless a plat is filed with the clerk of the Circuit Court for Botetourt County within six months after final approval thereof, such approval shall be null and void and the plat marked void and returned to the agent. However, where construction of facilities to be dedicated for public uses has commenced pursuant to an approved plan or permit with surety approved by the agent, or where the developer has furnished surety to the agent in the amount of the estimated cost of construction of such facilities, the time for plat recordation shall be extended to one year after final approval or to such time as may be specified in any valid surety or performance agreement.

~~(d)~~(b) Recordation of the final plat with the clerk of the circuit court shall operate to transfer, in fee simple, to the county such land or portion of the premises platted as is on such plat set apart for public streets, or other public use and to transfer to the county any easement indicated on such plat to create a public right of passage over same. Rights of subdividers of land that have been validly reserved are not to be affected.

Sec. 21-108.1. Deeds.

Deeds conveying lots within an approved subdivision must contain the following language where applicable:

All streets in this subdivision do not meet the standards necessary for inclusion in the system of state highways and will not be maintained by the department of transportation or Botetourt County and are not eligible for rural addition funds or any other funds appropriated by the General Assembly and allocated by the Commonwealth Transportation Board.

Sec. 21-109. Changes in approved plat.

(a) No change, erasure or revision shall be made on the final plat, nor on accompanying data sheets, after approval of the agent has been endorsed in writing on the plat or sheets, unless authorization for such changes has been granted in writing by the agent.

- (b) For any change in a map of an approved or recorded subdivision plat, if such change affects any street layout shown on such map, or area reserved thereon for public use, or any lot line, or if it affects any map or plan legally recorded prior to the adoption of this chapter, such parcel shall be approved by the agent by the applicable procedures, rules and regulations for a subdivision approval as provided for herein.

Sec. 21-110. Vacation of recorded plat.

Any plat recorded, or part thereof, may be vacated with the consent of the board of supervisors and the owners, as specified in section 15.2-2271 of the Code of Virginia. In cases where any lot has been sold, the plat or part thereof may be vacated according to either common agreement of all lot owners on the plat indicated by a written statement or by ordinance of the board of supervisors, as specified in 15.2- 2272.

TO NICOLE

FROM RALPH WALDO EMERSON

ON 8 DECEMBER 2015

RE SUBDIVISION ORDINANCE AMENDMENTS

0) (WHEN DID YOU DO ALL THAT?)

1) THERE ARE UNFORTUNATELY AT LEAST FOUR OTHER REFERENCES TO MAJOR/MINOR IN THE ORDINANCE (SEE ATTACHED) EASIEST CURED BY PUTTING THE DEFINITIONS BACK.

2) 21-82, PAGE 8, PENULTIMATE LINE

" 2ND NAME, address, signature and license number of the ~~ENGINEER OR~~;
OR YOU COULD JUST USE " NAME, 2ND address of the licensed

professional ~~ENGINEER OR~~ surveyor who prepared the plot" 25 IN THE FINAL PLAT SECTION
STANDARD USE IS " NAME, address, seal and signature of ...

AND ACTUALLY PROFESSIONAL ENGINEERS MAY BE ALLOWED TO DO PRELIMINARY PLATS

- I WAS REFERRING TO FINAL PLATS

IF YOU WANT TO LEAVE IT JUST LIKE YOU HAVE IT NOW, IT WON'T BOTHER ME A BIT

3) THE HIGHWAY DEPARTMENT IS STILL NOT GOING TO SIGN ANYTHING. 21-105 (3) (2) AT LEAST RECOGNIZES THIS REALITY. 21-103 (15) (16) IS AN OLD DARK AGES FORM AND IS HERE REDUNDANT AS WELL. SEE LAST LINE OF 2) ABOVE.

4) I AM PROBABLY GOING TO ASK THE BOARD TO ATTACH MY LAST SENTENCE TO MY 21-103 (14) (20) AND CUT OUT OR BACK ON 21-103 (1) (NOTHING PERSONAL) I CAN ADD (1), (2), AND/OR (3) ABOVE TO THAT EFFORT IF YOU LIKE, OR NOT. WILL TRY TO GET YOU AN ADVANCE COPY. ("together with such preliminary plot 25 is required by the Agent" ???

8 DECEMBER 2015

- (2) A series of culs-de-sac, U-shaped streets or short loops entered from, and designed generally at, right angles to such a parallel street, with the rear lines at their terminal lots backing onto the primary arterial.
 - (3) A marginal access or service road separated from the primary arterial by a planting or grass strip and having access thereto at suitable points.
- (Res. No. 09-02-08, 2-24-09)

Sec. 21-135. Monuments.

(a) All **minor** subdivisions shall be monumented in accordance with "Minimum Standards and Procedures for Land Boundary Surveying Practice" (18 VAC 10-20-370).

(b) All **major** subdivisions shall be monumented as follows:

- (1) The outside boundary of the tract being subdivided shall be monumented in accordance with "Minimum Standards and Procedures for Land Boundary Surveying Practice" (18 VAC 10-20-370). In addition, the substance and size of each monument found shall be noted on the final plat of the subdivision. All replacement monuments set shall meet the requirements for new division corners as set forth below.
- (2) All new division corners shall be monumented with solid iron or pipe not less than one-half ($\frac{1}{2}$) inch in diameter and twenty-four (24) inches long, driven so as to be flush with the finished grade, and capped with metal or plastic stamped with the surveyors name, initials, and/or license number so as to distinguish monuments set by the original surveyor from replacement monuments set by others. Where conditions do not allow the specified monument to be placed as required at the lot corner, the corner shall be marked as appropriate to the conditions and the specified monument shall be set on line as near to the corner as conditions allow and such location shall be noted on the final plat, or the schedule of monumentation subsequently recorded, as appropriate.
- (3) All **major** subdivisions with bonded improvements shall meet the following requirements.
 - a. The surveyor preparing the final plat shall submit with same a letter or schedule setting forth his charge for monumenting, as required above, the subdivision being submitted and the developer shall bond same along with other improvements.
 - b. Before the bond will be released the surveyor shall submit a letter or schedule certifying that all required monuments were set after construction of improvements bonded by the developer and after the installation of underground utilities by others, or that monuments set prior to such construction were field verified after same and found to be as required. In addition, any variations in type or location of monument from what was shown on the final plat of the subdivision, shall be noted on a schedule of monumentation, which may be a copy of the

(18)(19) For plats that contain common or shared easements, the following note shall be shown on the plat:

Whenever the board of supervisors shall determine that any pipes, cables, poles, equipment, or other facilities installed by or for any utility after the recordation of this subdivision plat in any street right-of-way or stormwater management easement shown on this plat must be relocated or removed, the owner or operator of such facilities shall relocate or remove the same at its expense in accordance with the order of the board.

(19)(20) Survey requirements. All multiple lot subdivision plats shall be based on a current field survey performed in accordance with the "Minimum Standards and Procedures for Land Boundary Surveying Practice" promulgated by the Virginia Department of Professional and Occupational Regulation (18 V.A.C. § 10-20-370) as amended. All ~~single~~ single-lot subdivisions, including family, low density, agricultural divisions and boundary line adjustments or resubdivisions, may, with the consent of the parties to the subsequent conveyance and the waiver of the subdivision agent, be based on a plat from records of previous surveys without additional monumentation, or combination of same with a partial current field survey. In either event, all of the plat information listed as required in said minimum standards and procedures shall be shown together with such additional items required by this chapter.

(20)(21) For plats that contain private roads or streets, the following note shall be shown on the plat:

All streets in this subdivision do not meet the standards necessary for inclusion in the system of state highways and will not be maintained by the department of transportation or Botetourt County and are not eligible for rural addition funds or any other funds appropriated by the General Assembly and allocated by the Commonwealth Transportation Board.

Sec. 21-105. Certificates.

The following certificates shall appear on the final plat, and shall be executed as appropriate:

- (1) I certify that, to the best of my knowledge and belief, all requirements of the Board of Supervisors and ordinances of the County, regarding the platting of subdivisions within the County, have been complied with (to be signed, dated by owner for all major subdivisions).
- (2) ~~The platting and subdivision of (here insert a correct legal description of land subdivided, including magisterial district, source of title, and location of last instrument in the chain of title), containing (insert acreage) and designated (insert name of subdivision), is with the free consent and in accordance with the desire of the undersigned owners, proprietors and trustees, if any; that all streets shown on the plat are irrevocably offered for dedication to public use (unless offered as a permitted, private street); and that all lots are subject to certain covenants and restrictions dated (insert date) and recorded at (deed book and page) in the office~~

AGENDA ITEM: 3:10 P. M. - Public hearing on proposed amendments to Chapter 25. Zoning of the Botetourt County Code regarding site plans and the Board of Zoning Appeals.

Administrator's Comments:

As discussed at the November regular meeting, amendments are being proposed to Chapter 25. Zoning of the County Code to bring the ordinance into compliance with the Code of Virginia regarding site plans and the Board of Zoning Appeals. Please see the November 25 memo from Nicole Pendleton, Planning Manager, (attached) which explains these amendments in more detail.

The Planning Commission recommended approval of these amendments, at their December 14 meeting.

Recommendation:

1. Allow staff/County Attorney to review the proposed amendments and ask any questions as necessary.
2. Open the public hearing and allow any citizens present to speak.
3. Close the public hearing and adopt the proposed amendments to Chapter 25. Zoning of the Botetourt County Code regarding site plans and the Board of Zoning Appeals as attached.

Attachments


12-14-15



Botetourt County, Virginia
Development Services

Planning Commission Extract
Land Use Related Request

5 W. Main Street, Suite 100
Fincastle, Virginia 24090
Phone (540) 473-8248
or (540) 473-8320
Fax (540) 473-2018

Board of Supervisors Action Needed

December 17, 2015

Request

Construction Compliance
Erosion & Sediment Control
Inspections & Enforcement
Permit Applications &
Plan Reviews

Planning
Subdivisions
Zoning
Site Plans
Land Conservation

Public hearing on proposed amendments to Chapter 25, Article V. Process and Administration, Division 2. Board of Zoning Appeals, Division 3. Procedure Before the Board of Zoning Appeals, and Article VI. Definitions of the Botetourt County Code in accordance with 2015 Virginia Acts c. 597. The purpose is to update language relating to the definition of variances and to update procedures for processing BZA appeals to conform them to changes to state law that went into effect on July 1, 2015. The changes to be considered are as follows: Sec. 25-531. *Jurisdiction and purpose*. Technical nonsubstantive changes to make internal references and rights clearer; Sec. 25-532. *Authority and establishment*. Clarify authorization to adopt bylaws; Sec. 25-533. *Membership*. Update of cross-reference to state code and other nonsubstantive changes; Sec. 25-534. *Officers*. Revision to selection of chairman, acting chairman and secretary to the board of zoning appeals, prohibits ex parte contacts between Staff and the Board relating to specific applications; Sec. 25-535. *Meetings and hearings*. Revise wording for chairman and acting chairman; Sec 25-536. *Powers and duties*. Remove section due to redundancy. Sec. 25-539. *Limitation*. Clarification of language. Sec. 25-540. *Decisions subject to judicial review*. Removed; substance of section moved to Section 25-554. Sec. 25-551. *Variance procedure*. Clarifies elements to be shown and standard of review for variances in accordance with changes to state law; Sec. 25-552. *Appeals of administrative officers*. Change in catchline of section and typography only; Sec. 25-553. *Ex parte communications and proceedings*. Clarifies that staff and attorneys of the Board of Supervisors may not have ex parte communications with BZA members relating to specific applications before the BZA; Sec. 25-554. *Judicial review; writ of certiorari*. Collects and defines rights to review by circuit court under a writ of certiorari in strict accordance with state law, allowing for appeal of all BZA decisions to circuit court; Sec. 25-601. *Definitions*. Adds a definition of "variance" that is identical to state code.

Public hearing on proposed amendments to Chapter 25, Article V. Process and Administration, Division 5, Required Development Approvals of the Botetourt County Code in accordance with state law processing requirements. The purpose is to update and clarify the site plan approval process to make processing more internally consistent and better conform to state requirements. The changes to be considered are as follows: Sec. 25-573. *Site plan—when required*. Breaks up former very long Section 25-573, adds RAM to list of districts where site plan is required, and clarifies exemptions. Sec. 25-573.1. *What site plan to show*. Breaks former Sec. 25-573(b), (c), and (d) into a new section for clarity; other nonsubstantive changes. Sec. 25-573.2. *Process for approval of site plan*. Clarifies process for approval, providing for 10-day review for completeness, 45-day agency review if necessary, and 35-day zoning administrator review if necessary. Maximum time is set at

60 days if agency review not necessary, 90 if referral is necessary. Sec. 25-573.3. Process for approval of site plans subject to the Middle Class Tax Relief and Job Creation Act of 2012. Provides that small changes to certain telecommunications facilities and monopoles may be approved administratively as required by § 6409 of the Middle Class Tax Relief and Job Creation Act of 2012 and federal regulations.

This land use change request involves the following:

- Land rezoning (conditions must be proffered, or offered by the applicant).
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permit (the Board has authority to assign conditions).

Planning Commission Recommendation:

On a vote of 5:0:0:0, the Planning Commission recommended approval of the text amendment to Chapter 25, Article V. Process and Administration, Division 2. Board of Zoning Appeals, Division 3. Procedure Before the Board of Zoning Appeals, and Article VI. Definitions of the Botetourt County Code.

Action requested of the Board of Supervisors:

The Board of Supervisors may approve or deny the request to the text amendment to Chapter 25, Article V. Process and Administration, Division 2. Board of Zoning Appeals, Division 3. Procedure Before the Board of Zoning Appeals, and Article VI. Definitions of the Botetourt County Code.

Staff Comments:

Separate work sessions were held with the Planning Commission and the Board of Zoning Appeals during the regularly scheduled November meetings. Staff and the county attorney explained that the updates were necessary in order to comply with the Code of Virginia.

Staff received public comments from Mr. Reid McMurry.

DRAFT MOTIONS

Text Amendments to Revise the Zoning Ordinance

Approval:

I move to approve the text amendments to revise Chapter 25 of the Botetourt County Zoning Ordinance as previously stated, on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Denial:

I move to deny the text amendments to revise Chapter 25 of the Botetourt County Zoning Ordinance as previously stated, for the following reasons...

...and on the basis that the proposed text amendments are **NOT** consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

MEMORANDUM

TO: Members, Botetourt County Planning Commission

FROM: Nicole Pendleton, Planning Manager/Zoning Administrator

SUBJECT: Zoning and Subdivision Ordinance Text Amendments

DATE: November 25, 2015

CC: Kathleen Guzi, County Administrator
David Moorman, Deputy County Administrator
Mike Lockaby, County Attorney

At the November 9 Planning Commission and the November 10 Board of Zoning Appeals work sessions, staff and counsel presented information regarding changes to the Subdivision Ordinance and the Site Plan and Board of Zoning Appeals procedural sections of the Zoning Ordinance. These changes were also presented to the Board of Supervisors on November 24, 2015.

The processes for acceptance and approval of subdivision plats and site plans are identical under the State Code. In its 2015 session, the General Assembly made changes to the State Code provisions relating to subdivision plats and site plans. When staff and the County Attorney began analyzing how to update the County Code to comply with these changes, they also identified other small process changes that needed to be brought into compliance with the State Code.

The process for preliminary plats and final plats and site plans is standardized. Formerly, the Botetourt County Code required a preliminary plat for all subdivisions. The General Assembly prohibited this for subdivisions of less than 50 lots. Some years ago, the General Assembly also established a standardized timeline process for preliminary and final plats and site plans (there are details that differ, but the big picture is the same):

- **10 Days:** Review application for completeness and what County departments or outside agencies might need to review the plat or site plan; this is called the "checklist."
- **45 Days:** If review by a particular County department or outside agency (e.g., VDOT, VDH, WVWA) is necessary, that agency has 45 days to complete review.
- **60 Days:** If no agency review is necessary, the application must be approved or disapproved within 60 days total.
- **35 Days:** If the application requires agency review, it must be approved or disapproved within 35 days of completion of all agency reviews.
- **90 Days:** Maximum length of review if agency review is required.

Currently, total review time for plats and site plans is, on average, 30 to 40 days. Simple plats and plans are faster; more complex ones slower. This is well below the limits

set by statute or ordinance, but the time limits are set to be minimums that must be complied with.

Regarding the BZA-related amendments, the General Assembly made changes earlier this year to the State Code relating to boards of zoning appeals. These changes were designed to make small but substantive changes to how variances are handled, as well as to clarify procedural issues and how Community Development staff and applicants interact with the BZA when specific applications are under consideration.

Because Virginia is a Dillon Rule state where localities may only do those things that the General Assembly has specifically authorized them to do, or that are necessarily implied from such grants, we must bring our ordinances into compliance with State law.

A draft copy of these proposed amendments is attached for your information.

DRAFT MOTIONS

Text Amendments to Revise the Zoning Ordinance

Approval:

I move that the text amendments to revise Chapter 25 of the Botetourt County Zoning Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of approval on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Denial:

I move that the text amendment to text amendments to revise Chapter 25 of the Botetourt County Zoning Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of denial for the following reasons...

...and on the basis that the proposed text amendments are **NOT** consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Text Amendments to Revise the Subdivision Ordinance

Approval:

I move that the text amendments to revise Chapter 21 of the Botetourt County Subdivision Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of approval on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

Denial:

I move that the text amendment to text amendments to revise Chapter 21 of the Botetourt County Subdivision Ordinance as previously stated, be forwarded to the Board of Supervisors with a recommendation of denial for the following reasons...

...and on the basis that the proposed text amendments are **NOT** consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

**REVISIONS TO BOTETOURT COUNTY BOARD OF ZONING APPEALS
PROCEDURES TO COMPLY WITH 2013–15 STATE CODE AMENDMENTS**

DIVISION 2. BOARD OF ZONING APPEALS

Sec. 25-531. Jurisdiction and Purpose~~purpose~~.

Sec. 25-532. Authority and establishment.

Sec. 25-533. Membership.

Sec. 25-534. Officers.

Sec. 25-535. Meetings and hearings.

Sec. 25-536. ~~Powers and duties.~~ (Reserved.)

Sec. 25-537. Records.

Sec. 25-538. Periodic reports.

Sec. 25-539. Limitation.

~~Sec. 25-540. Decisions subject to judicial review.~~

Secs. 25-~~541~~540—25-550. Reserved.

Sec. 25-531. Jurisdiction and Purpose~~purpose~~.

The board of zoning appeals shall hear and decide:

(a) Appeals from any order, requirement, decision or determination made by the zoning administrator or an other administrative officer in the administration or enforcement of this chapter, ~~except~~ :

(b) ~~upon a~~ Appeals or original applications in specific cases, for such a variance ~~from the terms of this chapter as will not be contrary to the public interest, when, owing to special conditions, a literal enforcement of the provisions of this chapter will result in unnecessary hardships as defined in section 25-601; provided, that the spirit of this chapter shall be observed and substantial justice done.~~

(a)(c) Applications for interpretation of the district map where there is any uncertainty as to the location of a district boundary.

(Legislative History: Res. of 1-1-02, § 5-201)

(Statutory Reference: Va. Code § 15.2-2309.)

[Reviser's Note: Subsection (b) is moved and amended from § 25-551(a) and amended in accordance with 2015 Va. Acts c. 597.]

Sec. 25-532. Authority and establishment.

The board of zoning appeals shall adopt such rules and regulations as it may consider necessary for the orderly conduct of its business.

(Legislative History: Res. of 1-1-02, § 5-202)

Sec. 25-533. Membership.

The board of zoning appeals shall consist of five ~~(5)~~ residents of the county appointed by the circuit court.

The term of office of members of the board of zoning appeals shall be five ~~(5)~~ years, except that original appointments shall be made for such terms that the term of one ~~(1)~~ member shall expire each year. One Member of the board of zoning appeals shall hold no other public office in the county, except that one (1) of the appointed members may be an active member of the planning commission.

Appointments to fill vacancies occurring on the board of zoning appeals otherwise than by expiration of term shall, in all cases, be for the remainder of the unexpired term.

Any member of the board of zoning appeals may be removed, for malfeasance, misfeasance or nonfeasance in office, or for other just cause, by the circuit court, after a hearing held after at least ~~fifteen (15)~~ days' notice.

Any member of the board of zoning appeals shall be disqualified to act upon a matter before the board with respect to property in which the member has an interest, in accordance with section ~~2.1-610~~2.2-3112 of the Code of Virginia.

(Legislative History: Res. of 1-1-02, § 5-203)

(Statutory Reference: Va. Code § 15.2-2308.)

[Reviser's Note: The Virginia Conflicts of Interests Act was recodified from Title 2.1 to Title 2.2 in 2001 without making substantive changes to the former § 2.1-610, which was renumbered as § 2.2-3112. The remaining changes are included for stylistic purposes.]

Sec. 25-534. Officers.

The board of zoning appeals shall choose annually ~~its own~~from among its members a chairman and, ~~and in his absence,~~an acting chairman~~in his absence, an acting chairman.~~

The ~~zoning administrator may serve as secretary to the~~ board of zoning appeals shall choose annually a secretary who is either one of its members or a qualified individual who is not a member of the board, without vote. A secretary who is not a member of the board shall not be entitled to vote on matters before the board. ~~He~~ The secretary shall prepare minutes of meetings, keep all records and conduct official correspondence of the board. ~~In the absence of the zoning administrator at any meeting, the board shall appoint some other person, who may or may not be a member of the board, to prepare the minutes thereof.~~

(Legislative History: Res. of 1-1-02, § 5-204)

(Statutory Reference: Va. Code § 15.2-2308.)

[Reviser's Note: The provisions of newly-enacted Va. Code § 2.2-3708.1 prohibiting ex parte contacts between staff and the BZA make it inadvisable to have the zoning administrator be the secretary. Perhaps another person, such as Laura Goad, would be more appropriate.]

Sec. 25-535. Meetings and hearings.

Meetings and hearings of the board of zoning appeals shall be held at the call of the chairman or, in the event of his absence or disqualification, the acting chairman, or at the request of any two ~~(2)~~ members, provided notice thereof has been mailed to each member of the board of zoning appeals at least seven ~~(7)~~ days before the time set or that a waiver of notice is obtained from each member. Three ~~(3)~~ members shall constitute a quorum for the transaction of any official business.

The chairman, or in the event of his absence or disqualification, the acting chairman may administer oaths and compel the attendance of witnesses at meetings of the board of zoning appeals.

(Legislative History: Res. of 1-1-02, § 5-205)

(Statutory Reference: Va. Code § 15.2-2312.)

[Reviser's Note: These changes are chiefly stylistic.]

~~**Sec. 25-536. Powers and duties.**~~

~~The board of zoning appeals shall have the following powers and duties:~~

- ~~(1) To authorize such variance from the terms of the ordinance as will not be contrary to the public interest when, owing to special conditions a literal enforcement of the ordinance will result in unnecessary hardship. In authorizing such variances, the board shall be guided by § 15.2-2309(2) of the Code of Virginia, and all other applicable law.~~
- ~~(2) To hear and decide appeals from the decision of the zoning administrator, or from the decision of any other administrative officer relating to the enforcement or administration of this chapter.~~
- ~~(3) To hear and decide applications for interpretation of the district map where there is any uncertainty as to the location of a district boundary. The board shall not have the power to change substantially the locations of district boundaries as established by ordinance.~~

~~(Res. of 1-1-02, § 5-206)~~

[Reviser's Note: This section is redundant.]

Sec. 25-537. Records.

The board shall keep minutes of its proceedings, showing the vote of each member upon each question, or if absent or failing to vote, indicating such fact. It shall keep full records of its examinations and other official actions, all of which shall be immediately filed in the office of the zoning administrator and shall be a public record.

(Legislative History: Res. of 1-1-02, § 5-207)

(Statutory Reference: Va. Code §§ 2.2-3707, 15.2-2312.)

Sec. 25-538. Periodic reports.

The board shall submit a report of its activities to the board of supervisors at least once each year.

(Legislative History: Res. of 1-1-02, § 5-208)

Sec. 25-539. Limitation.

All provisions of this chapter relating to the BZA shall be strictly construed. The BZA, as a body of limited jurisdiction, shall act in full conformity with all provisions and definitions in this chapter [and the Code of Virginia](#) and in strict compliance with all limitations contained therein.

(Legislative History: Res. of 1-1-02, § 5-209)

~~**Sec. 25-540. Decisions subject to judicial review.**~~

~~All decisions and findings of the BZA shall be final decisions, and shall, in all decisions and findings of the instances, be subject to judicial review in the following manner:~~

- ~~(1) Any person or persons jointly or severally aggrieved by any decision of the board of zoning appeals, or any taxpayer or any officer, department, board or bureau of the county, may present to the Circuit Court of Botetourt County a petition specifying the grounds on which aggrieved within thirty (30) days after the filing of the decision in the office of the BZA.~~
- ~~(2) Upon the presentation of such petition, the court shall allow a writ of certiorari to review the decision of the BZA and shall prescribe therein the time within which a return thereto must be made and served upon the petitioner's attorney, which shall not be less than ten (10) days and may be extended by the court. The allowance of the writ shall not stay proceedings upon the decision appealed from, but the court may, on application, on notice to the BZA and on due cause shown, grant a restraining order.~~
- ~~(3) The BZA shall not be required to return the original papers acted upon by it but it shall be sufficient to return certified or sworn copies thereof or of such portions thereof as may be called for by such writ. The return shall concisely set forth such other facts as may be pertinent and material to show the grounds of the decision appealed from and shall be verified.~~
- ~~(4) If, upon the hearing, it shall appear to the court that testimony is necessary for the proper disposition of the matter, it may take evidence or appoint a commissioner to take such evidence as it may direct and report the same to the court with the commissioner's findings of fact and conclusions of law, which shall constitute a part of the proceedings upon which a determination of the court shall be made. The court may reverse or affirm, wholly or partly, or may modify the decision brought up for review.~~
- ~~(5) Costs shall not be allowed against the BZA, unless it shall appear to the court that the BZA acted in bad faith or with malice in making the decision appealed from. In the event the decision of the BZA is affirmed and the court finds that the appeal was frivolous, the court may order the person or persons who requested the issuance of the writ of certiorari to pay the costs incurred in making a return of the record pursuant to the writ of certiorari.~~

~~(Res. of 1-1-02, § 5-210)~~

Secs. 25-~~541~~540—25-550. Reserved.

DIVISION 3. PROCEDURES BEFORE THE BOARD OF ZONING APPEALS

Sec. 25-551. Variance procedures.

Sec. 25-552. Appeals of administrative officers.

Sec. 25-553. Ex parte communications and proceedings.

Sec. 25-554. Judicial review; writ of certiorari.

Secs. 25-~~553~~555—25-560. Reserved.

Sec. 25-551. Variance procedure.

- (a) ~~Jurisdiction and authority. The board of zoning appeals may authorize, upon appeal in specific cases, such variance from the terms of this chapter as will not be contrary to the public interest, when, owing to special conditions, a literal enforcement of the provisions of this chapter will result in unnecessary hardship; provided, that the spirit of this chapter shall be observed and substantial justice done.~~ Who may apply; procedure. Any property owner, tenant, government official, department, board, or bureau may apply for a variance. Such application shall be made to the zoning administrator in accordance with rules adopted by the board of zoning appeals, including therewith satisfactory evidence that any delinquent real estate taxes owed to the county which have been properly assessed against the subject property have been paid. The application shall be transmitted promptly to the secretary of the board of zoning appeals, who shall place the matter on the docket to be acted upon by the board.
- (b) Burden of proof. The burden of proof shall be upon the applicant for a variance to prove by a preponderance of the evidence that his application meets the standard for a variance set forth in § 25-601 and the criteria set forth in this section.
- (c) Criteria to be considered. A variance shall be granted if the evidence shows that the strict application of the terms of this chapter would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance, and:
- (1) The property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant for the variance;
 - (2) The granting of the variance would not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area;

- (3) The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the ordinance;
- (4) The granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property; and
- (5) The relief or remedy sought by the variance application is not available through a special exception permit.

~~(b) Authorized variances. Such variance may be authorized when in conformance with Code of Virginia § 15.2-2201 and when a property owner can show that his property was acquired in good faith and that, by reason of the exceptional narrowness, shallowness, size or shape of a specific piece of property, or by reason of exceptional topographic conditions or other extraordinary situation or condition of such piece of property, or of the use or development of property immediately adjacent thereto, the strict application of the terms of this chapter would effectively prohibit or unreasonably restrict the use of the property, or where the board is satisfied, upon the evidence heard by it, that the granting of such variance will alleviate a clearly demonstrable hardship approaching confiscation, as distinguished from a special privilege or convenience sought by the applicant; provided, that all variances shall be in harmony with the intended spirit and purpose of this chapter and shall not allow a use not otherwise allowed by district regulations.~~

~~(c) Unauthorized variances. No such variance shall be authorized except after notice and hearing as required by this chapter.~~

~~(d) Application for variances. Any person seeking a variance from the strict application of certain regulations of this chapter, pursuant to provisions of this article and § 15.2-2309 of the Code of Virginia, unless otherwise provided in this chapter.~~

~~In the case of an application for a variance, the applicant shall first submit his proposal to the zoning administrator on a form to be provided by the zoning administrator, and all plans and information relating to the application required by the board of zoning appeals pursuant to § 15.2-2310 of the Code of Virginia. The application shall be transmitted promptly to the secretary of the board of zoning appeals, who shall place the matter on the docket to be acted upon by the board.~~

~~(e) Decision on variance application. Upon receipt of an application or appeal, the board of zoning appeals shall fix a reasonable time for a hearing of such application or appeal in conformance with §§ 15.2-2204 and 15.2-2205 of the Code of Virginia.~~

~~The proposal shall then be advertised pursuant to provisions of §§ 15.2-2204 and 15.2-2205 of the Code of Virginia prior to public hearing by the board of zoning appeals. The zoning administrator shall also transmit a copy of the application to the planning commission, which may send a recommendation to the board or appear as a party at the hearing.~~

~~The board of zoning appeals shall render a decision on any application submitted to it within sixty (60) days after the date of the hearing thereon.~~

~~(f) Standards for variance. No variance referred to in this section shall be authorized by the board of zoning appeals unless it finds:~~

~~(1) That the strict application of this chapter would produce undue hardship.~~

~~(2) That such hardship is not shared generally by other properties in the same vicinity.~~

~~(3) That the authorization of such variance will not be of substantial detriment to adjacent property and that the character of the district will not be changed by the granting of the variance.~~

~~(4) That the condition or situation of the property concerned or the intended use of the property is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to this chapter.~~

~~(g) Burden of applicant. The applicant for a variance shall bear the burden of producing evidence to support the required findings and to establish that the requested variance satisfies the standards for a variance.~~

~~(h)~~(d) Conditions and restrictions. In authorizing a variance, the board of zoning appeals may impose such conditions regarding the location, character and other features of the proposed structure or use as it may deem necessary in the public interest, and may require a guarantee or bond to ensure that the conditions imposed are being and will continue to be complied with.

~~(i)~~(e) Withdrawal of application. An application or appeal to the board of zoning appeals may be withdrawn by the applicant or appellant at any time prior to the deadline for cancellation of the newspaper advertisement provided for in ~~this article~~ Va. Code § [15.2-2204](#). After such deadline, an application or appeal may be withdrawn only with the permission of the board of zoning appeals. An application or appeal which is not withdrawn pursuant to this subsection shall be either granted or denied on the merits, by the board of zoning appeals, either in whole or in part.

~~(j)~~(f) Reapplication. If any application is denied by the board of zoning appeals on the merits, no application requesting the same relief with respect to all or part of the same property shall be considered by the board within ~~twelve (12)~~ months after the date of such denial.

(Legislative History: Res. of 1-1-02, § 5-301; Res. No. 13-02-11, 2-26-13)

(Statutory Reference: Va. Code § 15.2-2309.)

[Reviser's Note: Amendments made to conform variance provisions to 2015 amendments.]

Sec. 25-552. Appeals of administrative officers.

(a) *Applications.* Applications to the board of zoning appeals may be made by: ~~A~~ any person aggrieved, or any officer, department or agency of the county affected, by an order, requirement, decision or determination made by an administrative officer in the administration or enforcement of the provisions of this chapter.

- (b) *Appeals from administrative ruling.* The board of zoning appeals shall hear and decide appeals from any order, requirement, decision or determination made by an administrative officer in the administration or enforcement of this chapter.

In case of an appeal from decisions by the zoning administrator to the board of zoning appeals, procedures to be followed shall be in strict accordance with section 15.2-2310 et seq. of the Code of Virginia.

- (c) *When appeals may be taken.* Appeals to the BZA may be taken by any person aggrieved by an officer, department, board or agency of the county or affected by a decision of the zoning administrator. Appeals shall be taken within thirty (30) days after the decision has been rendered by filing with the zoning administrator from whom the appeal is taken and with the chair of the BZA a notice of appeal specifying the grounds of the appeal. The zoning administrator shall forthwith forward to the chair of the BZA all the papers constituting the record upon which the action appealed from was taken.
- (d) *When appeals to stay proceedings.* A notice of appeal properly filed as herein provided shall stay all proceedings in furtherance of the action appealed from, unless the zoning administrator certifies to the BZA that by reason of facts stated in the certificate a stay would, in the zoning administrator's opinion, cause imminent peril to life or property. In such case, proceedings shall not be stayed except by a restraining order which may be granted by the BZA or by a proper court order on notice to the zoning administrator and for good cause shown
- (e) *Decision on appeals.* Upon receipt of an application or appeal, the board of zoning appeals shall fix a reasonable time for a hearing of such application or appeal in conformance with section 15.2-2204 and 15.2-2205 of the Code of Virginia.
- The board of zoning appeals shall render a decision on any application submitted to it within sixty (60) days after the date of the hearing thereon.
- (f) *Withdrawal of application.* An application or appeal to the board of zoning appeals may be withdrawn by the applicant or appellant at any time prior to the deadline for cancellation of the newspaper advertisement provided for in this article. After such deadline, an application or appeal may be withdrawn only with the permission of the board of zoning appeals. An application or appeal which is not withdrawn pursuant to this subsection shall be either granted or denied on the merits, by the board of zoning appeals, either in whole or in part.
- (g) *Proceedings to prevent construction of a building.* Where a building permit has been issued and the construction of the building for which such permit was issued is subsequently sought to be prevented, restrained, corrected or abated as a violation of the zoning ordinance, by suit filed within ~~fifteen~~ (15) days after the start of construction by a person who had no actual notice of the issuance of the permit, the court may hear and determine the issues raised in the litigation even though no appeal was taken from the decision of the zoning administrator to the board of zoning appeals.

(Legislative History: Res. of 1-1-02, § 5-302)

[Sec. 25-553. Ex parte communications and proceedings.](#)

- (a) The non-legal staff of the governing body may have *ex parte* communications with a member of the board prior to the hearing but may not discuss the facts or law relative to a particular case. The applicant, landowner, or his agent or attorney may have *ex parte* communications with a member of the board prior to the hearing but may not discuss the facts or law relative to a particular case. If any *ex parte* discussion of facts or law in fact occurs, the party engaging in such communication shall inform the other party as soon as practicable and advise the other party of the substance of such communication. For the purposes of this section, regardless of whether all parties participate, *ex parte* communications shall not include (i) discussions as part of a public meeting or (ii) discussions prior to a public meeting to which staff of the governing body, the applicant, landowner or his agent are all invited.
- (b) Any materials relating to a particular case, including a staff recommendation or report furnished to a member of the board, shall be made available without cost to the applicant, appellant or other person aggrieved, as soon as practicable thereafter, but in no event more than three business days after providing such materials to a member of the board. If the applicant, appellant, or other person aggrieved requests additional documents or materials be provided by the locality other than those materials provided to the board, such request shall be made pursuant to the provisions of section 2.2-3704 of the Code of Virginia, as amended. Any such materials furnished to a member of the board shall also be made available for public inspection pursuant to subsection F of section 2.2-3707 of the Code of Virginia, as amended.
- ~~(a)~~(c) For the purposes of this section, “non-legal staff of the governing body” means any staff who is not in the office of the attorney for the locality, or for the board, or who is appointed by special law or pursuant to Section 15.2-1542 of the Code of Virginia, as amended. Nothing in this section shall preclude the board from having *ex parte* communications with any attorney or the staff of any attorney where such communication is protected by the attorney-client privilege or other similar privilege or protection of confidentiality.

(Statutory Reference: Va. Code § 15.2-2308.1.)

[Reviser’s Note: This is to implement a new state law section effective beginning July 1, 2015.]

Sec. 25-554. Judicial review; writ of certiorari.

- (a) Appeal to circuit court. Any person or persons jointly or severally aggrieved by any decision of the board of zoning appeals, or any aggrieved taxpayer or any officer, department, board or bureau of the locality, may file with the clerk of the circuit court for Botetourt County a petition that shall be styled “In re: [date] Decision of the Board of Zoning Appeals of Botetourt County” specifying the grounds on which aggrieved within 30 days after the final decision of the board.
- (b) Circuit court to allow writ of certiorari. Upon the presentation of such petition, the court shall allow a writ of certiorari to review the decision of the board of zoning appeals and shall prescribe therein the time within which a return thereto must be made and served

upon the secretary of the board of zoning appeals or, if not secretary exists, the chair of the board of zoning appeals, which shall not be less than 10 days and may be extended by the court. The allowance of the writ shall not stay proceedings upon the decision appealed from, but the court may, on application, on notice to the board and on due cause shown, grant a restraining order.

- (c) *Parties to proceedings.* Any review of a decision of the board shall not be considered an action against the board and the board shall not be a party to the proceedings; however, the board shall participate in the proceedings to the extent required by this section. The board of supervisors of Botetourt County, the landowner, and the applicant before the board of zoning appeals shall be necessary parties to the proceedings in the circuit court. The court may permit intervention by any other person or persons jointly or severally aggrieved by any decision of the board of zoning appeals.
- (d) *Return of record.* The board of zoning appeals shall not be required to return the original papers acted upon by it but it shall be sufficient to return certified or sworn copies thereof or of the portions thereof as may be called for by the writ of certiorari. The return shall concisely set forth such other facts as may be pertinent and material to show the grounds of the decision appealed from and shall be verified.
- (e) *Review of decision on appeal of administrative order.* In the case of an appeal from the board of zoning appeals to the circuit court of an order, requirement, decision, or determination of a zoning administrator or other administrative officer in the administration or enforcement of this chapter, the findings and conclusions of the board of zoning appeals on questions of fact shall be presumed to be correct. The appealing party may rebut that presumption by proving by a preponderance of the evidence, including the record before the board of zoning appeals, that the board of zoning appeals erred in its decision. Any party may introduce evidence in the proceedings in the court. The court shall hear any arguments on questions of law *de novo*.
- (f) *Review of grant or denial of a variance.* In case of an appeal by a person of any decision of the board of zoning appeals that denied or granted an application for a variance, the decision of the board of zoning appeals shall be presumed to be correct. The petitioner may rebut the presumption by proving by a preponderance of the evidence, including the record before the board of zoning appeals, that the board of zoning appeals erred in its decision.
- (g) *Evidence to be admitted.* In the case of an appeal from the board of zoning appeals to the circuit court of a decision of the board, any party may introduce evidence in the proceedings in the court in accordance with the Rules of Evidence of the Supreme Court of Virginia.
- (h) *Powers of the court.* The court may reverse or affirm, wholly or partly, or may modify the decision brought up for review.
- (i) *Costs to be allowed.* Costs shall not be allowed against Botetourt County or its board of supervisors, unless it shall appear to the court that it acted in bad faith or with malice. In

the event the decision of the board of zoning appeals is affirmed and the court finds that the appeal was frivolous, the court may order the person or persons who requested the issuance of the writ of certiorari to pay the costs incurred in making the return of the record pursuant to the writ of certiorari. If the petition is withdrawn subsequent to the filing of the return, Botetourt County or its board of supervisors may request that the court hear the matter on the question of whether the appeal was frivolous.

(Statutory Reference: Va. Code § 15.2-2314.)

[Reviser's Note: This is added in accordance with 2015 state statutory amendments.]

Secs. 25-553—25-560. Reserved

Sec. 25-601. Definitions.

...

Variance means, in the application of this chapter, a reasonable deviation from those provisions regulating the shape, size, or area of a lot or parcel of land or the size, height, area, bulk, or location of a building or structure when the strict application of the ordinance would unreasonably restrict the utilization of the property, and such need for a variance would not be shared generally by other properties, and provided such variance is not contrary to the purpose of the ordinance. It shall not include a change in use, which change shall be accomplished by a rezoning or a conditional zoning.

[Reviser's Note: This is not currently defined in the Botetourt County Code. This definition is added in accordance with 2015 Va. Acts c. 597.]

SITE PLAN ORDINANCE TIMELINE REVISIONS

Section 25-573. Site plan ~~review~~ when required.

(a) Policy Purpose. Due to the unique rural nature of the county and the proximity of the Roanoke Urban Area, certain review measures are necessary to ensure and encourage the most appropriate development and wise use of land in harmony with the neighborhood, local environment and public infrastructure. Therefore, a site plan shall be required in certain use districts and for certain uses in which the scale and type of development requires local review and concern.

(a)(b) Site plan required. No person shall commence any use or erect any structure, including additions to existing structures, parking areas or other required site plan features, without first obtaining the approval of a site plan by the zoning administrator as set forth in this article, and no use shall be carried on, no structure erected or enlarged and no other improvement or construction undertaken except as shown upon an approved site plan.

A site plan shall be required for the following uses in the enumerated districts unless waived by the zoning administrator if the type, scale and/or location of the proposed development does not necessitate such plans:

- (1) Duplexes, multi-family dwellings, town houses and mobile home subdivisions and mobile home parks R-1, R-2, R-3
- (2) All uses PUD, TND
- (3) All uses M-1, M-2, M-3, PIP, RAM
- (4) All uses SC
- (5) All uses B-1, B-2, B-3, POP
- (6) For all special exceptions.

(c) Exemptions. The following are exempt from having to file a site plan:

- (1) The lawful construction, alteration and occupancy of a single or two-family dwelling or mobile home, with or without a garage.
- (+)(2) Any lawful use, alteration or construction for agricultural or residential uses in district A-1, RR and district FC. Churches and schools in these districts shall file a site plan in accordance with this chapter.

Exemption from the site plan requirements does not authorize violation of any other provision of this chapter.

Sec. 25-573.1. What site plan to show.

(b)(a) Site plan requirements. Every site plan shall be submitted to the zoning administrator in accordance with the applicable standards and regulations for site plans. In all respects, the site plan shall comply with all provisions of this chapter and other provisions of law.

~~(c) *Review and approval.* Upon receipt of any site plan, the zoning administrator shall review it in accordance with the applicable procedures, standards and regulations for site plans in section 25-473(d).~~

~~(d)~~(b) *Form and content.*

- (1) Every site plan shall be submitted to the zoning administrator in three ~~(3)~~ identical copies on one ~~(1)~~ or more sheets of paper measuring not more than ~~twenty-four~~ (24) by ~~thirty-six~~ (36) inches, drawn to a scale not smaller than ~~forty~~ (40) feet to the inch, unless an alternative scale is approved by the zoning administrator. Site plans required by the county shall be prepared by a professional engineer, architect, landscape architect or land surveyor who is registered by the Commonwealth of Virginia and is conducting their practice in accordance with Code of Virginia § 54.1-400 et seq., as amended. This requirement may be waived by the zoning administrator if the type, scale and/or location of the proposed development does not necessitate such plans. The site plan shall show the following:
 - a. The boundary lines of the area included in the site plan, including angles, dimensions and reference to a point in a recorded plat, an arrow pointing north, a scale bar and the lot area of the land included in the site plan.
 - b. Existing and proposed grades and drainage systems and structures with topographic contours at intervals not exceeding two ~~(2)~~ feet.
 - c. The shape, size, location, height and floor area of all structures and the finished ground and basement floor grades.
 - d. Natural features, such as woodlots, streams and lakes or ponds, and man-made features, such as existing roads and structures, with indication as to which are to be retained and which removed or altered. Adjacent properties and their uses shall be identified.
 - e. Proposed streets, driveways, parking spaces, loading spaces and sidewalks, with indication of direction of travel for one-way streets and drives and inside radii of all curves. The width of streets, driveways and sidewalks and the total number of parking spaces shall be shown.
 - f. The size and location of all existing and proposed public and private utilities and required landscaping, including terraces, plants, fences, retaining walls, conceptual outdoor lighting and recycling facilities as required or otherwise provided for in the zoning ordinance.
 - g. A vicinity sketch showing the location of the site in relation to the surrounding street system.
 - h. A legal description of land included in the site plan and of the lot and the name, address and telephone and facsimile number and a mailing address of the owner, developer and designer.

- i. A description of any and all proffered conditions as they apply to the project including any uses that may be excluded by such proffers.
 - j. Any other information necessary to establish compliances with this chapter and other ordinances or the availability of adequate utility capacity.
- (2) All site plans should contain the following features:
- a. Parking patterns to be utilized (angular or perpendicular).
 - b. Avoidance of conflict between customer traffic and truck service traffic.
 - c. Circulation within the site area to avoid customer automobiles entering public streets, should they shift parking spaces while shopping at the center.
 - d. Arrangements of store locations to create areas of compatible merchandise, for distribution of their pulling power, tenant mix and for eliminating poor store locations and difficult parking situations.
 - e. Attractive areas for pedestrian access.

e. Sec. 25-573.2. Process for approval of site plan.

- (a) Completeness. An applicant for a site plan shall submit copies of the site plan and other documents as required herein to the zoning administrator for review. The zoning administrator shall determine within 10 days if the site plan and documents comply with the minimum submission requirements of this chapter. If deemed to be complete, the site plan is thereby officially accepted as of the date of receipt in the agent's office, which shall be called the "official date of submission." If not accepted, the reasons shall be indicated by the zoning administrator in writing and returned with the documents and site plan to the applicant. Acceptance of the application for processing shall not be deemed a determination that the site plan meets the requirements for approval.
- (b) ~~Review procedures, appeals and action. Upon receipt of any site plan, the zoning administrator shall review it to determine whether it is in proper form, contains all of the required information, shows compliance with this chapter and all other ordinances of the county and demonstrates the adequacy of utility service. Upon demand by the proposer of the site plan, the zoning administrator shall, within twenty (20) days, approve it in writing or deny approval in writing, setting forth in detail his reasons, which shall be limited to any defect in form or required information, any violation of any provision of this chapter or any other ordinance, or the inadequacy of any utility, and any changes which would make the plan acceptable. The proposer may appeal any denial to the board of zoning appeals.~~
- (1) If the zoning administrator determines that no agency review of a site plan is necessary, then within 60 days after the official date of submission of the site plan, the zoning administrator shall act on the application. If the zoning administrator approves the application, approval shall be evidenced by the zoning administrator's signature on the final ~~pl~~site plan, thereby indicating that the site

plan is in conformance with the requirements and provisions of this chapter, and that all construction plans and profiles are designed in accordance with all county public facility regulations and requirements.

- (2) If the zoning administrator determines that agency review will be necessary, then within 10 days after the official date of submission of the site plan, the zoning administrator shall forward copies of the site plan to all review agencies. Such review agencies shall complete their review and forward comments to the agent within 45 days, unless otherwise provided by law. Following receipt of all agency comments, the zoning administrator shall act upon the site plan within 35 days.
- (3) If all requirements and conditions of this chapter are not met, the zoning administrator shall not approve the site plan. Written reasons for such disapproval shall identify specific deficiencies with respect to adopted regulations, and shall generally identify such modifications or corrections as will permit approval of the plat.
- ~~(3)~~(4) Upon resubmission of a disapproved final plat, the zoning administrator shall make a determination within 10 days of resubmission of whether the changes are directed to remedying the deficiencies that resulted in rejection or are substantive amendments to the site plan. If the changes are directed to remedying the deficiencies that resulted in rejection, then the zoning administrator shall act within 45 days of the official date of submission of the revised site plan. If the changes are substantive amendments to the site plan, the plan shall be processed as a new original site plan application.

(c) Revisions to, or deviation from, approved plan. After a site plan has been approved by the zoning administrator, minor adjustments of the site plan, which comply with the spirit of this article and other provisions of this chapter and which better serve the overall purposes of this section, may be approved by the zoning administrator. Deviation from an approved site plan without the written approval of the zoning administrator shall void the plan and the zoning administrator shall require the applicant to resubmit a new site plan for consideration. Any major revision of an approved site plan shall be made in the same manner as originally approved.

Sec. 25-573.3. Process for approval of site plans subject to the Middle Class Tax Relief and Job Creation Act of 2012.

- (a) When applicable. This section applies to all site plan applications to which Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012 (47 U.S.C. § 1455 and 47 C.F.R. § 1.40001, as amended) is applicable and shall supersede any conflicting requirements of this chapter. Site plans shall be required for all uses to which this section is applicable. Notwithstanding any other requirement of this chapter, no special exception shall be required for applications to which this section is applicable.
- (b) Lawful nonconformities. Any site plan filed pursuant to this process shall not be treated as an expansion of a nonconforming use in violation of this chapter so long as such use was lawfully established.

- (c) Application requirements. The application requirements for any application under this section shall be the same as for any other site plan. The zoning administrator shall, within 30 days of submission of an application, determine whether such application is complete for reviewing. Supplemental submissions shall be reviewed for completeness within 10 days of receipt. Such determination of completeness shall not be construed to mean that any application complies with all requirements of this chapter. The date on which a complete application is submitted shall be construed to be the official date of submission.
- (d) Timeframe for review. The zoning administrator shall approve or disapprove a site plan application under this section within 60 days from the official date of submission.
- (e) Deemed complete. Upon the applicant giving written notice to the zoning administrator that the 60-day time period has elapsed without action of the zoning administrator, the site plan shall be deemed granted. Notwithstanding the deemed approval of any proposed site plan, any deficiency that would, if left uncorrected, violate local, state, or federal law, regulations, or mandatory engineering and safety requirements, shall not be deemed as having been approved by the zoning administrator.

(e)

AGENDA ITEM: 3:15 P. M. - Public hearing on a proposed ordinance granting a non-exclusive franchise to Comcast to own, operate, and maintain a cable television system in the County.

Administrator's Comments:

As discussed at the Board's November regular meeting, since 1980, Botetourt County has had an ordinance permitting it to negotiate cable television franchise agreements within the framework of State and federal law. A franchise permits a cable TV operator to use public easements and rights-of-way for its network in return for taking on certain quality-of-service requirements, service-area requirements, and paying a franchise fee to the locality. Comcast has had a non-exclusive cable TV franchise in Botetourt County for over 20 years and, in that time, they have built out a system in parts of the County.

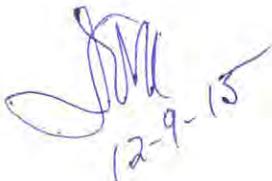
Comcast previously requested that the cable TV franchise be readopted for a further 20-year term and County staff and the County Attorney have conducted negotiations on this agreement's provisions.

In accordance with provisions of State and federal law, the franchise agreement as negotiated would be very similar to the existing franchise. The major change is that the franchise fee would increase from 3% to 5% of gross revenues of the franchisee. A copy of the proposed agreement is attached.

Recommendation:

1. Open the public hearing and allow any citizens present to speak.
2. Close the public hearing and, if agreeable, adopt the attached resolution granting a non-exclusive franchise to Comcast to own, operate, and maintain a cable television system in the County, setting the conditions accompanying the grant of franchise, providing for the regulation and use of said system, and directing the County Administrator to sign the Cable Franchise Agreement, subject to final review and approval by the County Attorney.

Attachment



A handwritten signature in blue ink, followed by the date "12-9-15".

ORDINANCE NUMBER _____

At the regular meeting of the Botetourt County Board of Supervisors held on _____, 2014, in Rooms 226, 227 and 228 in the Greenfield Education and Training Center in Daleville, Virginia

AN ORDINANCE GRANTING A NON-EXCLUSIVE FRANCHISE TO COMCAST OF CONNECTICUT/GEORGIA/MASSACHUSETTS/ NEW HAMPSHIRE/NEW YORK/NORTH CAROLINA/VIRGINIA/ VERMONT, LLC, TO OWN, OPERATE, AND MAINTAIN A CABLE TELEVISION SYSTEM IN BOTETOURT COUNTY, VIRGINIA, SETTING FORTH CONDITIONS ACCOMPANYING THE GRANT OF FRANCHISE; AND PROVIDING FOR THE REGULATION AND USE OF SAID SYSTEM.

WHEREAS, on October 17, 1995, Botetourt County granted a cable television franchise (“Tele Media Franchise”) to Tele Media Corporation pursuant to the Cable TV Franchise Ordinance, also known as the Botetourt Cable Television Ordinance; and

WHEREAS, Comcast of Connecticut/Georgia/Massachusetts/New Hampshire /New York/North Carolina/Virginia/Vermont, LLC (“Franchisee”), acquired the Tele Media Franchise and currently provides cable television services within Botetourt County, Virginia; and

WHEREAS, Franchisee requested that Botetourt County (“Franchise Authority”) negotiate a Franchise Agreement with the Franchisee to replace the Tele Media Franchise in accordance with applicable law; and

WHEREAS, Franchisee has represented that it will comply with the terms and conditions of the renegotiated cable franchise agreement as set forth herein as Exhibit A (“Franchise”) and comply with the requirements of the Franchise Authority and applicable law; and

WHEREAS, pursuant to sections 7-52(e) and 7-71 of the Botetourt County Code and 47 U.S.C. § 546(h), the public was provided adequate notice of the proposed renewal of the Franchise and an opportunity to comment; and

WHEREAS, the Franchise Authority believes that it is in the best interest of the community to approve the Franchise to be granted to the Franchisee according to the terms and conditions set forth in Exhibit A:

NOW, THEREFORE, BE IT ORDAINED BY THE BOTETOURT COUNTY BOARD OF SUPERVISORS THAT the County Administrator is authorized to execute the Cable Franchise Agreement between Comcast of Connecticut/Georgia/Massachusetts/New Hampshire/New York/North Carolina/Virginia/Vermont, LLC and Botetourt County, Virginia, attached hereto as Exhibit A subject to final approval as to form by the County Attorney, and upon acceptance thereof by Franchisee, such Agreement shall supersede the Tele Media Franchise and be binding on both parties according to its terms.

This Ordinance shall be effective immediately.

DRAFT

EXHIBIT A

CABLE TELEVISION FRANCHISE AGREEMENT

This Franchise Agreement (the "Agreement" or "Franchise Agreement") is made between the Botetourt County, a political subdivision of the Commonwealth of Virginia ("County" or "Franchising Authority") and Comcast of Connecticut/ Georgia/Massachusetts/ New Hampshire/New York/North Carolina/Virginia/Vermont, LLC ("Grantee").

The County, having given the public an opportunity to be heard and determining that the financial, legal, and technical ability of the Grantee is reasonably sufficient to provide the services, facilities, and equipment necessary to meet the future cable-related needs of the community, desires to enter into this Franchise Agreement with the Grantee for the construction, operation, and maintenance of a Cable System on the terms and conditions set forth herein.

SECTION 1 - Definition of Terms

For the purpose of this Franchise Agreement, capitalized terms, phrases, words, and abbreviations shall have the meanings ascribed to them in the Code of Botetourt County, Virginia, Chapter 7, Article I, Division 1, § 7-1, Code of Virginia, Title 15.2, Article 1.2, § 15.2-2108.19, and the Cable Communications Policy Act of 1984, as amended from time to time, 47 U.S.C. §§ 521 et seq. (the "Cable Act"), unless otherwise defined herein.

1.7 "Customer" or "Subscriber" means a Person or user of the Cable System who lawfully receives Cable Service therefrom with the Grantee's express permission.

1.8 "Effective Date" means the date on which this Ordinance Cable Franchise Agreement, with any necessary executed signatures, is enacted into law.

1.9 "FCC" means the Federal Communications Commission or successor governmental entity thereto.

1.12 "Franchise Agreement" or "Agreement" shall mean this Ordinance Cable Franchise Agreement and any amendments or modifications hereto.

1.13 "Franchise Area" means the present legal boundaries of the County as of the Effective Date, and shall also include any additions thereto, by annexation or other legal means.

1.15 "Grantee" shall mean Comcast of Connecticut/Georgia/Massachusetts/ New Hampshire/New York/North Carolina/Virginia/Vermont, LLC.

1.16 "Ordinance" includes a resolution.

1.17 "Person" means any natural person or any association, firm, partnership, joint venture, corporation, or other legally recognized entity, whether for-profit or not-for profit, but shall not mean the Franchising Authority.

1.18 "Public Way" shall mean the surface of, and the space above and below, any public street, highway, freeway, bridge, land path, alley, court, boulevard, sidewalk, way, lane, public way, drive, circle or other public right-of-way, including, but not limited to, public utility easements, dedicated utility strips, or easements dedicated for compatible uses and any temporary or permanent fixtures or improvements located thereon now or hereafter held by the Franchising Authority in the Franchise Area, which shall entitle the Franchising Authority and the Grantee to the use thereof for the purpose of installing, operating, repairing, and maintaining the Cable System. Public Way shall also mean any easement now or hereafter held by the Franchising Authority within the Franchise Area for the purpose of public travel, or for utility or public service use dedicated for compatible uses, and shall include other easements or rights-of-way as shall within their proper use and meaning entitle the Franchising Authority and the Grantee to the use thereof for the purposes of installing, operating, and maintaining the Grantee's Cable System over poles, wires, cables, conductors, ducts, conduits, vaults, manholes, amplifiers, appliances, attachments, and other property as may be ordinarily necessary and pertinent to the Cable System.

1.20 "Transfer" means any transaction in which (i) an ownership or other interest in the Grantee is transferred, directly or indirectly, from one Person or group of Persons to another Person or group of Persons, so that majority control of the Grantee is transferred; or (ii) the rights and obligations held by the Grantee under the Franchise granted under this Franchise Agreement are transferred or assigned to another Person or group of Persons. However, notwithstanding clauses (i) and (ii) of the preceding sentence, a transfer of the Franchise shall not include (a) transfer of an ownership or other interest in the Grantee to the parent of the Grantee or to another Affiliate of the Grantee; (b) transfer of an interest in the Franchise granted under this Franchise Agreement or the rights held by the Grantee under the Franchise granted under this Franchise Agreement to the parent of the Grantee or to another Affiliate of the Grantee; (c) any action that is the result of a merger of the parent of the Grantee; (d) any action that is the result of a merger of another Affiliate of the Grantee; or (e) a transfer in trust, by mortgage, or by assignment of any rights, title, or interest of the Grantee in the Franchise or the System used to provide Cable Service in order to secure indebtedness.

SECTION 2 - Grant of Authority

2.1 The Franchising Authority hereby grants to the Grantee pursuant to Article I of Chapter 7 of the Botetourt County Code, applicable provisions of the Code of Virginia, and the Cable Act, a nonexclusive Franchise authorizing the Grantee to construct and operate a Cable System in the Public Ways within the Franchise Area, and for that purpose to erect, install, construct, repair, replace, reconstruct, maintain, or retain in any Public Way such poles, wires, cables, conductors, ducts, conduits, vaults, manholes, pedestals, amplifiers, appliances, attachments, and other related property or equipment as may be necessary or appurtenant to the Cable System and to provide such services over the Cable System as may be lawfully allowed.

2.2 Term of Franchise. The term of the Franchise granted hereunder shall be 15 years, commencing upon the Effective Date of the Franchise, unless the Franchise is renewed or is lawfully terminated in accordance with the terms of this Franchise Agreement and the Code of Virginia and the Cable Act.

2.3 Renewal. Any renewal of this Franchise shall be governed by and comply with Article I, Chapter 7 of the Botetourt County Code, as amended, the provisions of Article 1.2 of the Code of Virginia, as amended, and Section 626 of the Cable Act, as amended.

2.4 Reservation of Authority. Nothing in this Franchise Agreement shall be construed as a waiver of any codes or ordinances of general applicability promulgated by the Franchising Authority.

2.5 Competitive Equity.

2.5.1 The Grantee acknowledges and agrees that the Franchising Authority reserves the right to grant one or more additional franchises to provide Cable Service within the Franchise Area; provided, however, that no such franchise agreement shall contain terms or conditions more favorable or less burdensome to the competitive entity than the material terms and conditions herein. If any such additional or competitive franchise is granted by the Franchising Authority which, in the reasonable opinion of the Grantee, contains more favorable or less burdensome terms or conditions than this Franchise Agreement, the Franchising Authority agrees that it shall amend this Franchise Agreement to include any more favorable or less burdensome terms or conditions.

2.5.2 In the event an application for a new cable television franchise is filed with the Franchising Authority proposing to serve the Franchising Area, in whole or in part, the Franchising Authority shall provide upon request a copy of such application to the Grantee by registered or certified mail, via nationally recognized overnight courier service to any location in the United States, or by electronic means as specified in the request.

2.5.3 In the event that a multi-channel video programming distributor ("MVPD") provides service to the residents of the County under a federal franchise that is unavailable to the Grantee, the Grantee shall have a right to request amendments to this Franchise Agreement that relieve the Grantee of regulatory burdens that create a competitive disadvantage to the Grantee. In requesting amendments, the Grantee shall file a petition seeking to amend the Franchise Agreement. Such petition shall: (1) indicate the presence of a competitor that has a federal franchise; (2) identify the basis for Grantee's belief that certain provisions of the Franchise Agreement place Grantee at a competitive disadvantage; and (3) identify the regulatory burdens to be amended or repealed in order to eliminate the competitive disadvantage. The Franchising Authority shall not unreasonably withhold consent to the Grantee's petition.

2.6 Franchise Fee

2.6.1 The parties acknowledge that as of the Effective Date of this Agreement, the county is prohibited by state law from imposing a Franchise Fee, as described in 47 U.S.C.

§ 542, as long as cable services are subject to the Virginia Communications Sales and Use Tax (§ 58.1-645 *et seq.*, the “Communications Sales and Use Tax”).

2.6.2 Grantee shall comply with the provisions of the Communications Sales and Use Tax in its current form and as it may be amended.

2.6.3 If at any time during the Term of this Agreement state law allows the imposition of a Franchise Fee on cable operators in Virginia, the county may, to the extent allowable under applicable law, upon 60 days’ written notice, or as otherwise provided by law, require Grantee to pay to the county, five percent of the annual Gross Subscriber Revenues received by the Grantee for video services rendered within the county for the prior year. At the time of payment, the Grantee shall furnish the Franchising Authority with a report showing the Grantee’s annual Gross Subscriber Revenues for video services within the Franchise Area during the preceding year. The annual payment for the preceding calendar year will be made to the Franchising Authority by the _____ day of _____.

SECTION 3 – Construction and Maintenance of the Cable System

3.1 Permits and General Obligations. The Grantee shall be responsible for obtaining, at its own cost and expense, all generally applicable permits, licenses, or other forms of approval or authorization necessary to construct, operate, maintain or repair the Cable System, or any part thereof, prior to the commencement of any such activity. Construction, installation, and maintenance of the Cable System shall be performed in a safe, thorough, and reliable manner using materials of good and durable quality. All transmission and distribution structures, poles, other lines, and equipment installed by the Grantee for use in the Cable System in accordance with the terms and conditions of this Franchise Agreement shall be located so as to minimize the interference with the proper use of the Public Ways and the rights and reasonable convenience of property owners who own property that adjoins any such Public Way.

3.2 Conditions of Street Occupancy.

3.2.1 New Grades or Lines. If the grades or lines of any Public Way within the Franchise Area are lawfully changed at any time during the term of this Franchise Agreement, then the Grantee shall, upon reasonable advance written notice from the Franchising Authority (which shall not be less than 10 business days) and at its own cost and expense, protect or promptly alter or relocate the Cable System, or any part thereof, so as to conform with any such new grades or lines. If public funds are available to any other user of the Public Way for the purpose of defraying the cost of any of the foregoing, the Franchising Authority shall notify the Grantee of the availability of such funding and make such funds available to the Grantee.

3.2.2 Relocation at request of Third Party. The Grantee shall, upon reasonable prior written request of any Person holding a permit issued by the Franchising Authority to move any structure, temporarily move its wires to permit the moving of such structure; provided (i) the Grantee may impose a reasonable charge on any Person for the movement of its wires, and such charge may be required to be paid in advance of the movement of its wires;

and (ii) the Grantee is given not less than 10 business days advance written notice to arrange for such temporary relocation.

3.2.3 Restoration of Public Ways. If in connection with the construction, operation, maintenance, or repair of the Cable System, the Grantee disturbs, alters, or damages any Public Way, the Grantee agrees that it shall at its own cost and expense replace and restore any such Public Way to a condition reasonably comparable to the condition of the Public Way existing immediately prior to the disturbance.

3.2.4 Safety Requirements. The Grantee shall, at its own cost and expense, undertake all necessary and appropriate efforts to maintain its work sites in a safe manner in order to prevent failures and accidents that may cause damage, injuries or nuisances. All work undertaken on the Cable System shall be performed in substantial accordance with applicable FCC or other federal, state, and local regulations. The Cable System shall not unreasonably endanger or interfere with the safety of Persons or property in the Franchise Area.

3.2.5 Trimming of Trees and Shrubbery. The Grantee shall have the authority to trim trees or other natural growth overhanging any of its Cable System in the Franchise Area so as to prevent contact with the Grantee's wires, cables, or other equipment. All such trimming shall be done at the Grantee's sole cost and expense. The Grantee shall be responsible for any damage caused by such trimming.

3.2.6 Aerial and Underground Construction. At the time of Cable System construction, if all of the transmission and distribution facilities of all of the respective public or municipal utilities in any area of the Franchise Area are underground, the Grantee shall place its Cable System's transmission and distribution facilities underground; provided that such underground locations are actually capable of accommodating the Grantee's cable and other equipment without technical degradation of the Cable System's signal quality. In any region(s) of the Franchise Area where the transmission or distribution facilities of the respective public or municipal utilities are both aerial and underground, the Grantee shall have the discretion to construct, operate, and maintain all of its transmission and distribution facilities, or any part thereof, aurally or underground. Nothing in this Section shall be construed to require the Grantee to construct, operate, or maintain underground any ground-mounted appurtenances such as customer taps, line extenders, system passive devices, amplifiers, power supplies, pedestals, or other related equipment.

3.2.7. Undergrounding and Beautification Projects. In the event all users of the Public Way relocate aerial facilities underground as part of an undergrounding or neighborhood beautification project, Grantee shall participate in the planning for relocation of its aerial facilities contemporaneously with other utilities. Grantee's relocation costs shall be included in any computation of necessary project funding by the municipality or private parties. Grantee shall be entitled to reimbursement of its relocation costs from public or private funds raised for the project and made available to other users of the Public Way.

SECTION 4 - Service Obligations

4.1 General Service Obligation.

4.1.1 The Grantee shall make Cable Service available to every residential dwelling unit within the Franchise Area where the minimum density is at least 30 dwelling units per mile and is within one mile as measured in strand footage from the nearest point on the Cable System trunk or feeder line from which a usable cable signal can be obtained. For purposes of this section, a home shall be counted as a "dwelling unit" if, and only if, such home is within 400 feet of the public right of way. Subject to the density requirement, Grantee shall offer Cable Service to all new homes or previously unserved homes located within 125 feet of the Grantee's distribution cable at the standard installation rate. Should, through new construction, an area within the Franchise Area meet the density requirements, Grantee shall provide Cable Service to such area within one year after it confirms that the density requirements have been met, whether by notice from the Franchising Authority that one or more residents has requested service or otherwise.

4.1.2 The Grantee may elect to provide Cable Service to areas not meeting the above density and distance standards. The Grantee may impose an additional charge in excess of its regular installation charge for any service installation requiring a drop in or line extension in excess of the above standards. Such additional charge shall be paid by the developer or landowner or customer requesting Cable Service in an area that does not meet the density and distance standards.

4.2 **New Developments.** Upon request of the Grantee, the Franchising Authority shall provide the Grantee with information concerning the issuance of building or development permits for planned developments within the Franchise Area requiring undergrounding of cable facilities. The Franchising Authority agrees to require the developer, as a condition of issuing the permit, to give the Grantee access to open trenches for deployment of cable facilities and at least 10 business days' written notice of the date of availability of open trenches. Developer shall be responsible for the digging and backfilling of all trenches.

4.3 **Programming.** The Grantee shall offer to all Customers a diversity of video programming services.

4.4 **No Discrimination.** The Grantee shall not discriminate or permit discrimination between or among any Persons in the availability of Cable Services or other services provided in connection with the Cable System in the Franchise Area. It shall be the right of all Persons to receive all available services provided on the Cable System so long as such Person's financial or other obligations to the Grantee are satisfied; provided, however, that the Grantee may deny service for good cause, including but not limited to theft of Grantee's services, vandalism of its property, or abuse or harassment of its representatives. Nothing contained herein shall prohibit the Franchisee from offering bulk discounts, promotional discounts, package discounts, or other such pricing strategies as part of its business practice. Grantee shall assure that access to cable services is not denied to any group of potential residential cable subscribers because of the income of the residents of the local area in which such group resides.

SECTION 5 - Public, Educational and Governmental Access Channels

5.1 Grantee shall designate capacity for one channel for public, educational and/or governmental access video programming. Programming for the public, educational and governmental ("PEG") access channel shall be provided by the Franchising Authority or its designee, such as a public access organization or educational institution. Use of a channel position for PEG access shall be provided on the most basic tier of service offered by Grantee in accordance with the Cable Act, Section 611, and Article 1.2 of the Code of Virginia, and as further set forth below. "Channel position" means a number designation on the Grantee's channel lineup regardless of the transmission format (analog or digital). Grantee does not relinquish its ownership of or ultimate right of control over a channel by designating it for PEG use. A PEG access user — whether an individual, educational or governmental user — acquires no property or other interest by virtue of the use of a channel so designated, and may not rely on the continued use of a particular channel number, no matter how long the same channel may have been designated for such use. Grantee shall not exercise editorial control over any public, educational, or governmental use of a channel position, except Grantee may refuse to transmit any public access program or portion of a public access program that contains obscenity, indecency, or nudity. The Franchising Authority shall be responsible for developing, implementing, interpreting and enforcing rules for PEG Access Channel use.

5.2 Public Access. A "Public Access Channel" is a channel position designated for noncommercial use by the public on a first-come, first-served, nondiscriminatory basis. A Public Access Channel may not be used to cablecast programs for profit, or for nonpolitical or commercial fundraising in any fashion.

5.3 Educational Access. An "Educational Access Channel" is a channel position designated for noncommercial use by educational institutions such as public or private schools (but not "home schools"), community colleges, and universities.

5.4 Government Access. A "Governmental Access Channel" is a channel position designated for noncommercial use by the Franchising Authority for the purpose of showing the public local government at work.

5.5 Indemnification. To the extent permitted by law, the Franchising Authority shall indemnify Grantee for any liability, loss, or damage it may suffer due to Franchising Authority's violation of the intellectual property rights of third parties or arising out of the content of programming shown on any PEG channel and from claims arising out of the Franchising Authority's rules for or administration of access.

SECTION 6 - Customer Service Standards; Customer Bills; and Privacy Protection

6.1 Customer Service Standards. The Franchising Authority hereby adopts the customer service standards set forth in 47 C.F.R. § 76.309, as amended, and any FCC policies promulgated pursuant thereto. The Grantee shall comply in all respects with the customer service requirements established by the FCC.

6.2 Customer Bills. Customer bills shall be designed in such a way as to present the information contained therein clearly and comprehensibly to Customers, and in a way that (i) is not misleading and (ii) does not omit material information. Notwithstanding anything to the contrary in Section 6.1, above, the Grantee may, in its sole discretion, consolidate costs on Customer bills as may otherwise be permitted by Section 622(c) of the Cable Act (47 U.S.C. §542(c)).

6.3 Privacy Protection. The Grantee shall comply with all applicable federal and state privacy laws, including Section 631 of the Cable Act and regulations adopted pursuant thereto.

SECTION 7 - Oversight and Regulation by Franchising Authority

7.1 Oversight of Franchise. In accordance with applicable law, the Franchising Authority shall have the right to oversee, regulate and, on reasonable prior written notice and in the presence of Grantee's employee, periodically inspect the construction, operation and maintenance of the Cable System in the Franchise Area, and all parts thereof, as necessary to monitor Grantee's compliance with the provisions of this Franchise Agreement.

7.2 Technical Standards. The Grantee shall comply with all applicable technical standards of the FCC as published in subpart K of 47 C.F.R. Part 76. To the extent those standards are altered, modified, or amended during the term of this Franchise, the Grantee shall comply with such altered, modified or amended standards within a reasonable period after such standards become effective. The Franchising Authority shall have, upon written request, the right to obtain a copy of tests and records required to be performed pursuant to the FCC's rules.

7.3 Maintenance of Books, Records, and Files.

7.3.1 Books and Records. Throughout the term of this Franchise Agreement, the Grantee agrees that the Franchising Authority, upon reasonable prior written notice to the Grantee, may review such of the Grantee's books and records regarding the operation of the Cable System and the provision of Cable Service in the Franchise Area which are reasonably necessary to monitor Grantee's compliance with the provisions of this Franchise Agreement at the Grantee's business office, during normal business hours, and without unreasonably interfering with Grantee's business operations. Such books and records shall include any records required to be kept in a public file by the Grantee pursuant to the rules and regulations of the FCC. All such documents pertaining to financial matters that may be the subject of an inspection by the Franchising Authority shall be retained by the Grantee for a minimum period of three years.

7.3.2 File for Public Inspection. Throughout the term of this Franchise Agreement, the Grantee shall maintain at its business office, in a file available for public inspection during normal business hours, those documents required pursuant to the FCC's rules and regulations.

7.3.3 Proprietary Information. Notwithstanding anything to the contrary set forth in this Section, the Grantee shall not be required to disclose information which it reasonably deems to be proprietary or confidential in nature. The Franchising Authority agrees to treat any information disclosed by the Grantee as confidential and only to disclose it to those employees, representatives, and agents of the Franchising Authority that have a need to know in order to enforce this Franchise Agreement and who agree to maintain the confidentiality of all such information. The Grantee shall not be required to provide Customer information in violation of Section 631 of the Cable Act (47 U.S.C. § 551) or any other applicable federal or state privacy law. For purposes of this Section, the terms "proprietary or confidential" include, but are not limited to, information relating to the Cable System design, customer lists, marketing plans, financial information unrelated to the calculation of franchise fees or rates pursuant to FCC rules, or other information that is reasonably determined by the Grantee to be competitively sensitive. In the event that the Franchising Authority receives a request under a state "sunshine," public records or similar law for the disclosure of information the Grantee has designated as confidential, trade secret or proprietary, the Franchising Authority shall notify Grantee of such request and cooperate with Grantee in opposing such request.

SECTION 8 — Transfer or Change of Control of Cable System or Franchise

8.1 No transfer of this Franchise shall occur without the prior written consent of the Franchising Authority, which consent shall not be unreasonably withheld, delayed or conditioned. No transfer shall be made to a Person, group of Persons or Affiliate that is not legally, technically and financially qualified to operate the Cable System and satisfy the obligations hereunder.

SECTION 9 - Insurance and Indemnity

9.1 Insurance. Throughout the term of this Franchise Agreement, the Grantee shall, at its own cost and expense, maintain Comprehensive General Liability Insurance and provide the Franchising Authority certificates of insurance designating the Franchising Authority and its officers, boards, commissions, councils, elected officials, agents and employees as additional insureds and demonstrating that the Grantee has obtained the insurance required in this Section. Such policy or policies shall be in the minimum amount of: a) Five Million Dollars (\$5,000,000.00) for bodily injury or death to any one person, and Ten Million Dollars (\$10,000,000.00) for bodily injury or death of any two or more persons resulting from one occurrence; b) Five Million Dollars (\$5,000,000.00) for property damage, including damage to the county's property, resulting from any one accident; c) Five Million Dollars (\$5,000,000.00) for all other types of liability resulting from any one occurrence; d) automobile liability insurance with a limit of Five Million Dollars (\$5,000,000.00) for each person and Five Million Dollars (\$5,000,000.00) for each accident for property damage with respect to owned and non-owned automobiles for the operation of which the Grantee is responsible; and e) coverage for copyright infringement. Such policy or policies shall be non-cancelable except upon 30 days' prior written notice to the Franchising Authority. The Grantee shall provide workers' compensation coverage in accordance with applicable law. The Grantee shall indemnify and hold harmless the Franchising Authority from any workers compensation claims to which the Grantee may become subject during the term of this Franchise Agreement.

9.2 Indemnification. The Grantee shall indemnify, defend and hold harmless the Franchising Authority, its officers, employees, and agents from and against any liability or claims resulting from property damage or bodily injury (including accidental death) that result from the Grantee's construction, operation, maintenance or removal of the Cable System, including, but not limited to, reasonable attorneys' fees and costs, provided that the Franchising Authority shall give the Grantee written notice of its obligation to indemnify and defend the Franchising Authority within ten (10) business days of receipt of a claim or action pursuant to this Section. If the Franchising Authority determines that it is necessary for it to employ separate counsel, the costs for such separate counsel shall be the responsibility of the Franchising

SECTION 10 - System Description and Service

10.1 System Capacity. During the term of this Agreement the Grantee's Cable System shall be capable of providing a minimum of 80 channels of video programming with satisfactory reception available to its customers in the Franchise Area.

10.2 Service to School and Government Buildings. Upon receipt of a written request by an authorized representative of the Franchising Authority, the Grantee shall provide free basic tier Cable Service and free installation and necessary receiving equipment at one outlet to each public school, fire station, police station, library and other local building used for government purposes located in the Franchise Area within 125 feet of the Grantee's distribution cable. The excess cost for extending service to buildings not within 125 feet of the Grantee's distribution cable shall be paid by the entity requesting service.

SECTION 11 - Enforcement of Franchise

11.1 Performance Bond. The Grantee shall obtain and maintain during the entire term of the Franchise, and any renewal or extensions thereof, a performance bond from a financial institution licensed to do business in Virginia in the amount of fifty thousand dollars (\$50,000), to ensure the Grantee's faithful performance of its obligations hereunder.

11.2 Non-compliance procedures. Should the Franchising Authority believe that the Grantee has not complied with any of the provisions of this Franchise Agreement, it shall: (i) informally discuss the matter with the Grantee and (ii) notify the Grantee in writing of the exact nature of the alleged noncompliance if the discussions described in the foregoing clause (i) do not lead to resolution of the alleged noncompliance. The Grantee shall have 15 days from receipt of this written notice to: (a) respond to the Franchising Authority, if the Grantee contests, in whole or in part, the assertion of noncompliance; (b) cure such default; or (c) in the event that, by the nature of default, such default cannot be cured within the 15-day period, initiate reasonable steps to remedy such default and notify the Franchising Authority of the steps being taken and the projected date that they will be completed. The Franchising Authority shall schedule a public hearing in the event that the Grantee fails to respond to the written notice pursuant to these procedures or in the event that the alleged default is not remedied within 30 days of the date projected above if the Franchising Authority intends to continue its investigation into the default. The Franchising Authority shall provide the Grantee at least 30 business days prior written notice of such hearing, which will specify the time, place, and purpose.

11.3 Technical Violation. The Franchising Authority agrees that it is not its intention to subject the Grantee to penalties, fines, forfeitures or revocation of the Franchise for so-called "technical" breach(es) or violation(s) of the Franchise, which shall include, but not be limited, to the following:

11.3.1 in instances or for matters where a violation or a breach of the Franchise by the Grantee was good faith error that resulted in no or minimal negative impact on the Customers within the Franchise Area; or

11.3.2 where there existed circumstances reasonably beyond the control of the Grantee and which precipitated a violation by the Grantee of the Franchise, or which were deemed to have prevented the Grantee from complying with a term or condition of the Franchise.

SECTION 12 - Miscellaneous Provisions

12.1 Force Majeure. The Grantee shall not be held in default under, or in noncompliance with, the provisions of the Franchise, nor suffer any enforcement or penalty relating to noncompliance or default (including termination, cancellation or revocation of the Franchise), where such noncompliance or alleged defaults occurred or were caused by events which constitute a Force Majeure, as defined in the Agreement.

12.2 Notice. All notices shall be in writing and shall be sufficiently given and served upon the other party by hand delivery, first class mail, registered or certified, return receipt requested, postage prepaid, or by reputable overnight courier service and addressed as follows:

To the Franchising Authority:

Botetourt County
1 West Main Street, #1
Fincastle, VA 24090
Attn: County Administrator

To the Grantee:

Comcast of Connecticut/Georgia/Massachusetts/New Hampshire/New
York/North Carolina/Virginia/Vermont, LLC
21 S. Bruffey Street
Salem, VA 24153
Attn: Government Affairs Department

With copies to:

Comcast Cable
1301 McCormick Dr., 4th Floor
Largo, MD 20774
Attn.: Government Affairs Department

And to:

Comcast Cable Northeast Division
676 Island Pond Rd.
Manchester, NH 03109
Attention: Government Affairs Department

12.3 Entire Agreement. This Franchise Agreement, including all Exhibits, embodies the entire understanding and agreement of the Franchising Authority and the Grantee with respect to the subject matter hereof and supersedes all prior understandings, agreements and communications, whether written or oral. All ordinances or parts of ordinances that are in conflict with or otherwise impose obligations different from the provisions of this Franchise Agreement are superseded by this Franchise Agreement.

12.4 Severability. If any section, subsection, sentence, clause, phrase, or other portion of this Franchise Agreement is, for any reason, declared invalid, in whole or in part, by any court, agency, commission, legislative body, or other authority of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent portion. Such declaration shall not affect the validity of the remaining portions hereof, which other portions shall continue in full force and effect.

12.5 Governing Law. This Franchise Agreement shall be deemed to be executed in the Commonwealth of Virginia, and shall be governed in all respects, including validity, interpretation and effect, and construed in accordance with, the laws of the Commonwealth of Virginia, as applicable to contracts entered into and performed entirely within the Commonwealth.

12.6 Modification. No provision of this Franchise Agreement shall be amended or otherwise modified, in whole or in part, except by an instrument, in writing, duly executed by the Franchising Authority and the Grantee, which amendment shall be authorized on behalf of the Franchising Authority through the adoption of an appropriate resolution or order by the Franchising Authority, as required by applicable law.

12.7 No Third-Party Beneficiaries. Nothing in this Franchise Agreement is or was intended to confer third-party beneficiary status on any member of the public to enforce the terms of this Franchise Agreement.

12.8 No Waiver of Rights. Nothing in this Franchise Agreement shall be construed as a waiver of any rights, substantive or procedural, Grantee may have under federal or state law unless such waiver is expressly stated herein.

IN WITNESS WHEREOF, this Franchise Agreement has been executed by the duly authorized representatives of the parties as set forth below, as of the date set forth below:

Attest:

Botetourt County

By: _____
Name: _____
Title: _____
Date: _____

Approved as to form:

Michael W. S. Lockaby, County Attorney

Attest:

Comcast of Connecticut/Georgia/Massachusetts/
New Hampshire/New York/North Carolina/Vir-
ginia/Vermont, LLC

By: _____
Name: _____
Title: _____
Date: _____

AGENDA ITEM: 3:30 P. M. - Public hearing on proposed amendments to Chapter 2. Administration of the Botetourt County Code to change the name of the Botetourt County Industrial Development Authority.

Administrator's Comments:

As discussed during the Exit 150 Study presentation at the Board's November regular meeting, the consultant recommended that the Industrial Development Authority be renamed the Botetourt County Economic Development Authority to better correspond and reflect the County's current economic development strategic priorities. Therefore, a public hearing has been advertised to amend Chapter 2 Administration, Article VI Industrial Development Authority, of the Botetourt County Code to implement this suggested change. The proposed ordinance amendments are attached.

The Botetourt County Industrial Development Authority endorsed this name change at their November 17 meeting.

Recommendation:

1. Open the public hearing and allow any citizens present to speak.
2. Close the public hearing and adopt the attached amendments to Chapter 2 Administration, Article VI Industrial Development Authority, of the Botetourt County Code to change the name of the Industrial Development Authority to the Botetourt County Economic Development Authority.

Attachment



A handwritten signature in blue ink, followed by the date "12-9-15".

**AN ORDINANCE AMENDING AND REENACTING ARTICLE VI OF CHAPTER 2 OF
THE BOTETOURT COUNTY CODE**

CHAPTER 2. ADMINISTRATION

...

Article VI. ~~Industrial-Economic~~ Development Authority

Sec. 2-96. Created; name.

There is hereby created a political subdivision of the commonwealth, the name of which shall be the ~~Industrial-Economic~~ Development Authority of Botetourt County, Virginia.

Sec. 2-97. Board of directors.

The ~~industrial-economic~~ development authority shall be governed by a board of directors appointed pursuant to the Code of Virginia, § 15.2-4904.

Sec. 2-98. Powers.

The ~~industrial-economic~~ development authority shall have such public and corporate powers as are set forth in the Industrial Development and Revenue Bond Act, Code of Virginia, § 15.2-4900 et seq.), including such powers as may hereafter be set forth from time to time in such act.

AGENDA ITEM: Post-Closed Session Resolution

Administrator's Comments:

The following resolution or something similar is required for Board adoption following Closed Sessions per Section 2.2-3711(A) of the Code of Virginia. As per the Freedom of Information Act (FOIA) requirements, a roll call vote is required on this motion.

Recommendation:

Adopt the following resolution:

BE IT RESOLVED, that to the best of the Board members' knowledge, only public business matters lawfully exempt from open meeting requirements and only such matters as were identified in the motion to go into Closed Session were heard, discussed, or considered during the Closed Session.



Botetourt County, Virginia
Development Services

5 W. Main Street, Suite 100
Fincastle, Virginia 24090
Phone (540) 473-8248
or (540) 473-8320
Fax (540) 473-2018

**Planning Commission Extract
Land Use Related Request**

Board of Supervisors Action Needed

December 17, 2015

Request

Construction Compliance
Erosion & Sediment Control
Inspections & Enforcement
Permit Applications &
Plan Reviews

Planning
Subdivisions
Zoning
Site Plans
Land Conservation

Buchanan Magisterial District: Julie H. Simmons (Verizon Wireless, lessees) requests a Commission permit in accord with §15.2-2232 of the Code of Virginia, in addition to a Special Exception Permit, with possible conditions, in an Agricultural (A-1) Use District to construct and maintain a 199-foot telecommunications tower within a 5,625 square foot lease area, to be accessed from an existing entrance onto a non-exclusive 20' ingress/egress and utility right-of-way, located on a 64.83-acre parcel adjacent to 340 Penn Hollow Road (State Route 631), Buchanan, approximately 0.6 miles northeast of its intersection with Springwood Road (State Route 630), identified on the Real Property Identification Maps of Botetourt County as Section 51, Parcel 36A.

This land use change request involves the following:

- Land rezoning (conditions must be proffered, or offered by the applicant).
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permit (the Board has authority to assign conditions).

Planning Commission Recommendation:

On a vote of 4:1:0:0, (Mr. Kidd voted to deny) the Planning Commission recommended approval regarding the Special Exception Permit request to construct a telecommunications tower in the Agricultural (A-1) Use District.

On a vote of 5:0:0:0, the Planning Commission recommended approval regarding the Commission Permit.

Action requested of the Board of Supervisors:

The Board of Supervisors may approve, approve with conditions, or deny the request to construct a telecommunications tower in the Agricultural (A-1) Use District.

The Board of Supervisors may approve or deny the requested Commission Permit.

Staff Comments:

The closest adjoining property owner, Mr. Gary Peery, stated he was located about 655' from the proposed tower and that the Verizon-provided photo simulations were taken showing impacts along roads and not impacts from residences. After presenting the Planning Commission with photographs of the property, Mr. Peery noted two alternate sites on the Simmons property that could offer the same elevation and serve the community, while the tower would be in a hidden area and lessen the impact to his property and that of a rental property.

Mr. Stephen Waller, AICP, Consultant to Verizon Wireless, explained if the tower location was moved more than 50 feet, Verizon would have to re-do their federal screening, NEPA, SHPO and do more shovel tests. He further explained that from a radio frequency standpoint, the ideal location would have been on the top of the hill, but they relocated to take advantage of the screening of the knoll.

Mr. Danny Simmons, speaking on behalf of the property owner Julie Simmons (not present), stated he had no objection to relocating the proposed tower.

Remaining Planning Commission members noted the County's consultant showed the applicant had met the required conditions.

DRAFT MOTIONS

Approval (Commission Permit):

I move that the commission permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be approved.

Denial (Commission Permit):

I move that the commission permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be denied. Based upon Zoning Ordinance Section 25-576 the following items have not been satisfied:

- 1.
2. (List findings/reasons for denial)

Approval (Special Exception Permit):

I move that the special exception permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be (approval, or approval with the conditions mentioned in the background report and by staff, or approval subject to the following conditions):

- 1.
2. (List any conditions)

And on the basis that the requirements of Section 25-583 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare and is good zoning practice.

Denial (Special Exception Permit):

I move that the special exception permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be denied. Based upon Zoning Ordinance Section 25-583 the following items have not been satisfied:

- 1.
2. (List findings/reasons for denial)

BOTETOURT COUNTY DEVELOPMENT SERVICES

Planning Commission Application

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

TO THE BOARD OF SUPERVISORS AND PLANNING COMMISSION OF BOTETOURT COUNTY:

Please type or print information below

Date: September 16, 2015		Current zoning: A1-Agricultural	
Please check request(s) below:		Please briefly describe request below (indicate zoning change, SEP request, changes, etc.):	
<input type="checkbox"/>	Request rezoning to (From zoning ordinance permitted uses list)		
<input checked="" type="checkbox"/>	Special Exceptions Permit request for (from zoning ordinance SEP list)	Sec. 25-73(54) Telecommunications tower, free-standing, subject to standards of section 25-441.	
<input type="checkbox"/>	Text Amendment (proposed use)		
<input type="checkbox"/>	Change in proffers/Conditions		
Describe proposed use:		Construction of a Telecommunications Tower with a 199' height and supporting ground-based facilities.	
Property owner name(s)		Julie H. Simmons	Verizon Wireless
Mailing address		336 Penn Hollow Road	C/O Stephen Waller, AICP, 536 Pantops Center - PMB# 405
Town, State, Zip Code		Buchanan, Virginia 24066	Charlottesville, Virginia 22911
Phone number		540-556-6705	FAX 757-282-5811 PHONE: 434-825-0617
Email		stephen.waller@gdnsites.com	
Property location (physical address):		TBD on Penn Hollow Road, Buchanan, Virginia 24066	
Subdivision:			
State Route Number:		631	Magisterial District: Buchanan
Tax map number(s):		51 - 36A	(Instrument # 140002311)
Deed Book:		270	Page number(s): 187
Total area of property		64.83 acres	
Total area included in this request:		0.13 acres	

Certified plat prepared by a Licensed Land Surveyor of entire property to include metes and bounds. Requests for rezoning of a portion of a parcel of land requires a legal metes and bounds description of that particular portion. Show: Lengths of all property lines, existing and proposed building(s) for existing and proposed uses, and distance of buildings from all property lines, including distance from any street/highway right-of-way adjoining the parcel. (See attached concept plan checklist and information sheet.)

BOTETOURT COUNTY DEVELOPMENT SERVICES PLANNING COMMISSION APPLICATION
Rezoning/SEP/Text Amendment/Change in Proffers

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www.botetourt.org

Rev 0514

BOTETOURT COUNTY DEVELOPMENT SERVICES

Planning Commission Application

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

Appropriate application fee payable to the *Treasurer of Botetourt County* is hereby submitted for advertising.

All applicants must have notarized signatures by the current property owners. By signing below, signature(s) indicate consent [§25-521(9)(1)(c)] for county officials to conduct site reviews on this property.

Julie H. Simmons Julie H. Simmons
Signature and printed name of property owners

9-18-15
Date

June D. Henderson June D. Henderson
Signature and printed name of property owners

9-18-15
Date

Signature and printed name of property owners

Date

Signature and printed name of property owners

Date

State of Virginia
County of Botetourt to Wit:

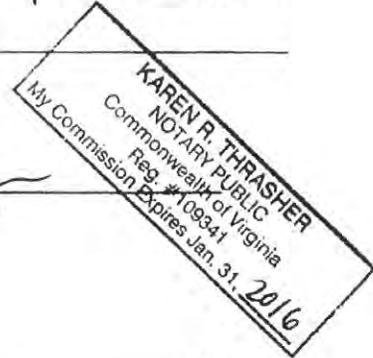
The foregoing instrument was acknowledged before me this 18 day of September 2015 by

Julie H. Simmons and June D. Henderson
Printed name of property owners

My commission expires: 1/31/2014 Date

Karen R Thrasher 109341
Notary Public printed name and registration number

Karen R Thrasher
Notary Public signature



State of Virginia
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this _____ day of _____ 2 by

Printed name of property owners(s)

My commission expires: _____ Date

Notary Public printed name and registration number

Notary Public signature

Note: Signature(s) of property owner(s) must be notarized.

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

Introduction / Project Description:

Cellco Partnership, d/b/a Verizon Wireless, respectfully requests approval of a Special Exception to allow the installation of a Telecommunication Facility with a 199-foot tall steel monopole tower that will be equipped with twelve (12) panel antennas and associated equipment. This proposed facility will be part of a larger project that is geared toward expanding Verizon Wireless' network of services into areas of Botetourt County that currently have low to marginal levels of coverage, if any.

This proposed facility will include a three-sectored mounting platform with four (4) antennas attached to each face containing, for a total of twelve (12) antennas, with remote radio heads connected behind them. Verizon Wireless's base station equipment cabinets that will house transmit and receive radios will be placed on a concrete pad along with other equipment cabinets and boxes for utilities such as power meters, fiber optic and telephone circuits to be attached on an H-frame stand. Lastly an emergency generator for back-up power will be placed nearby on its own concrete pad. All of this equipment will be installed inside of a fenced compound that is subject to Verizon Wireless's 5,625 square foot ground lease with the underlying property owner. In addition to allowing the deployment the different technologies for which Verizon Wireless is licensed to provide in Botetourt County, the monopole serving this facility will also be engineered and constructed with the additional capacity to support the co-location of antennas and supporting equipment to be installed for use by at least three (3) additional wireless service providers.

Network Objectives:

The proposed facility will provide expanded in-building coverage to residents, businesses and also those traveling along Penn Hollow Road (State Route 631), River Road (State Route 632), Narrow Passage Road (State Route 43) and other local roads. This site is located near the James River, just northeast of the Springwood area of Botetourt County which is characterized by marginal coverage and in some cases no coverage at all due to the lack a facility that is near enough to provide adequate levels of good or even average wireless telecommunications services.

Verizon Wireless is licensed, by the Federal Communications Commission (FCC), to provide state-of-the-art wireless telecommunications services within Botetourt County, using a combination of four (4) separate bands that are on the frequency spectrum. They consist of the 850 MHz band for Cellular, the 1900 MHz frequency band for PCS, the 4G Long Term Evolution (LTE) wireless data services utilizing the 700 MHz band and lastly the recently deployed Advance Wireless Services (AWS), using the 2100 MHz band. The LTE and AWS networks offer data upload and download transmission speeds that much faster than the previous generations of wireless technologies. Verizon Wireless is also in the process of adding the ability to use the data networks for additional call capacity through Voice Over Internet Protocol (VOIP) capabilities.

Whenever possible, it is Verizon Wireless' goal to provide seamless in-building, in-car and on-street coverage and the full range of voice and data services to existing and future customers. In pursuing this goal, the proposed 199' monopole tower will allow antennas to clear the trees so service from this particular site can also connect closely with services that are currently provided by the existing, on-air neighboring sites. The proposed facility will serve the coverage needs of the immediate area while also providing improvements in overall network performance by adding network capacity and reducing the number of customers who might currently be drawing on the marginal levels of coverage (shown as red on the propagation maps) that is currently provided by existing, outlying neighbor sites that are located at farther distances away (Boblett, Purgatory and Spec).

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

The Propagation Maps that were submitted with this application reflect an initial buildout that will LTE (746-757 MHz) and PCS (1720-1740 MHz) networks both for Broadband Data and Voice Over LTE (VOLTE) services. Ideally, the colors on the maps and legends are meant to represent Green as Good (-85 dBm) Received Signal Strength (RSSI), Yellow as Acceptable (-95 dBm) RSSI and Red (-100 dBm) as Marginal RSSI. However, please note that Verizon Wireless is often cautious to state these levels on the maps themselves due to the presence of items such as vegetation, specific building materials (roofing and siding) and other unforeseen and uncontrollable factors that can act to reduce signal strength below what is modeled and accounts for topographical variations as the main source of obstructions.

Character of the Area:

Verizon Wireless has entered a long-term lease agreement to install the proposed Personal Wireless Service Facilities ("Facility") on property identified in Botetourt County records as Tax Map Parcel Identification Number 51-36A (the "Property"), containing a total of 64.83 acres. The subject property is zoned A1, Agricultural and all of the adjacent properties share that same zoning designation. The proposed facility will be installed in area on the property that has a base elevation of approximately 987.9 feet Above Mean Sea Level.

The 199' monopole tower will be 601 feet to the northeast of Whitehall Road (State Route 673) and approximately 540 feet from Penn Hollow Road, off-site residential dwelling, located on the adjacent parcel identified as Tax Map Parcel Identification Number 51-35. Access will be provided from an existing gate on the northern side of Penn Hollow Road and then passes through the pasture, curving north to the facility site. Verizon Wireless has secured a 20' wide easement that will allow for construction of a 12-foot wide road that allows for the short term passage of construction vehicles and then future access by maintenance vehicles throughout the time that the facility is in place. This easement will also allow adequate space to run the required underground power and telecommunications utilities and conduit that must lead to the facility from the existing, main service lines.

Verizon Wireless will address compliance with relevant requirements Telecommunications Facilities from the Botetourt County Zoning Ordinance in the discussion being provided below.

Section 25.441 Use regulations for telecommunication towers. The purpose of this division is to establish requirements for the siting of towers and antennas. The goals of this division are to:

(i) Encourage the location of towers in nonresidential areas and minimize the total number of towers and tower sites throughout the community:

The subject property and all of the adjoining parcels, as well as the greater area surrounding this site are either zoned Agricultural (A-1), or Agricultural Rural (AR). The nearest residential dwelling is located approximately than 750 feet away to the west, on property identified as Tax Map and Parcel ID# 51-30A. Base station equipment serving the facility will be installed at an elevation that is approximately 988 feet Above Mean Sea Level and below the crest of the hill, just to the west which has a base elevation that is slightly above the 1,000 AMSL range. Additional screening trees will be added around the facility fence in order to provide a landscaping buffer from the adjacent dwellings and public road.

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

Verizon Wireless's proposed facility should help to minimize any future needs for additional towers needed within the county because the tower proposed for facility will be designed to allow the use and co-location of equipment by at least three additional carriers.

(ii) Encourage strongly the joint use of new and existing tower sites:

Verizon Wireless actively explores opportunities to collocate antennas on existing structures with adequate ground space for the required base station equipment. Both a physical search of the area and also a search for registered structures have determined that there are no existing structures that could help to further the specific needs for improved coverage and additional network capacity within the designated search area. This is demonstrated in the fact that Verizon Wireless facilities are collocated several of towers located throughout Botetourt County including one that is located within 2-1/2 miles of the proposed site for this facility. No other electrical transmission towers or other existing structures.

During the initial, physical search for existing structures, the Real Estate Manager / Site Acquisition Specialist did target at least two existing power towers that are just at the outer limits of the 1-mile Search Area Ring for Penn Hollow within a high tension line easement that runs north of the proposed site. However, it was later discovered that unlike the standard single-framed lattice and monopole towers, these particular types of split-framed structures are not even considered by power companies as being the collocation of telecommunications antennas and supporting equipment. This is because they are not designed with the additional structural capacity to support the increases in loading, and it would require a complete power line outage that could last for several weeks in to perform the necessary structural upgrades and then attach the antennas. Outside of these unusable power towers and the other existing telecommunications towers that are even further away, no other structures were identified within close enough proximity to this site and its targeted Search Area Ring.

(iii) Encourage users of towers and antennas to locate them, to the extent possible, in areas where the adverse impact on the community is minimal:

In this particular case, by designing the proposed tower to be 199 feet tall upon installation, Verizon Wireless facility will have the capacity for future use by at least three additional carriers, also to include the possible needs of public and government emergency communications that might arise. A final tower design will be structurally engineered once the total height and other design aspects of the tower has been officially established through the county's review of this condition use Conditional Use Permit application. This tower design will be submitted to Botetourt County for the purpose securing all building and zoning permit approvals that are necessary to allow construction to begin.

In addition to helping reduce the future needs for any additional facilities to serve the surrounding target area, the proposed maximum top height of 199 feet is below the 200 foot threshold that automatically requires tower lighting under the FAA safety requirements. This is because lighting requirements are most normally applied to towers and appurtenances that are and higher or those that are in close proximity to airport approach zone slopes. Therefore, Verizon Wireless is confident that these and other design and locational aspects of the proposed facility will help to limit any adverse impacts that might otherwise be perceived.

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

(iv) Encourage users of towers and antennas to configure or camouflage them in a way that minimizes adverse visual impact of the towers and antennas:

Monopole towers, such as the one proposed with this application, are often preferred because they have slimmer profiles than lattice towers and also require less space and clearing than what is necessary for towers that require the support of guy wires. This will all assist in limiting the perceived visual impacts of this tower which will also have a galvanized steel finish to avoid a high amount of contrast with the sky. Furthermore, the lower portions of the structure and supporting ground equipment will be screened from outside views by combinations of the adjacent topography, mature tree growth and proposed buffer landscaping to be installed on the subject parcel surrounding the site. Finally, due to the fact that the top of the tower will be lower than 200 feet, and based on the results of a preliminary TOWAIR study (attached with this application), it is anticipated that the tower will not have to be lighted. However, if for some unexpected reason further inquiry and review by the Federal Aviation Administration (FAA) were to determine that lighting will be necessary Verizon Wireless can willingly submit the lighting package to the county for review as set forth in Zoning Ordinance Section 24-441(d)(4).

(v) To determine adequate sites for the provision of telecommunication services with minimal negative impact on the resources of the county:

Although this existing facility is located within the A-1, Agricultural zoning district, the proposed Verizon Wireless installation will not interfere with any of the county's goals for the preservation of agricultural and forestal lands. This is because the proposed facility and its access road will not require the removal of any existing vegetation or greatly disturb any active farmlands that are significant in maintaining the rural character of the area.

Furthermore, as part of the process for gaining the federal approvals that are mandated by the National Environment Policy Act (NEPA), the Botetourt County Historical Society and the Virginia Department of Historic Resources were both notified of the proposed site and design aspects of the proposed facility. Neither of those entities has identified any historically significant properties or structures that would be potentially impacted, directly or visually as a result of the proposed tower and facility at this location.

The proposed location of Verizon Wireless' antennas and equipment at this site should not impose any adverse impacts upon any other resources that are identified as being important within Botetourt County. All of the appurtenant utility easements and the facility itself will be installed on a single parcel and will be screened in accordance with the requirements that are set forth for new telecommunications facilities. Finally, the taller portions of the tower itself will have a neutral, galvanized steel finish as preferred by the county's guidelines.

Lighting:

An inquiry using the FCC's and FAA's online TOWAIR tool has determined that a tower in this location with a maximum structure height of 199 feet (60.7 meters) will not require registration, lighting or any special painting schemes. This is due to the overall structure height and fact that the facility is located more than 5 miles (8 kilometers) from the nearest airport and below a top height of 200 feet; either of which would automatically require registration and lighting.

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

Signage / Restriction on Advertising:

Only the standard FCC registration and radio-frequency warning signage will be installed at this site per safety and site identification requirements. The proposed facility will not be used in any way for the purposes of advertising or promoting any products or services provided by Verizon Wireless.

Federal standards and regulations of the FAA and FCC:

In order to maintain the licenses requirements for operating and providing personal wireless services in Botetourt County and throughout the country, Verizon Wireless is required to meet or exceed all relevant standards and regulations as set forth by the FAA, FCC and other federal agencies. Should it be determined that this or any of the company's other facilities are not in compliance with said regulations, then Verizon Wireless would be required to take immediate actions to remediate the issue.

Co-location policy:

A tower with the proposed height of 199' serving this facility should accommodate the antennas to be mounted by any future carriers at heights that will also allow them to provide reliable coverage that serves the nearby residences, businesses and roads in the area. This height will also allow the vertical space that is necessary to separate antennas arrays belonging to the different providers of compatible services, reducing any possibilities of interference.

Although Verizon Wireless does not have a set of general policies regarding co-locations, it is a standard practice for the company to allow the co-location of antennas and supporting equipment by government for public safety communications, wireless communications companies and other types of users that might find a use for their structures. In fact, Verizon Wireless already has specific Master (or Standard) License Agreements set in place with most of the companies that provide competing wireless services. These agreements have been used to set guidelines for how the companies are to share and lease tower and compound space to one another whenever it is available and feasible. However, because they are legally binding documents that vary from company to company particularly for the purposes of setting fair-market pricing and licensing guidelines at regional and/or national levels, these agreements are not made available to the public.

A copy of the lease that has been executed to secure the ground space for this facility is also attached to demonstrate that there have been no restrictions placed on future co-locations.

Applicable federal, state and local building codes and related regulations:

All proposed towers, monopole and similar structures must be engineered to meet and/or exceed all (currently Revision G) ANSI/TIA/EIA standards ("Structural Standards for Steel Antenna Towers and Antenna Supporting Structures") that are required for regular towers and similar structures. These standards set forth the region-specific engineering and design requirements for ice and snow loads, resistance to seismic activity and maximum wind speeds for the whole country and will also be applied to all aspects of the proposed monopole. Confirmation that the professionally engineered tower has been designed to meet all of these relevant standards will be submitted upon approval of the requested Special Exception, and with consideration for any related conditions, at the time when the building permit is accepted for review.

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

Lack in Availability of Suitable Existing Towers or Other Structures:

Verizon Wireless' RF Engineering division has developed propagation maps showing where there is a lack of coverage that needs to be filled by placing a new facility within this area of Botetourt County. Verizon Wireless's team of real estate specialists completed visual and field assessments within the Whitehall Road Search Area Ring, but they did not locate any existing structures with the necessary height to meet the coverage requirements in this area. Furthermore, a copy of an Antenna Structure Registration (ASR) report from a search that was run on the FCC's public database is attached with this application. This ASR report has confirmed that two out of the four existing towers, within a 3-mile search radius are currently all being used by Verizon Wireless. The two other remaining sites within 3 miles are very close to the existing on-air facilities and far away from the Search Area Ring to improve coverage within the targeted areas.

Setbacks / Collapse Zone:

The proposed facility and its tower will be installed in location that will allow its distance from all of the adjoining parcel lines to much greater than the tower's height of 199'. Therefore, there should be no concerns that the tower would collapse outside of the subject parcel's lines and upon any of the adjacent properties. Additionally, there are no off-site dwellings located within 398 feet or 200% of the tower's proposed height.

Security fencing:

The proposed facility will be enclosed within an 8-foot high chain link, security fence that will also have 2 feet of barbed wire mounted in a reverse angle to prevent any potential trespassers from climbing and entering the compound.

Landscaping:

The proposed facility will be surrounded by a 10-foot evergreen screening buffer that will help to screen the base of the monopole and ground equipment from nearby properties and the road.

Local Government Access:

Verizon Wireless will comply with the requirements set forth in Section 25-441(m) - "Local Government Access" to the best extent possible. As a standard practice, Verizon Wireless has allowed various state and local government agencies to access space on towers and within ground equipment compound in support of various public safety and emergency service needs. In doing so Verizon Wireless requires the completion of a co-location request application in order to ensure that the proposed equipment and loading will not conflict with the engineered design standards for towers, Verizon Wireless's existing lease agreements with other carriers and/or any other county-impose co-location conditions for a specific structure.

Other matters that should be considered in review of the requested Special Exception under Section 25-583 of the Botetourt County Zoning Ordinance:

Community Needs / Public Welfare:

Additional consideration should also be given to the fact that this request will expand the area of wireless service coverage to a larger number of citizens within Botetourt County. This is because recent Federal Communications Commission statistics show that an estimated 70 percent (70%) of 911 emergency calls are now being made from wireless phones. Therefore, by expanding coverage into this area and thus increasing the levels of call quality and reliability including the required

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

ability to locate phones through GPS during E-911 call, the proposed facility could help to reduce response times for those using wireless handsets to make emergency calls.

Whereas technological advances such as cellular and broadband services were once largely viewed as a mere conveniences, access to reliable Personal Wireless services are now often seen as an essential component to economic growth in several ways. In recent years, many people have forgone the use of in-home telephone service lines in favor of wireless communications when reliable access is available to these types of services in their markets. In fact recent independent studies have indicated a growing correlation between whether or not certain homes are sold near the upper end of market rates based on the access to wireless communications in a given area. Therefore, the demands for reliable in-building coverage have increased in many ways as wireless devices are no longer being used solely for on-street and in-car communications (although both of those aspects still remain very important factors when evaluating service needs).

In addition to the long-standing voice service, several carriers now plan to deploy wireless, broadband internet service packages (such as Verizon Wireless' LTE and AWS services), that exceed many of the speeds and reliability thresholds in rural areas such as this which might not be fully served by DSL, fiber optic and/or cable internet. The federal government's National Broadband Plan recognizes the needs for greater access to broadband service in the rural areas and other regions that are often considered to be "underserved." Broadband service is often viewed as a key component in educational advancement and also economic growth in today's society, both of which will rely heavily on instant access to information and various research tools. In fact many school systems are replacing textbooks with tablet computers and similar devices, while accepting homework assignments through e-mail, and many jobs allow employees to work from home in order to save on capital expenditures while reinvesting in the workforce.

Desirable Employment / Enlarged Tax Base / Economic Development

Many companies rely as heavily on these services as they do on other essential utilities such as power, water and gas in defining the components for a successful business. Businesses that provide services on the road and/or do most of their work in the field no longer use two-way radio systems, instead opting for mobile phones to make calls and also send photos and other important documents back to headquarters using instant texting or e-mail on mobile phones, computers and tablets. This is especially the case in auto-oriented industries such as courier, towing, food delivery and taxi services as well as those in sales businesses such as insurance and real estate.

Furthermore, a growing number of home-based small businesses as well as established companies that have begun to allow telecommuting as an alternative to transferring their employees to new offices in other cities, states or regions. As more citizens and businesses tend to forgo landline phone services for the variety of voice and data options made available through wireless communications, access to a reliable network is becoming more and more important. By providing and improving the available within this area within this market, it is Verizon Wireless' objective to ensure that the full range of voice and data services will be available to existing customers, while also allowing additional capacity for providing wireless services to be accessed by a growing number of potential, future customers. All of these activities are examples of ways that this proposed facility can contribute to economic development and employment growth in Botetourt County.

**VERIZON WIRELESS - ("PENN HOLLOW" SITE)
TELECOMMUNICATIONS FACILITY TOWER, ANTENNAS AND SUPPORTING EQUIPMENT**

Traffic Impacts:

Except in cases where extreme weather conditions have disrupted service, telecommunications field operations and technical support staff will not normally need to visit a facility more than one time per month. All of these facts associated with the proposed use will help to protect this area of Botetourt County against the possibilities of unduly overcrowding the land, obstruction light and air, and creating danger and congestion in travel and transportation.

Conclusion:

Verizon Wireless is confident that the proposed facility with its tower and related equipment will comply with the County's preferred design criteria and related goals that are set forth for communications towers, antenna and other supporting equipment. Approval of this application will support the provision of Verizon Wireless' full range of wireless and broadband services in the targeted coverage area, which currently does not have access to acceptable levels of good and/or adequate service provided by the company's nearest existing sites that are on-air. Communications facilities such as the one proposed in this request help to provide citizens with greater access to more efficient and effective levels of wireless services. Therefore, the approval of this request can be viewed as a way of helping to promote the creation of a convenient, attractive, and harmonious community for the reasons that are stated above and many other, in these and many other ways.

The location for this facility was chosen for its ability to support a facility that can provide the necessary levels of coverage without encroaching upon adjacent properties or significantly changing the rural characteristics of the surrounding area. The approval of this particular request will enable Verizon Wireless to provide high quality voice, data and high speed 4G broadband services to nearby residents in this part of Botetourt County, as well as travelers on Penn Hollow Road (State Route 631), River Road (State Route 632), Narrow Passage Road (State Route 43) and other nearby local roads. Approval of this request will also be helpful in facilitating overall improvements to Verizon Wireless's network by offloading some of the strains on existing sites and meeting the needs for additional capacity and reducing the total number of users that are currently relying on the coverage from the existing, neighboring sites in Botetourt County.

Sincerely,



Stephen Waller, AICP

GDNsites

Site Development Consultants to Verizon Wireless



Consultants to Verizon Wireless
536 Pantops Center - PMB #405
Charlottesville, Virginia 22911

October 21, 2015

TO: Botetourt County
Department of Community Development
C/O Nicole Pendleton, AICP, CFM
5 West Main Street, Suite 100
Botetourt, Virginia 24090

RE: Verizon Wireless - Penn Hollow Site / Special Exception Updated Application Package

Dear Ms. Pendleton:

The responses to comments and requests for revisions and additional information in your letter, dated October 15, 2015, are being provided below:

1. A copy of the completed SEP application form has been included in each package.
2. A check in the amount of \$215.00 is included in the updated package.
3. Other Existing Structures - During the physical search for existing structures, the Real Estate Manager / Site Acquisition Specialist did target at least two existing power towers that are just at the outer limits of the 1-mile Search Area Ring for Penn Hollow within a high tension line easement that runs north of the proposed site. However, it was later discovered that unlike the standard single-framed lattice and monopole towers, these particular types of split-framed structures are not even considered by power companies as being the collocation of telecommunications antennas and supporting equipment. This is because they are not designed with the additional structural capacity to support the increases in loading, and it would require a complete power line outage that could last for several weeks in to perform the necessary structural upgrades and then attach the antennas. Outside of these unusable power towers and the other existing telecommunications towers that are even further away, no other structures were identified within close enough proximity to this site and Search Area Ring.
4. Site Plan Revisions:
 - a. The property owner's information has been revised on all of the site plan sheets so that only the name of the current owner Julie H. Simmons is shown. Her mother's name (June A. Henderson) was originally provided as well because she had also once been listed as another owner in tax and other property records and also on title reports and signed the lease documents as well.
 - b. The 100% setback radius from property lines has now been revised on Sheets SV-2 and SV-3 as directed to Scott Caldwell in your e-mail from October 16, 2015.
 - c. The 200% setback radius from adjacent structures has now been revised on Sheets SV-2 and SV-3 as directed to Scott Caldwell in your e-mail from October 16, 2015.
5. Application Form Revisions:
 - a. Julie H. Simmons is now the only name listed on the completed application form. The Deed Book / Page references and Instrument Numbers reflected in the site plan all match the information as reflected in County records. I have also added the Instrument number on the application form as well.
 - b. All of the ownership information for the subject parcel and adjacent parcels been updated on Sheets SV-2 and SV-3 of the attached Construction Drawings / Site Plan.

6. The Propagation Maps that were submitted with this application reflect an initial buildout that will LTE (746-757 MHz) and PCS (1720-1740 MHz) networks both for Broadband Data and Voice Over LTE (VOLTE) services. Ideally, the colors on the maps and legends are meant to represent Green as Good (-85 dBm) Received Signal Strength (RSSI), Yellow as Acceptable (-95 dBm) RSSI and Red (-100 dBm) as Marginal RSSI. However, please note that Verizon Wireless is often cautious to state these levels on the maps themselves due to the presence of items such as vegetation, specific building materials (roofing and siding) and other unforeseen and uncontrollable factors that can act to reduce signal strength below what is modeled and accounts for topographical variations as the main source of obstructions.
7. Please find copies of the following information:
 - a. Search Area Ring Form (SARF) which includes the coordinates that issued by Verizon Wireless's RF Engineer to the Real Estate Manager / Site Acquisition Specialist to define coordinates for the central point in the 1-mile Search Radius for a structure that would support antennas that are center line mounted in the 200' height range.
 - b. Street Map with the central point of the Search Area Ring and its 1-mile radius.
 - c. Aerial Map showing the proximity of the proposed facility site to the center point of the Penn Hollow Search Area Ring.

Please contact me at your earliest convenience if you have any additional questions or comments.

Sincerely,



Stephen Waller, AICP
Director of Zoning and Permitting Services
Phone: 434-825-0617
Fax: 434-8250617

stephen.waller@gdnsites.com

SARF

Project Name : <i>PENN HOLLOW - New Build</i>	Task Submitted On : <i>05/02/2013</i>
Task Submitted By : <i>Guy Randall</i>	

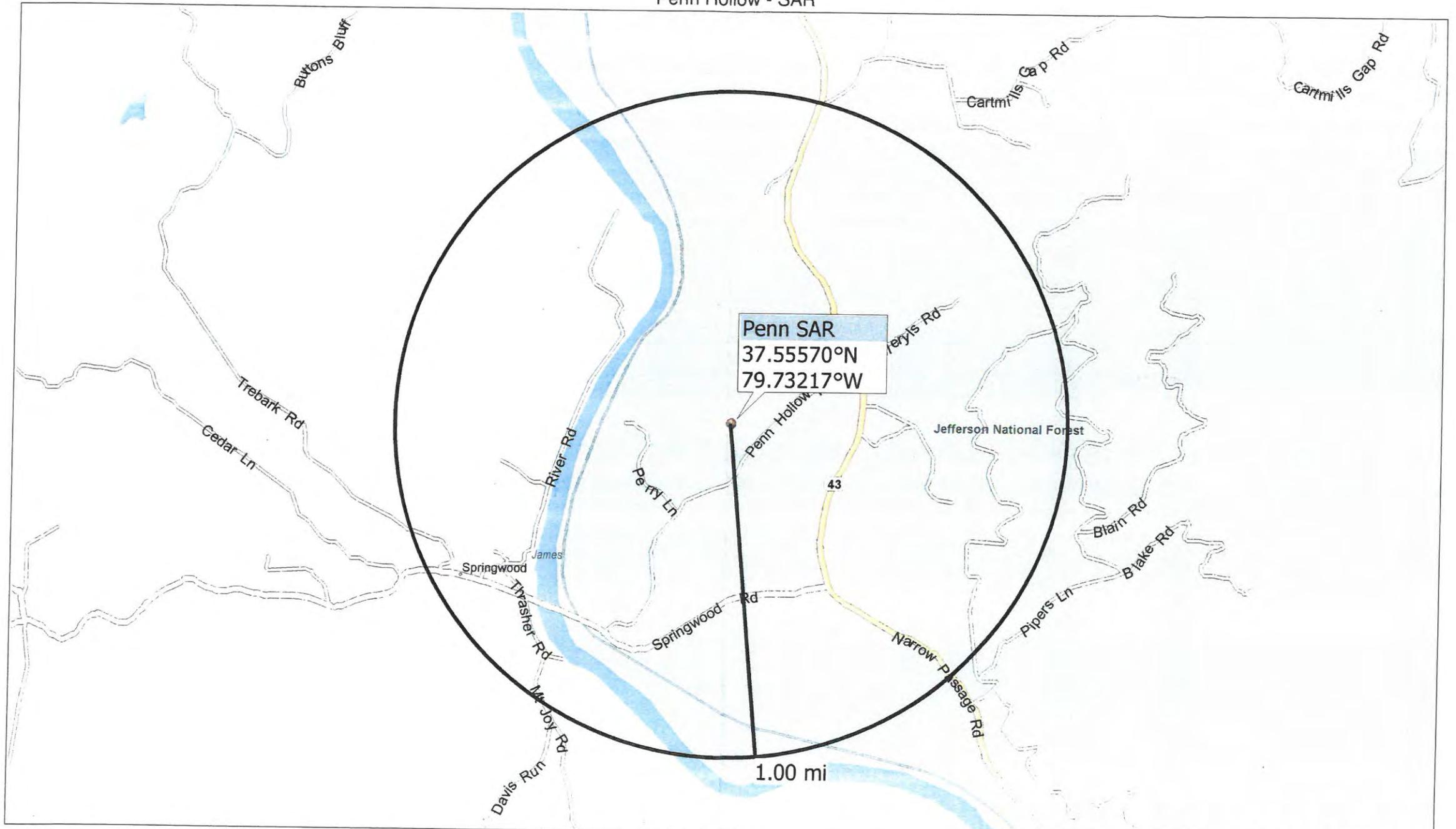
Site Acquisition Request Form (SARF)

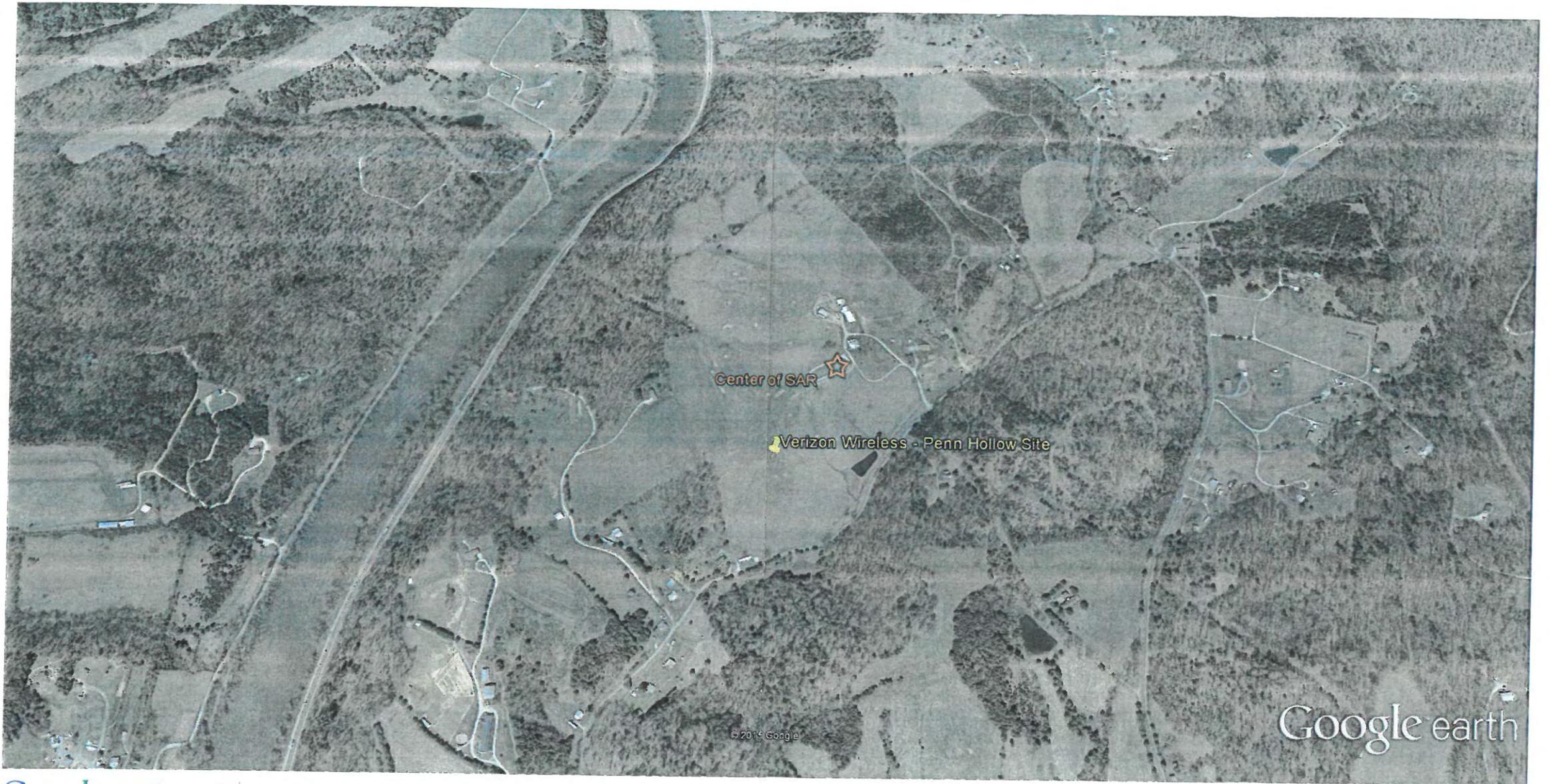
GeoPlan Market: <i>Virginia</i>	Region: <i>Virginia</i>	Location Name: <i>PENN HOLLOW</i>
Area: <i>Northeast</i>		Market: <i>Thirlane</i>
Issue Date: <i>05/02/2013</i>	Site Name: <i>PENN HOLLOW</i>	
From: <i>Guy Randall</i>	Type:	
Request Type:		
Project Title: <i>PENN HOLLOW - New Build</i>	Budget:	
Desired In-Service Date: <i>11/15/2015</i>	Site Location Type: <i>Permanent</i>	
Project Manager: <i>Sherry Gensbygel</i>	Acquisition:	
Priority: <i>E</i>		
Coverage Objective:		
<i>Densification of Botetourt County VA</i>		
Further Explanation:		
Special Instructions:		
Type of Site		
<input checked="" type="checkbox"/> 700		
Preferred Location: <i>Whatever is Available</i>		
Center of Search Ring	Street Address:	
Latitude: <i>37-33-20.51 N</i>	Search Ring Center City: <i>Buchanan</i>	
Longitude: <i>79-43-55.80 W</i>	Search Ring Center County: <i>Botetourt</i>	
Datum: <i>NAD83</i>	Search Ring Center State: <i>VA</i>	
Radius of Search Ring (mi): <i>1.00</i>	Search Ring Center Zip Code: <i>24066</i>	
Voltage (V):	Donor Site Name:	
Amperage (A):	Donor Site Sector:	
Phase:		
Antenna Center Line (ft AGL): <i>200.00</i>	Min Center Line (ft AGL):	
Building Height Req.:	Max Center Line (ft AGL):	
Generator?:		

Equipment Requirements

Number of Sectors					
Whip:					
Panel:					
Link:					
Current			Future		
	Quantity	Size		Quantity	Size
Whip:			Whip:		
Panel:			Panel:		
Link:			Link:		

Penn Hollow - SAR





Google earth

Google earth

miles
km



Registration Search Results

Displayed Results

No matches found

PA = Pending Application(s)

To try again, you can perform a [new search](#) or [refine your existing search](#).

Specified Search

Latitude='37-33-15.4 N', Longitude='79-44-0.3 W', Radius=3.2 Kilometers

A 2-mile (3.2 kilometers) radius search for existing structures that might be available for the collocation of Verizon Wireless's antennas turned up no results for existing and/or pending structure registrations.

Registration Search Results**Displayed Results**
 PA = Pending Application(s)
Specified Search

Latitude='37-33-15.4 N', Longitude='79-44-0.3 W', Radius=4.8 Kilometers

	Registration Number	Status	File Number	Owner Name	Latitude/Longitude	Structure City/State	Overall Height Above Ground (AGL)
1	1016378	Terminated	A0289240	CROWN CASTLE GT COMPANY LLC	37-33-44.0N 079-41-22.0W	BUCHANAN, VA	34.7
2	1017103	Constructed	A0972461	UNITED STATES CELLULAR CORPORATION	37-33-56.0N 079-41-21.0W	BUCHANAN, VA	32.3

A 3-mile (4.8 kilometers) radius search for existing structures that might be available for the collocation of Verizon Wireless's antennas turned up the two registration filings that are listed above. Verizon Wireless will address those findings below:

Tower #1: Although the registration request for this tower is listed as being terminated, the coordinates listed for this tower match with Verizon Wireless's "Purgatory" site, which is currently collocated and operating on-air at a tower owned by Crown Castle that is located on Tax Map and Parcel ID# 52-1A. This existing site is located approximately 2-1/2 miles to the east and service from the facility does not extend far enough west to provide adequate levels of good and acceptable coverage to the targeted area to be served by proposed "Penn Hollow" site.

Tower #2: This tower, which is located on Tax Map and Parcel ID# 52-1B is also located approximately 2-1/2 miles to the east of the proposed Penn Hollow site. It is also less than 1/4-mile north of the Verizon Wireless's Purgatory collocation site identified in the discussion of Tower #1. Therefore, any proposed use of this structure would likely result in redundant coverage for the services already being provided in that surrounding area, without improving service or adequately addressing the needs for coverage in the targeted area for Penn Hollow.

Penn Hollow Propagation Maps Coverage Levels



Good

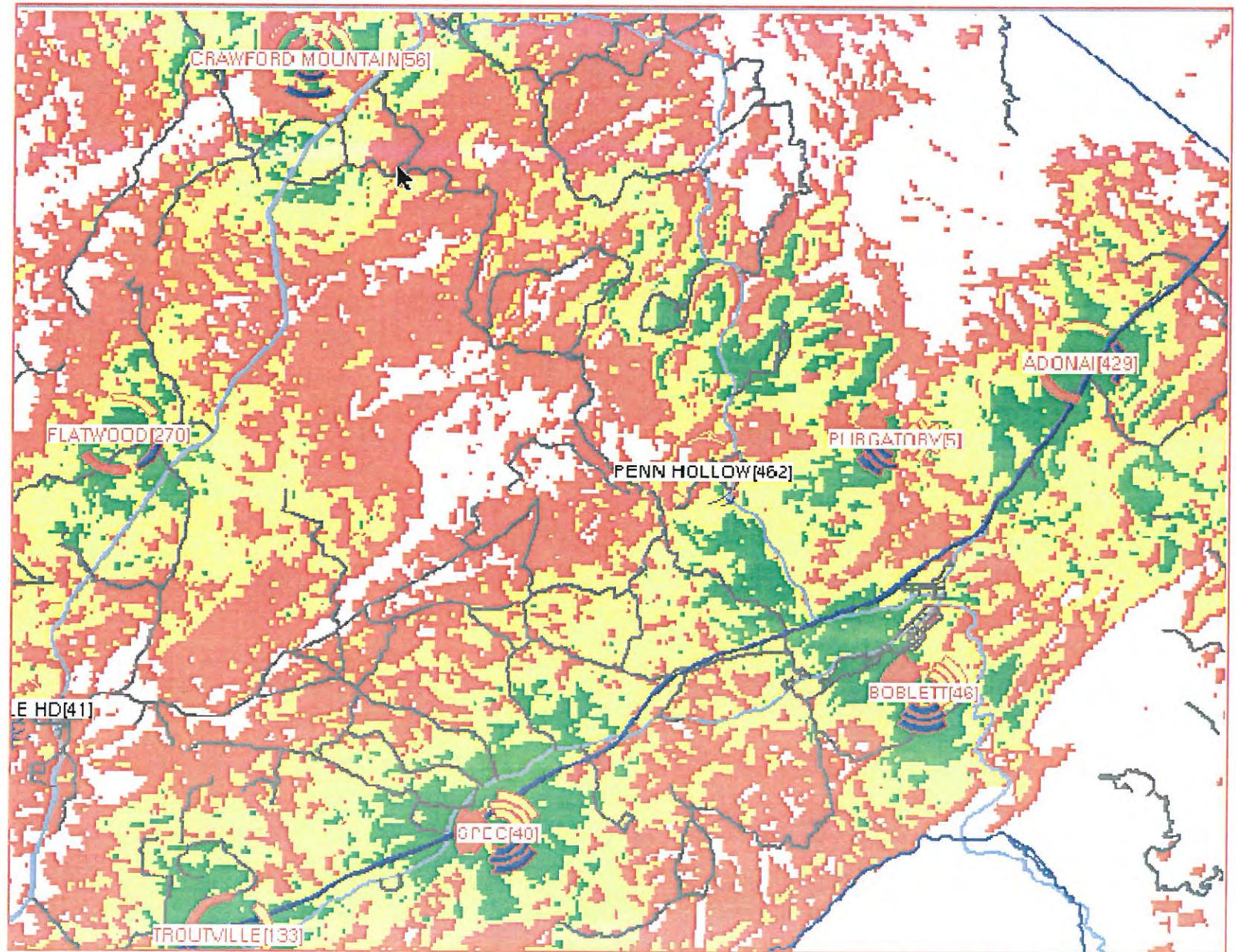


Acceptable

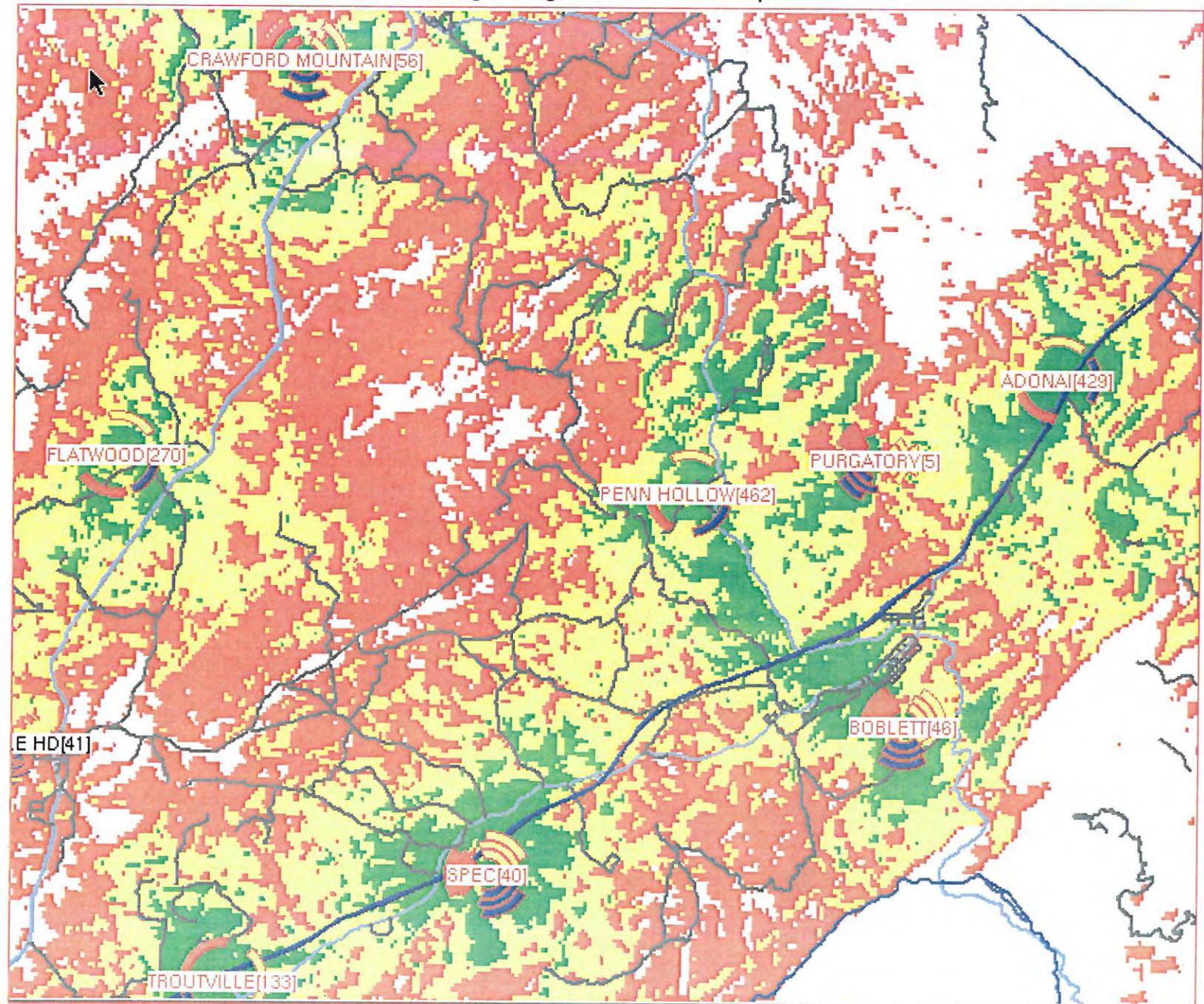


Marginal

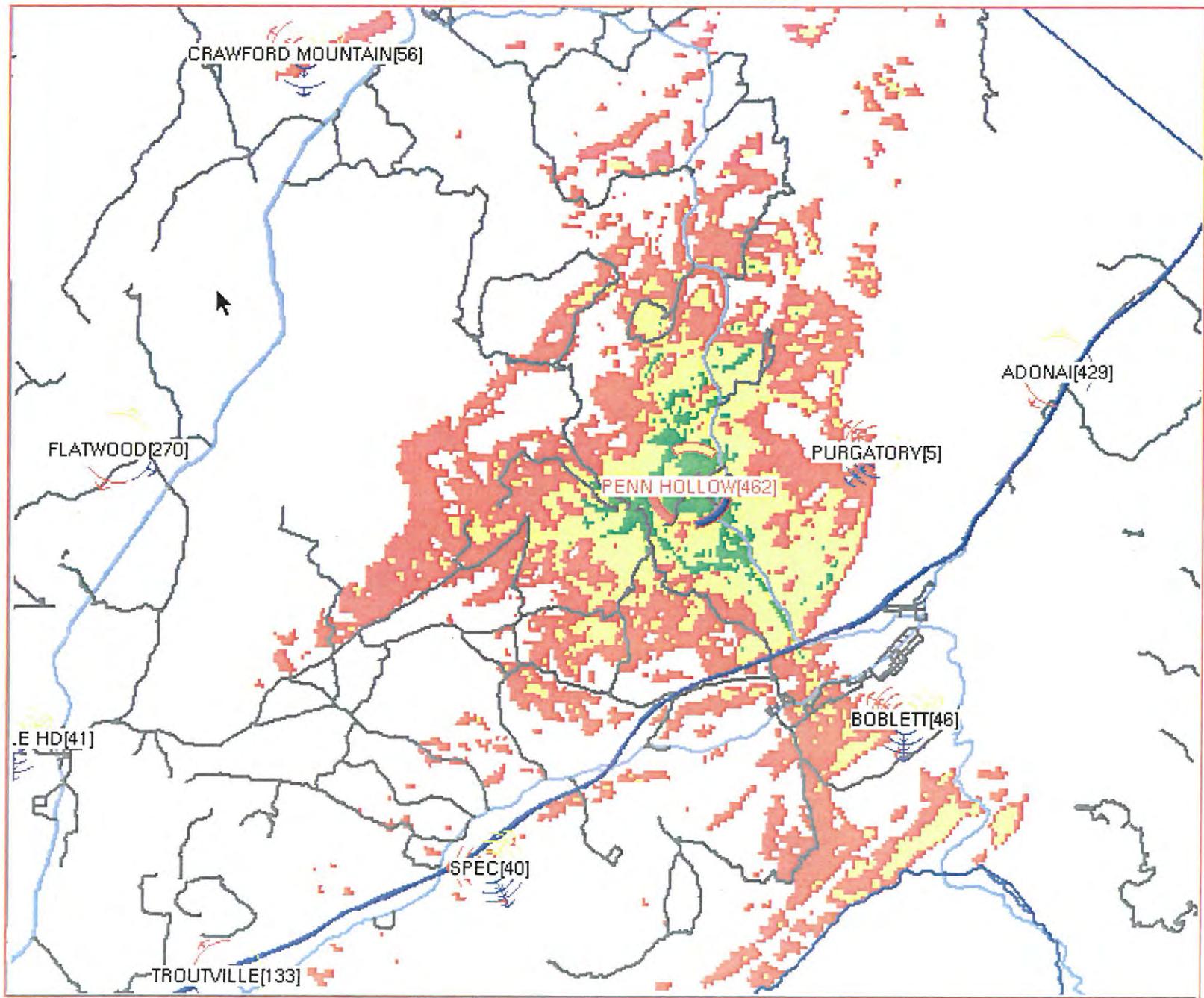
Existing Coverage without Penn Hollow



Existing Coverage with Penn Hollow Proposed



Proposed Coverage from Penn Hollow Alone



TOWAIR Determination Results

Verizon Wireless - Penn Hollow Site

***** NOTICE *****

TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.

DETERMINATION Results	
Structure does not require registration. There are no airports within 8 kilometers (5 miles) of the coordinates you provided.	
Your Specifications	
NAD83 Coordinates	
Latitude	37-33-15.4 north
Longitude	079-44-00.3 west
Measurements (Meters)	
Overall Structure Height (AGL)	60.7
Support Structure Height (AGL)	59.4
Site Elevation (AMSL)	301.1
Structure Type	
MTOWER - Monopole	

Tower Construction Notifications

Notify Tribes and Historic Preservation Officers of your plans to build a tower.

CLOSE WINDOW



Site Location & Surrounding Properties



Site Location



Easement

Aerial Photographs
Verizon Wireless – Penn Hollow
340 Penn Hollow Road
Buchanan, VA 24066

Aerial Photograph
2011





Site Photograph 1 – Looking north at the Site



Site Photograph 2 – Looking south at the Site

Site Photographs
Verizon Wireless – Penn Hollow
340 Penn Hollow Road
Buchanan, VA 24066

Photographed:
April 29, 2015



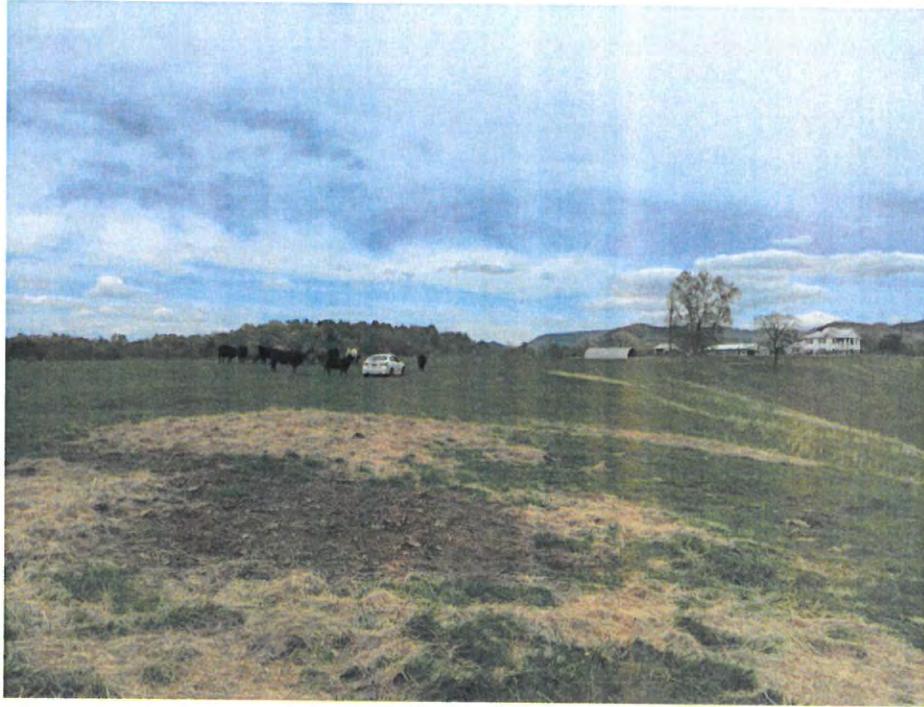
Site Photograph 3 – Looking east at the Site



Site Photograph 4 – Looking west at the Site

Site Photographs
Verizon Wireless – Penn Hollow
340 Penn Hollow Road
Buchanan, VA 24066

Photographed:
April 29, 2015



Site Photograph 5 – Looking north away from the Site



Site Photograph 6 – Looking south away from the Site

Site Photographs
Verizon Wireless – Penn Hollow
340 Penn Hollow Road
Buchanan, VA 24066

Photographed:
April 29, 2015



Site Photograph 7 – Looking east away from the Site



Site Photograph 8 – Looking west away from the Site

Site Photographs
Verizon Wireless – Penn Hollow
340 Penn Hollow Road
Buchanan, VA 24066

Photographed:
April 29, 2015



Site Photograph 9 – Looking southwest along the access/utility easement



Site Photograph 10 – Looking west along Penn Hollow Road

Site Photographs
Verizon Wireless – Penn Hollow
340 Penn Hollow Road
Buchanan, VA 24066

Photographed:
April 29, 2015

Verizon Wireless - Penn Hollow Site Photosimulations Key Map





Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Penn Hollow Rd
View from the South
Showing the Balloon Fly

NBICTM
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Penn Hollow Rd
View from the South
Showing the Proposed Site

NB+C
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Penn Hollow Rd & 43
View from the Northeast
Showing the Balloon Fly

NBICTM
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Penn Hollow Rd & 43
View from the Northeast
Showing the Proposed Site

NBIC
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Meryls Rd #1
View from the Northeast
Showing the Balloon Fly

NBIC
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Meryls Rd #1
View from the Northeast
Showing the Proposed Site

NBC
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Meryls Rd #2
View from the Northeast
Showing the Balloon Fly

NBIC
TOTALLY COMMITTED



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Meryls Rd #2
View from the Northeast
Showing the Proposed Site





Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
River Rd
View from the West
SITE NOT VISIBLE

NBIC
TOTALLY COMMITTED



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Hwy 43
View from the North
SITE NOT VISIBLE





Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Perry Ln
View from the South
SITE NOT VISIBLE

NBIC
TOTALLY COMMITTED.



Site Name: VZW Penn Hollow
Wireless Communications Facility
340 Penn Hollow Road
Buchanan, VA 24066

Photograph Information:
Long Ridge Ln
View from the East
SITE NOT VISIBLE

NBIC
TOTALLY COMMITTED.



PENN HOLLOW

340 PENN HOLLOW ROAD

BUCHANAN VA 24066

PROJECT DESCRIPTION
 INSTALLATION AND OPERATION OF ANTENNAS, TOWER, AND
 ASSOCIATED EQUIPMENT IN A PROPOSED WIRELESS COMPOUND
 LOCATED ON PRIVATE PROPERTY

DIRECTIONS TO SITE:

TAKE I-81 SOUTH TO BUCHANAN VIRGINIA EXIT 167. CONTINUE ON RT. 11 SOUTH INTO BUCHANAN VA AND TURN RIGHT ONTO RT.43N/1st STREET. CONTINUE ON RT. 43N/1st STREET FOR 4.5 MILES, TURN LEFT ONTO PENN HOLLOW ROAD FOR 0.3 MILES. SITE LOCATION ON RIGHT.

UTILITIES INFORMATION:
 POWER: AEP (800) 366-4357
 TELEPHONE: VERIZON (540) 254-3219
 NATURAL GAS: N/A

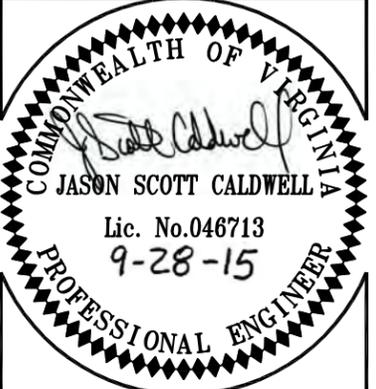
 2 WORKING DAYS BEFORE YOU DIG 811 TOLL FREE MISS UTILITY

EMERGENCY INFORMATION:
 LOCAL FIRE & EMERGENCY SERVICES (540) 473 2098
 LOCAL EMERGENCY POLICE DISPATCH (540) 473-8230

ADA COMPLIANCE:
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. SITE WILL NOT BE SERVED BY PUBLIC SEWER OR WATER.


 20 S. ROANOKE ST., PO BOX 619
 FINCASTLE, VIRGINIA 24090
 540.473.1253 FAX: 540.473.1254


 1831 RADY COURT
 RICHMOND, VA 23222

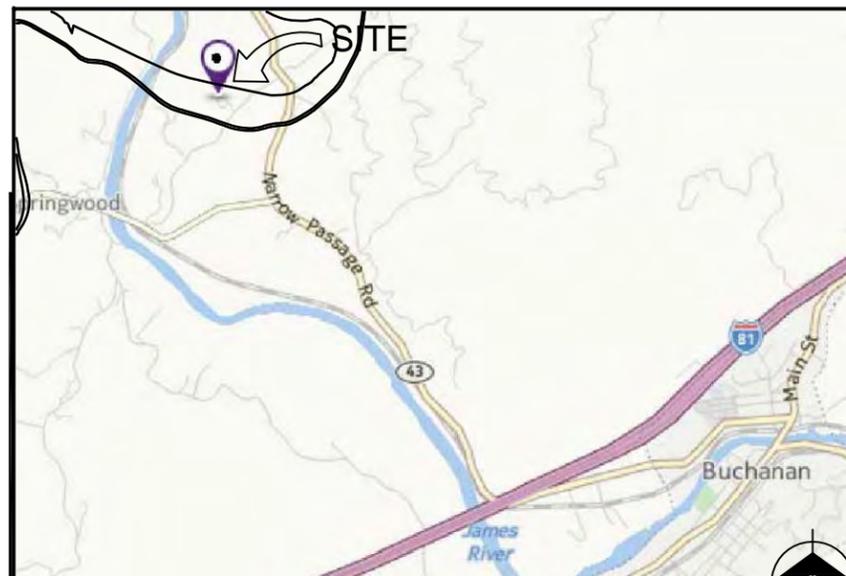


PROJECT TEAM:							
REAL ESTATE:	PHONE No.:						
ZONING:	PHONE No.:						
CONSTRUCTION:	PHONE No.:						
UTILITIES:	PHONE No.:						
ENVIRONMENTAL CONSULTANT:	PHONE No.:						
REV. NO.	DESCRIPTION	BY	DATE	REV. NO.	DESCRIPTION	BY	DATE
▲							



LOCAL MAP

SCALE: 1"=500'



VICINITY MAP

SCALE: 1"=5,000'



A&E CONSULTING TEAM

ARCHITECTURE AND ENGINEERING:
 ENGINEERING CONCEPTS, INC.
 20 S. ROANOKE STREET
 FINCASTLE, VA 24090 (540) 473-1253

LAND SURVEYOR:
 ENGINEERING CONCEPTS, INC.
 20 S. ROANOKE STREET
 FINCASTLE, VA 24090 (540) 473-1253

GEOTECHNICAL:
 TBD

STRUCTURAL ENGINEERING:
 TBD

ELECTRICAL ENGINEERING:
 ENGINEERING CONCEPTS, INC.
 20 S. ROANOKE STREET
 FINCASTLE, VA 24090 (540) 473-1253

CONCEALMENT:
 N/A

PROJECT SUMMARY

PROPERTY OWNER: JULIE H. SIMMONS
TOWER OWNER: N/A

PROJECT INFORMATION:
SITE NAME: PENN HOLLOW
SITE ADDRESS: 340 PENN HOLLOW RD. BUCHANAN, VA 24066

APPLICANT INFORMATION:
 VERIZON WIRELESS
 1831 RADY COURT
 RICHMOND, VIRGINIA 23222

CONTACT:
 TELEPHONE:
 FAX NUMBER:

PROJECT DATA:
ZONING: A1 - AGRICULTURAL
TAX MAP #: 51-36A
DEED REFERENCE: N/A
ACREAGE: N/A
JURISDICTION: BOTETOURT COUNTY
SITE TYPE: RAW LAND
TOWER TYPE: MONOPOLE
TOWER HEIGHT: 199'
LEASE AREA: 5,625 SF (75'x75')
AREA OF DISTURBANCE: 29,598 SF
GEOGRAPHIC COORDINATES:
LATITUDE: N 37°33'15.35" (NAD 83)
LONGITUDE: W 79°44'00.26" (NAD 83)
ELEVATION: 987.9' (AMSL)
LOCATION CODE: 270823

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C-3	ACCESS GRADING PLAN
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C-13	SITE SIGNAGE PLAN
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SHEET TOTAL: 34

SITE INFO

PENN HOLLOW
RAW LAND

340 PENN HOLLOW ROAD
 BUCHANAN, VIRGINIA
 24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. **CN COMM. #**

SUBMITTALS

SYM.	DESCRIPTION	DATE
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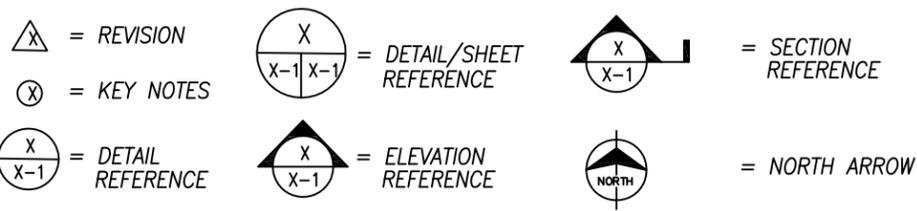
SHEET NAME:

TITLE SHEET

PROJECT No. 14032

SHEET NO.: **T-1**

1P, 2P, & 3P	SINGLE POLE, TWO POLE, & THREE POLES	MISC	MISCELLANEOUS
A/C	AIR CONDITIONING	MTD.	MOUNTED
ADJ.	ADJUSTABLE	NEUT.	NEUTRAL
AFF	ABOVE FINISH FLOOR	N	NORTH
A.M.S.L	ABOVE MEAN SEA LEVEL	NA	NOT APPLICABLE
APPROX.	APPROXIMATELY	NIC	NOT IN CONTRACT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NTS	NOT TO SCALE
AWG	AMERICAN WIRE GAUGE	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
A OR AMP.	AMPERE	OC, o/c	ON CENTER
BLDG.	BUILDING	OD	OUTSIDE DIAMETER
BLK.	BLOCK	OPP	OPPOSITE
CU.	COPPER	OHP	OVERHEAD POWER
C.B.	CIRCUIT BREAKER	OHT	OVERHEAD TELEPHONE
CKT.	CIRCUIT	PROP.	PROPOSED
CLG	CEILING	PIN (F)	PIN FOUND
CLR.	CLEAR	PIN (S)	PIN SET
CMP	CORRUGATED METAL PIPE	PVC.	SCHEDULE 40 PLASTIC CONDUIT
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONST.	CONSTRUCTION	PR	PAIR
CONT.	CONTINUOUS	PROJ	PROJECT
CPP	CORRUGATED PLASTIC PIPE	PROP	PROPERTY
C.F.C.I.	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	PT	PRESSURE TREATED
DBL	DOUBLE	RCP	ROUND CONCRETE PIPE
DIA.	DIAMETER	RECPT.	RECEPTACLE
DIAG.	DIAGONAL	REQ'D	REQUIRED
DIM.	DIMENSION	S	SOUTH
DN	DOWN	SW.	SWITCH
DTL, DETL	DETAIL	SHT	SHEET
DWG.	DRAWING	SIM.	SIMILAR
E	EAST	SPEC.	SPECIFICATION
EA.	EACH	SQ.	SQUARE
EL, ELEV	ELEVATION	SS	STAINLESS STEEL
ELECT	ELECTRICAL	STL.	STEEL
EQ.	EQUAL	STRUCT.	STRUCTURAL
EQUIP.	EQUIPMENT	SUSP.	SUSPENDED
E.W.	EACH WAY	THRU	THROUGH
E&S	EROSION AND SEDIMENT CONTROL	TNND	TINNED
EXIST./EX.	EXISTING	T.O.C.	TOP OF CONCRETE
EXT	EXTERIOR	T.O.M.	TOP OF MASONRY
FIN.	FINISH	TYP	TYPICAL
FLOUR.	FLUORESCENT	U.O.N.	UNLESS OTHERWISE NOTED
FLR	FLOOR	UBC	UNIFORM BUILDING CODE
FT.	FOOT	UGP	UNDERGROUND POWER
GRC.	GALVANIZED RIGID CONDUIT	UGT	UNDERGROUND TELEPHONE
G. OR GRD.	GROUND	VERT.	VERTICAL
GA.	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZE(D)	W	WEST
GC	GENERAL CONTRACTOR	W/	WITH
GWB	GYPSUM WALL BOARD	WIN	WINDOW
GYP. BD.	GYPSUM BOARD	W/O	WITHOUT
HORIZ.	HORIZONTAL	W.	WATTS
HR	HOUR	W.P.	WEATHERPROOF
HT.	HEIGHT	XFMR	TRANSFORMER
HVAC	HEATING, VENTING AND AIR CONDITIONING		
I.D.	INSIDE DIA.	∠	ANGLE
IN.	INCH	&	AND
INFO	INFORMATION	⊕	CENTER LINE
INSUL	INSULATION	ℙ	PROPERTY LINE
INT.	INTERIOR	@	AT
KW	KILOWATTS	#	NUMBER
LB(S)	POUND(S)		
MAX.	MAXIMUM		
MECH	MECHANICAL		
MET, MTL	METAL		
MFR.	MANUFACTURER		
MGR	MANAGER		
MIN.	MINIMUM		



ABBREVIATIONS & SYMBOLS LIST

- ⊕ = TEMPORARY GRAVEL
- ⊕ = CONSTRUCTION ENTRANCE
- ⊕ = CULVERT INLET PROTECTION
- ⊕ = MULCHING
- ⊕ = PERMANENT SEEDING
- ⊕ = SILT FENCE
- ⊕ = TEMPORARY SEEDING

LEGEND

EXISTING	NEW	
CONC		CONCRETE
---	---	DEED LINES
---	---	SURVEYED LINE
---	---	LEASE AREA
---	---	EASEMENT
∅ P/P		BUILDING (FOOTPRINT)
□		POWER POLE
OHE		TELEPHONE/FIBEROPTIC PEDESTAL
---	---	OVERHEAD ELECTRIC
---	---	INTERMEDIATE CONTOURS
---10---	---	INDEX CONTOURS
-X-X-X-	-X-X-X-	FENCE
		TEMPORARY BENCHMARK
		GRAVEL
~~~~~	~~~~~	TREELINE
		TREE
	⊙	GROUND ROD
	■	CADWELD TYPE CONNECTION
	●	COMPRESSION TYPE CONNECTION
	---	GROUNDING WIRE
	---UE---	UNDERGROUND ELECTRICAL
		ICE BRIDGE

**CODE COMPLIANCE**

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

1. 2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE
2. 2009 INTERNATIONAL BUILDING CODE
3. 2009 INTERNATIONAL MECHANICAL CODE
4. ANSI/EIA-222-G LIFE SAFETY CODE
5. 2009 INTERNATIONAL RESIDENTIAL CODE
6. CITY AND/OR COUNTY ORDINANCES
7. 2009 INTERNATIONAL PLUMBING CODE
8. NFPA 70 2008
9. 2009 INTERNATIONAL FUEL GAS CODE
10. LOCAL BUILDING CODE(S)



20 S. ROANOKE ST., PO BOX 619  
FINCASTLE, VIRGINIA 24090  
540.473.1253 FAX: 540.473.1254



**SITE INFO**  
**PENN HOLLOW**  
**RAW LAND**  
 340 PENN HOLLOW ROAD  
 BUCHANAN, VIRGINIA  
 24066  
 BOTETOURT COUNTY

DESIGN: MSM
DRAWN: MSM
REVIEW: JSC
TTV DATE:
COMM. NO.          CN COMM. #

SUBMITTALS		
SYM.	DESCRIPTION	DATE
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SHEET NAME:  
**LEGEND AND ABBREVIATIONS**  
 PROJECT No. 14032  
 SHEET NO.: **T-2**

TAX MAP NUMBER: 51-36 & 51-36A

CURRENT OWNER OF RECORD: JULIE H. SIMMONS

LEGAL REFERENCE: INSTRUMENT #140002311  
DEED BOOK 270, PAGE 187

TITLE REPORT FURNISHED; ISSUED BY OLD REPUBLIC TITLE  
RESIDENTIAL INFORMATION SERVICES, ORT NUMBER 01-14029495-01S,  
EXAMINATION PERIOD THROUGH APRIL 14, 2014.

THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES,  
ABOVEGROUND STRUCTURES, AND/OR UTILITIES BELIEVED TO EXIST  
IN THE WORKING AREA, EXACT LOCATIONS OF WHICH MAY VARY  
FROM LOCATIONS INDICATED. THE CONTRACTOR IS WARNED THAT  
THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES,  
SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY OR  
MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE  
CONTRACTOR TO CONTACT MISS UTILITY PRIOR TO CONSTRUCTION.

PROPERTY LINES AS SHOWN HEREON ARE BASED ON MONUMENTS  
NOTED AS FOUND AND DEEDS/PLATS OF RECORD. THIS PLAT IS  
BASED ON A PARTIAL FIELD SURVEY AND RECORD INFORMATION.

FLOOD INFORMATION: BY GRAPHIC PLOTTING ONLY, THE SUBJECT  
LAND SPACE IS LOCATED WITHIN ZONE X OF THE FEDERAL  
EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE  
PROGRAM, FIRM FLOOD INSURANCE RATE MAP, BOTETOURT COUNTY,  
VIRGINIA AND INCORPORATED AREAS, PANEL 265 OF 490, MAP  
NUMBER 51023C0265C, EFFECTIVE DATE: DECEMBER 17, 2010.

EXCEPT AS STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES  
NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY  
BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER  
THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF  
THE MAKING OF THIS SURVEY OR AS PROVIDED BY THE CLIENT;  
RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; OR OTHER  
LAND-USE REGULATIONS.

THE SURVEYOR, BY HIS LICENSURE AS A LAND SURVEYOR, IS NOT  
QUALIFIED TO REPRESENT THE LAND USE OF A PARCEL AS MAY  
BE DEFINED BY COUNTY ZONING. THUS, THE LAND USE IF SHOWN  
IS BASED ON THE OPINION OF THE SURVEYOR ON THE DATE OF  
THE SURVEY BASED ON OBSERVATIONS IN THE IMMEDIATE AREA OF  
THE PROPOSED LEASE.

DESCRIPTION OF NEW 20' WIDE INGRESS/EGRESS & UTILITY EASEMENT

BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF TAX PARCEL  
51-36A (P.O.B. 1) SAID P.O.B. ALSO BEING ON THE CENTERLINE OF  
THE RIGHT-OF-WAY FOR PENN HOLLOW ROAD, STATE ROUTE 631,  
FROM WHICH THE SOUTHWESTERLY CORNER OF SAID TAX PARCEL  
51-36A BEARS S 68°27'58" W 24.68 FEET, SAID POINT ALSO BEING  
THE SOUTHEASTERLY CORNER OF TAX PARCEL 51-35;

THENCE LEAVING SAID BEGINNING POINT AND WITHIN TAX PARCEL  
51-36A, ALONG THE CENTERLINE OF THE NEW 20 FOOT WIDE  
INGRESS/EGRESS AND UTILITY EASEMENT, THE FOLLOWING COURSES  
AND DISTANCES;

N 11°16'11" W 52.02 FEET TO A POINT; N 18°50'15" E 29.00 FEET TO  
A POINT; N 10°57'38" W 86.55 FEET TO THE BC OF A CURVE TO THE  
RIGHT HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF  
27°21'03" AND A CHORD BEARING OF N 2°42'54" E AND DISTANCE OF  
47.28 FEET; THENCE LEAVING SAID CURVE ALONG THE TANGENT  
BEARING N 16°23'35" E TO THE BC OF A CURVE TO THE RIGHT HAVING  
A RADIUS OF 250.00 FEET, A CENTRAL ANGLE OF 23°27'22" AND A  
CHORD BEARING OF N 28°07'06" E AND DISTANCE OF 101.63 FEET;  
THENCE LEAVING SAID CURVE ALONG THE TANGENT BEARING N  
39°50'47" E 219.58 FEET TO A POINT BEING THE TERMINUS OF SAID  
EASEMENT.

DESCRIPTION OF NEW LESSEE 75' X 75' LAND SPACE

BEGINNING AT A POINT WITHIN TAX PARCEL 51-36A  
(P.O.B. 2) AT THE SOUTHEASTERLY CORNER OF THE  
NEW LESSEE LAND SPACE, FROM WHICH THE TERMINUS  
OF THE NEW 20 FOOT WIDE INGRESS/EGRESS AND  
UTILITY EASEMENT BEARS S 50°09'13" E 10.00 FEET;

THENCE LEAVING SAID BEGINNING POINT AND WITHIN  
SAID TAX PARCEL 51-36A, THE FOLLOWING COURSES  
AND DISTANCES;

S 39°50'47" W 75.00 FEET TO A POINT;  
N 50°09'13" W 75.00 FEET TO A POINT FROM WHICH  
A 1/2 INCH REBAR FOUND AT THE SOUTHEASTERLY  
CORNER OF TAX PARCEL 51-30A BEARS N 48°56'13" W  
655.68 FEET, SAID 1/2 INCH REBAR FOUND ALSO BEING  
THE NORTHEASTERN CORNER OF TAX PARCEL 51-30.

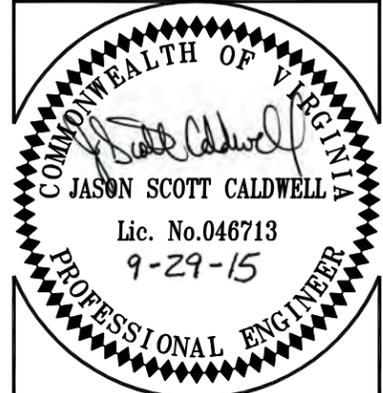
THENCE N 39°50'47" E 75.00 FEET TO A POINT;  
S 50°09'13" E 75.00 FEET TO THE POINT AND PLACE  
OF BEGINNING, CONTAINING 0.129 ACRE.

PLAT FOR  
VERIZON WIRELESS  
FROM PARTIAL FIELD SURVEY  
AND FROM RECORDS  
PENN HOLLOW RAW LAND SITE  
TAX MAP NUMBER 51-36 & 51-36A  
PROPERTY OF JULIE H. SIMMONS  
SITUATED OFF OF PENN HOLLOW ROAD (ROUTE 631)  
FINCASTLE DISTRICT  
BOTETOURT COUNTY, VIRGINIA  
SURVEYED APRIL 14, 2014  
E.C.I. PROJECT NUMBER 14032



20 S. ROANOKE ST., PO BOX 619  
FINCASTLE, VIRGINIA 24090  
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verizon wireless  
1831 RADY COURT  
RICHMOND, VA 23222



SITE INFO  
**PENN HOLLOW  
RAW LAND SITE**  
  
340 PENN HOLLOW ROAD  
BUCHANAN, VA  
24066  
  
BOTETOURT COUNTY

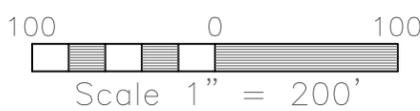
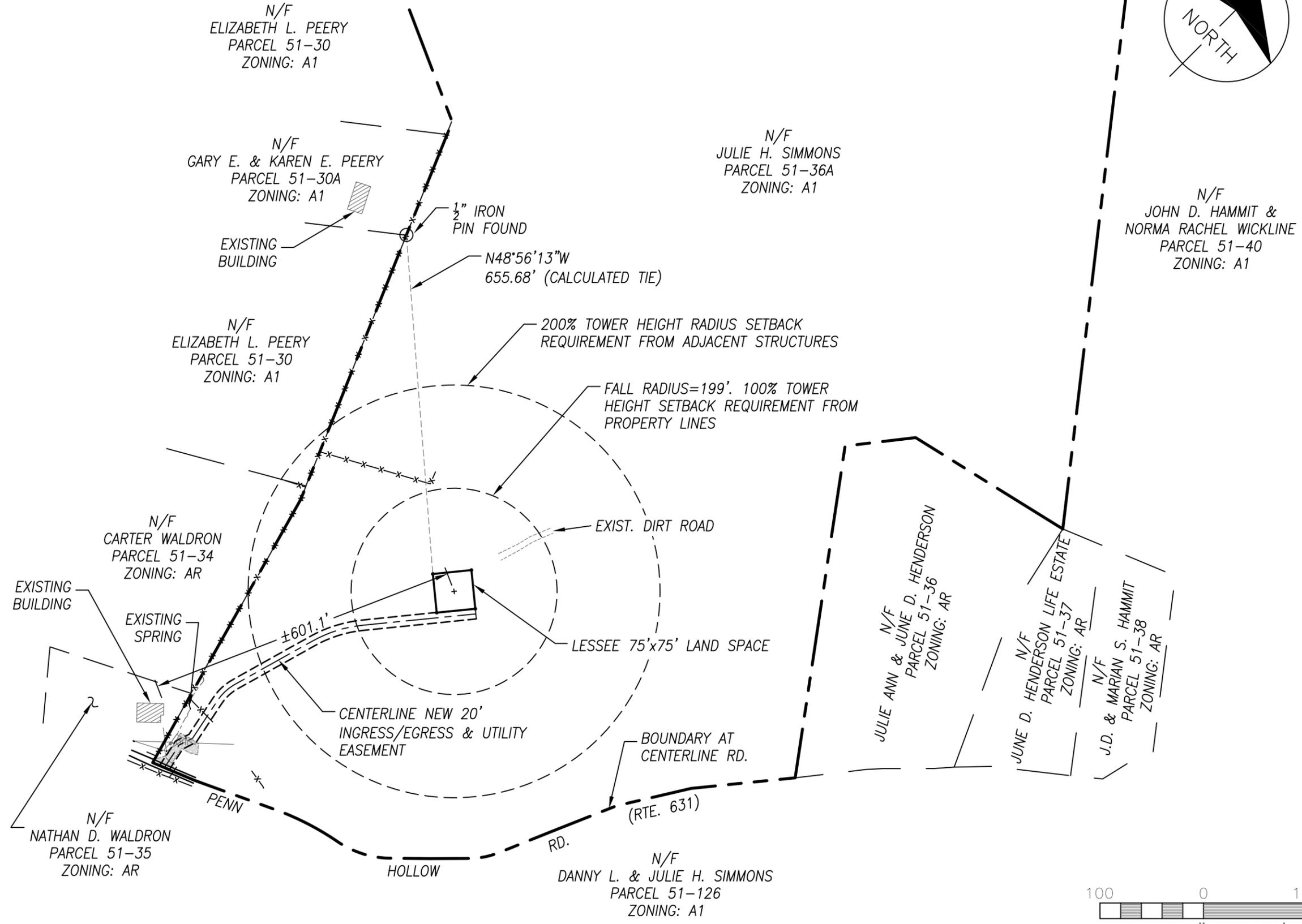
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REVIEW: JSC  
TTV DATE:  
COMM. NO. CN COMM. #

SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	LEASE & UTILITY EASEMENT	9-29-15
△		
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△		

SHEET NAME:  
**SURVEY NOTES**  
  
PROJECT NO. 14032

SHEET NO.:  
**SV-1**

NOTE: BOUNDARY COMPILED FROM SURVEY DATA AND AVAILABLE GIS RECORD DATA

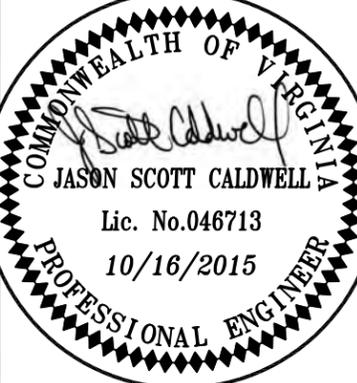




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**SUBMITTALS**

SYM.	DESCRIPTION	DATE
▲	LEASE & UTILITY EASEMENT	9-29-15
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SHEET NAME:

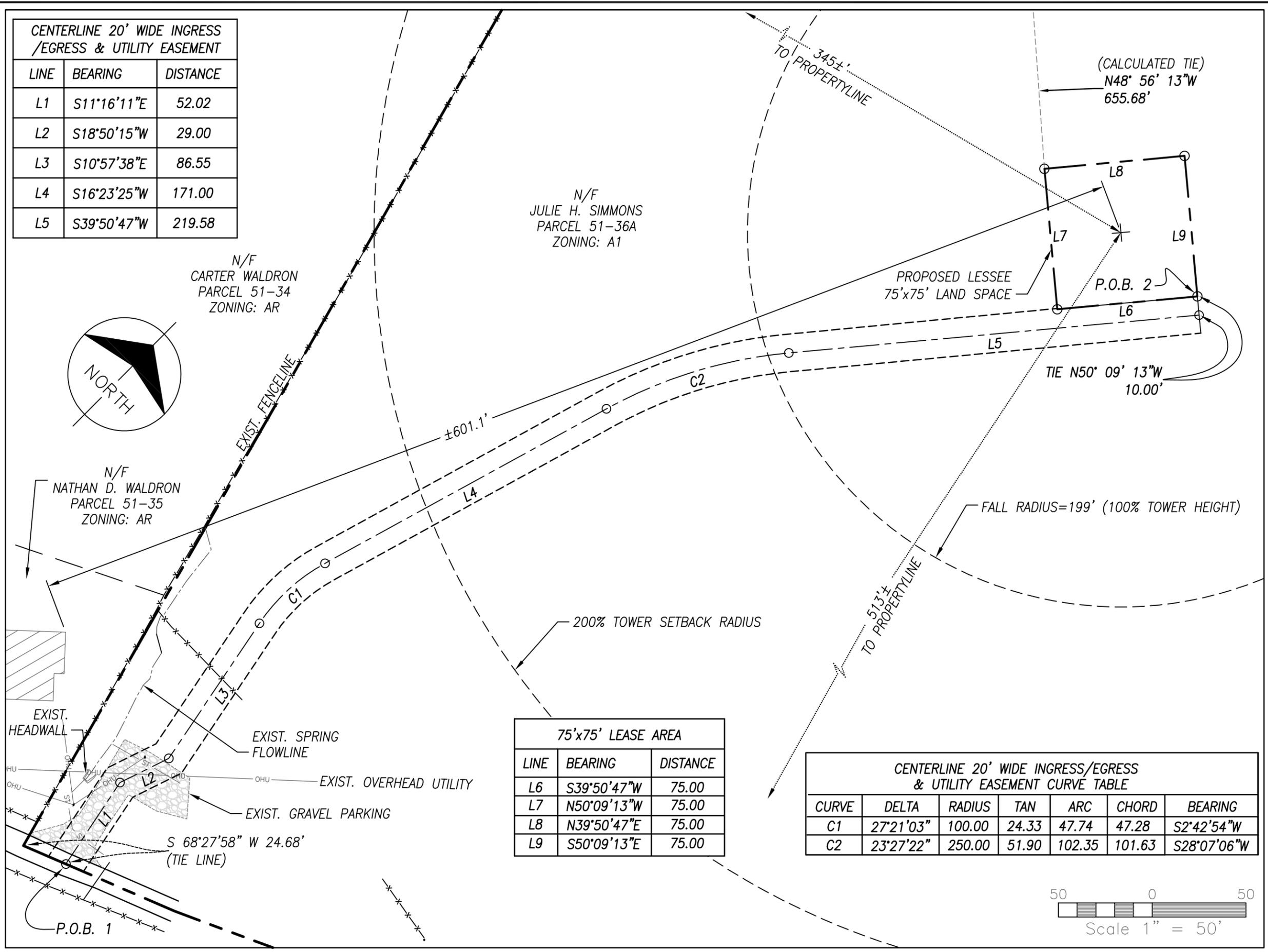
**SITE OVERVIEW**

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PROJECT NO. 14032

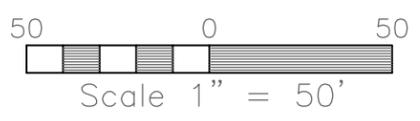
SHEET NO.: **SV-2**

CENTERLINE 20' WIDE INGRESS / EGRESS & UTILITY EASEMENT		
LINE	BEARING	DISTANCE
L1	S11°16'11"E	52.02
L2	S18°50'15"W	29.00
L3	S10°57'38"E	86.55
L4	S16°23'25"W	171.00
L5	S39°50'47"W	219.58



75'x75' LEASE AREA		
LINE	BEARING	DISTANCE
L6	S39°50'47"W	75.00
L7	N50°09'13"W	75.00
L8	N39°50'47"E	75.00
L9	S50°09'13"E	75.00

CENTERLINE 20' WIDE INGRESS/EGRESS & UTILITY EASEMENT CURVE TABLE						
CURVE	DELTA	RADIUS	TAN	ARC	CHORD	BEARING
C1	27°21'03"	100.00	24.33	47.74	47.28	S2°42'54"W
C2	23°27'22"	250.00	51.90	102.35	101.63	S28°07'06"W



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SUBMITTALS		
SYM.	DESCRIPTION	DATE
△	LEASE & UTILITY EASEMENT	9-29-15
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SHEET NAME:  
**SITE SURVEY**  
 PROJECT NO. 14032  
 SHEET NO.:  
**SV-3**

**CONDUIT SCHEDULE**

- ① 1" CONDUIT
- ② 2" CONDUIT
- ③ 3" CONDUIT

NOTE: ALL CONDUITS SHALL BE FITTED WITH TRACER WIRE AND PULL-STRINGS.

PROPOSED 75'x75' FENCED & GRAVEL COMPOUND

PROPOSED 75'x75' LEASE AREA

PROPOSED 10' LANDSCAPING BUFFER

PROPOSED TREES (SEE LANDSCAPING PLAN)

PROPOSED 7'x15' VERIZON EQUIPMENT PLATFORM

PROPOSED 4'x8' CONCRETE GENERATOR PAD

PROPOSED 195' MONOPOLE STRUCTURE

PROPOSED 2.0' ICE BRIDGE

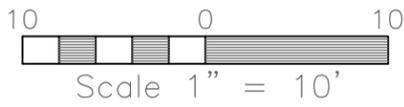
PROPOSED VERIZON CABINET H-FRAME

PROPOSED H-FRAME

PROPOSED 12' WIDE GRAVEL ACCESS ROAD

PROPOSED 12' ENTRANCE GATE

PROPOSED 20' INGRESS/EGRESS & UTILITY EASEMENT



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**SITE INFO**

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340 PENN HOLLOW ROAD  
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BOTETOURT COUNTY

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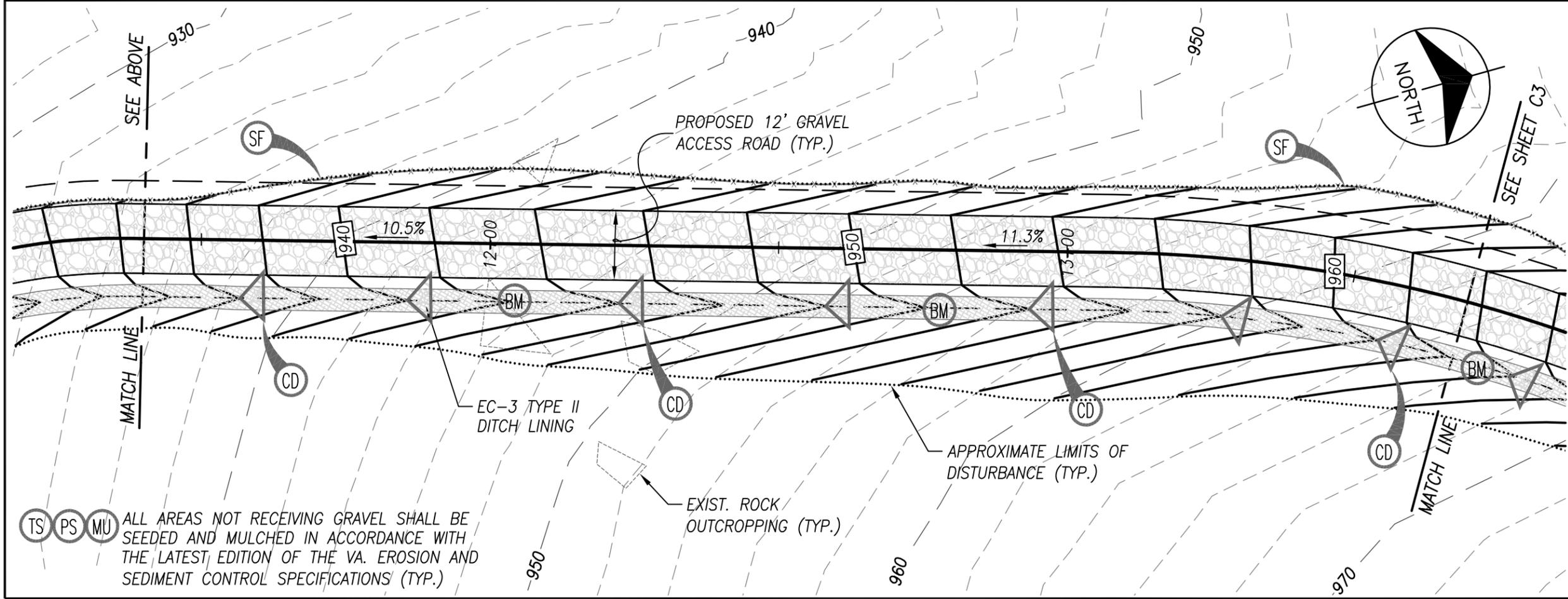
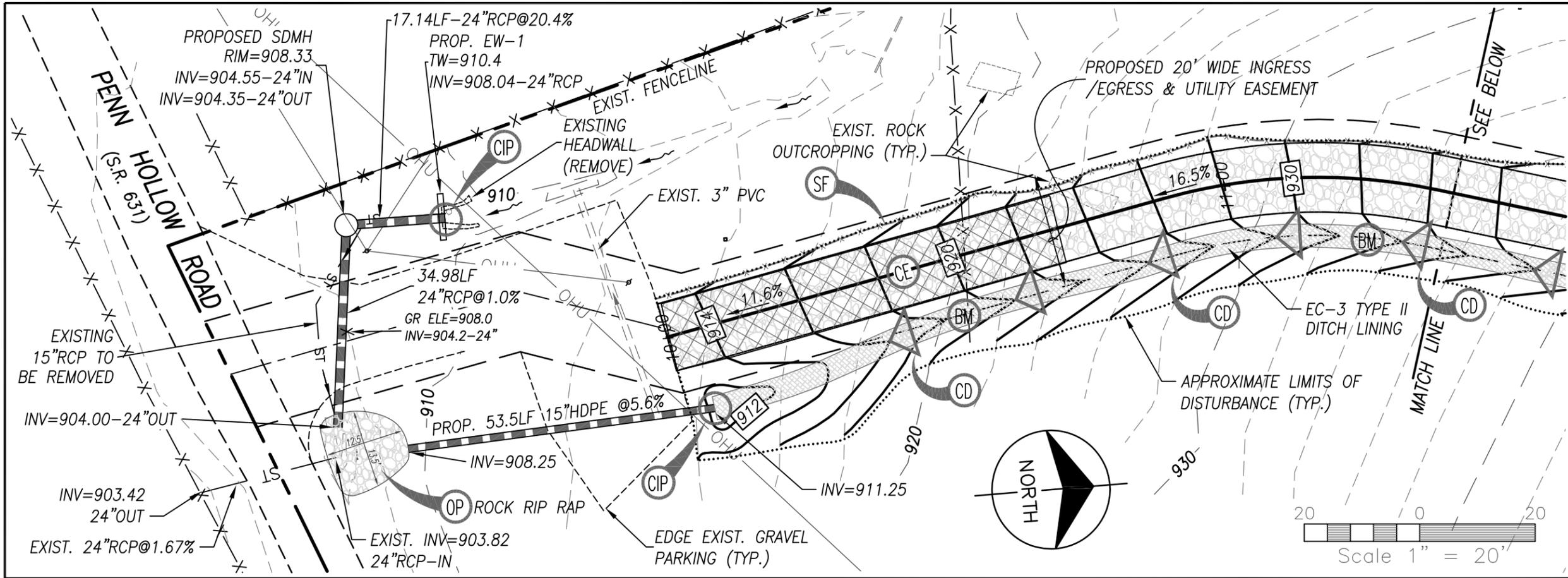
SHEET NAME:

**SITE DIMENSIONAL  
PLAN**

PROJECT No. 14032

SHEET NO.:

**C-1**



TS PS MU ALL AREAS NOT RECEIVING GRAVEL SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE LATEST EDITION OF THE VA. EROSION AND SEDIMENT CONTROL SPECIFICATIONS (TYP.)

  
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COMMONWEALTH OF VIRGINIA  
JASON SCOTT CALDWELL  
Lic. No.046713  
9-28-15  
PROFESSIONAL ENGINEER

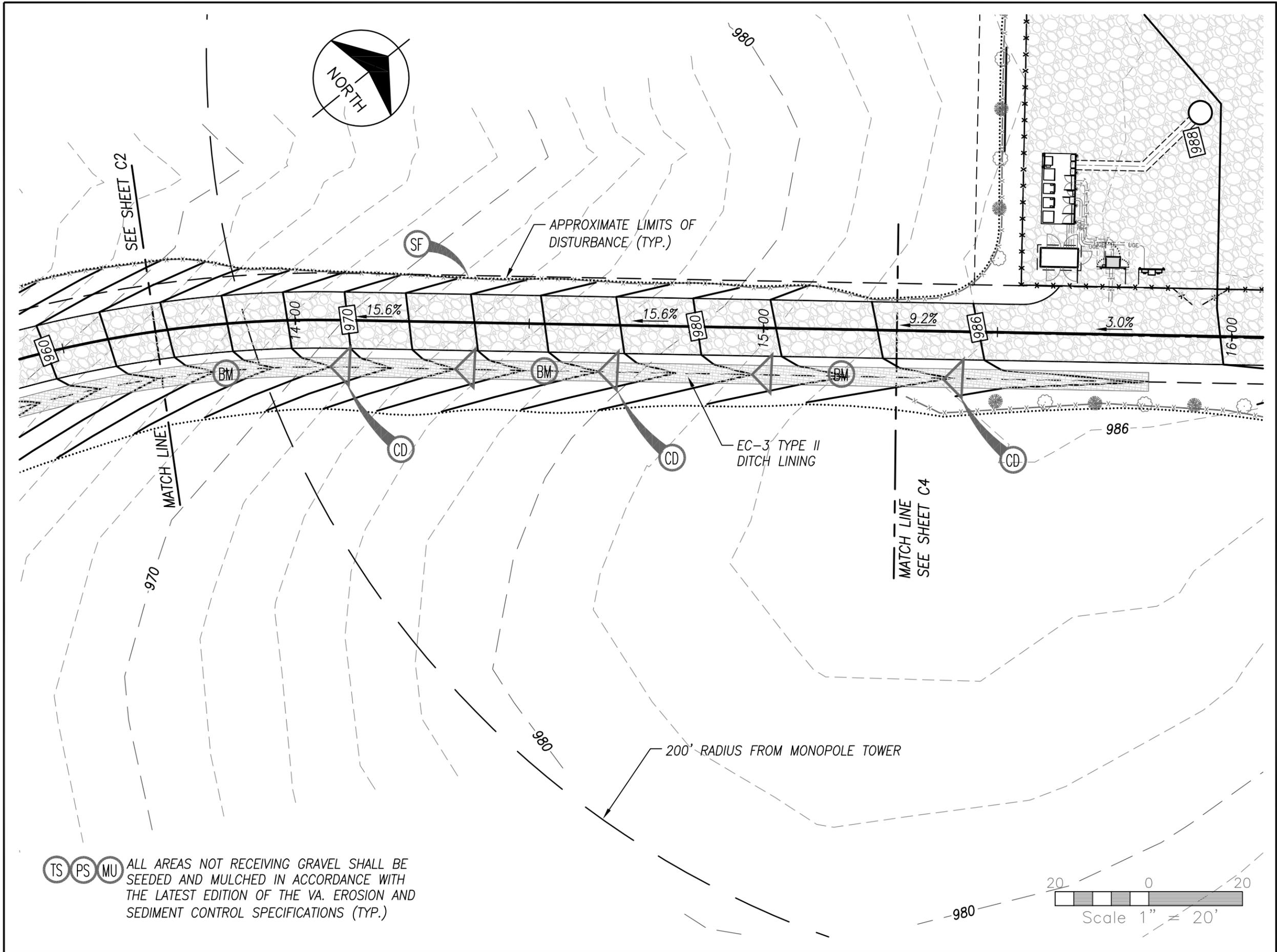
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SUBMITTALS

SYM.	DESCRIPTION	DATE
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SHEET NAME:  
**ACCESS GRADING  
PLAN**  
PROJECT No. 14032  
SHEET NO.:  
**C-2**



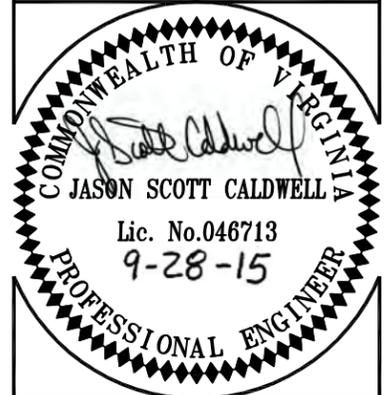
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**verizon**wireless

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SHEET NAME:

**ACCESS GRADING  
PLAN**

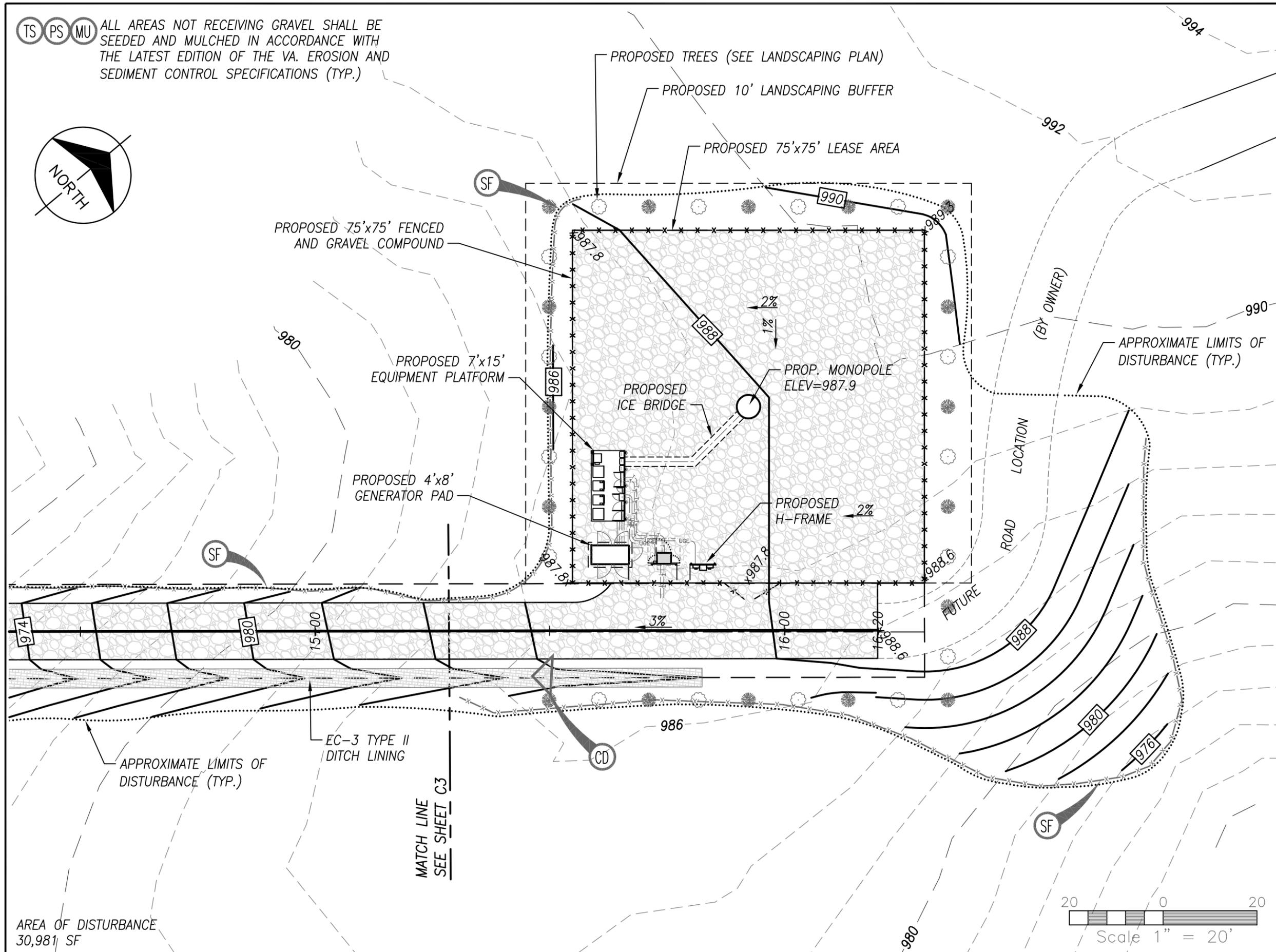
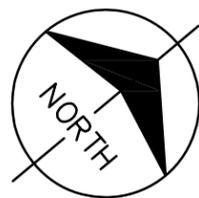
PROJECT No. 14032

SHEET NO.:

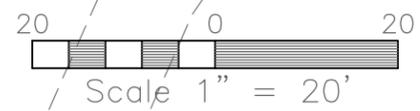
**C-3**

TS PS MU

ALL AREAS NOT RECEIVING GRAVEL SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE LATEST EDITION OF THE VA. EROSION AND SEDIMENT CONTROL SPECIFICATIONS (TYP.)



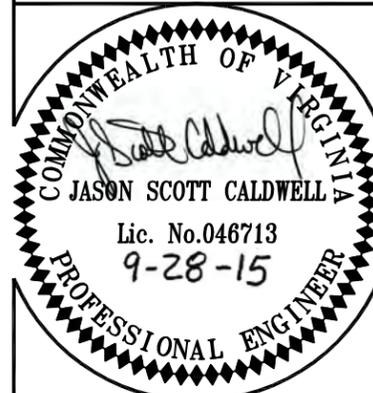
AREA OF DISTURBANCE  
30,981 SF



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1831 RADY COURT  
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SITE INFO

**PENN HOLLOW  
RAW LAND**

340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. CN COMM. #

SUBMITTALS

SYM.	DESCRIPTION	DATE
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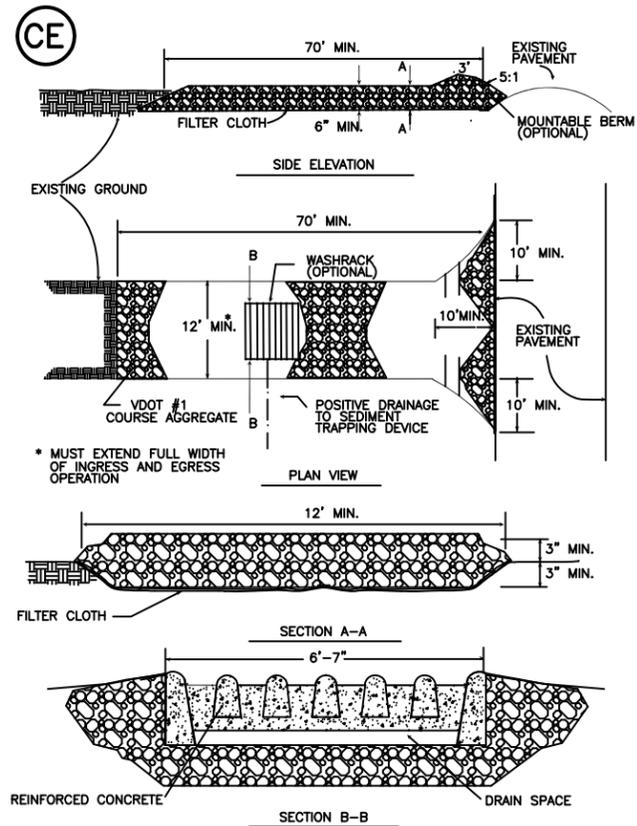
**COMPOUND  
GRADING PLAN**

PROJECT No. 14032

SHEET NO.:

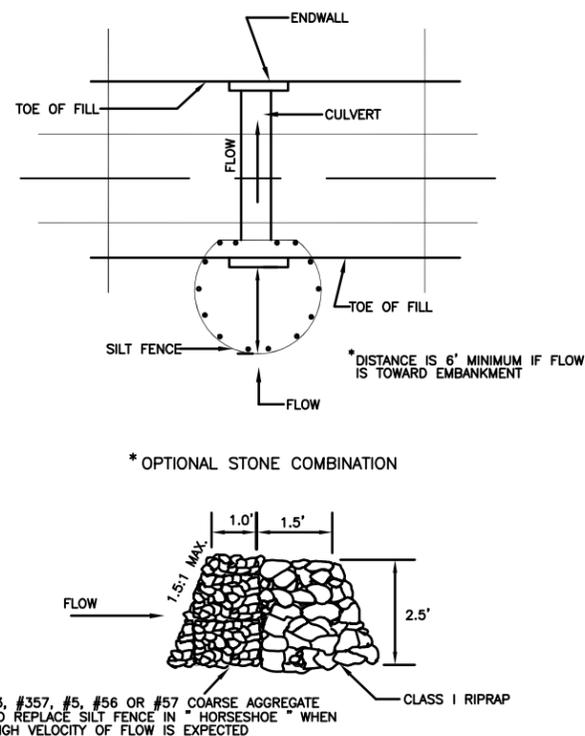
**C-4**

### STONE CONSTRUCTION ENTRANCE



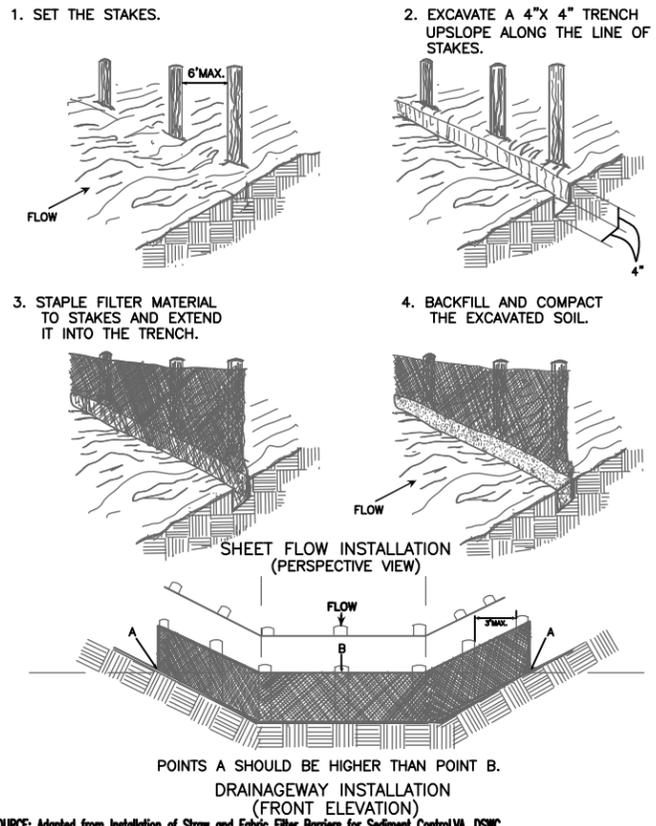
SOURCE: ADAPTED FROM 1983 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND VA. DSWC PLATE 3.02-1

### SILT FENCE CULVERT INLET PROTECTION



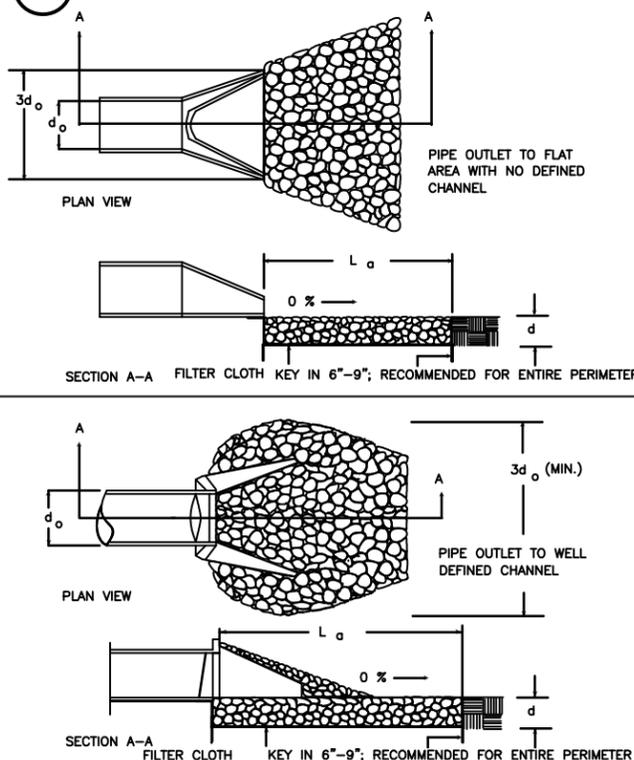
SOURCE: ADAPTED FROM VDOT STANDARD SHEETS AND VA. DSWC PLATE 3.08-1

### CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SOURCE: ADAPTED FROM INSTALLATION OF STRAW AND FABRIC FILTER BARRIERS FOR SEDIMENT CONTROL, VA. DSWC SHERWOOD AND WYANT PLATE 3.05-2

### PIPE OUTLET CONDITIONS



NOTES: 1. APRON LINING MAY BE RIPRAP, GROUDED RIPRAP, GABION BASKET, OR CONCRETE. 2. L_o IS THE LENGTH OF THE RIPRAP APRON AS CALCULATED USING PLATES 3.18-3 AND 3.18-4. 3. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER, BUT NOT LESS THAN 6 INCHES.

Source: Va. DSWC Plate 3.18-1

### TEMPORARY SEEDING MIXTURE

DESCRIPTION	% BY WEIGHT
<b>TEMPORARY SEEDING</b>	
ANNUAL RYE GRASS	100
RATE; 2 POUNDS PER 1000 SQUARE FEET	
ROWING DATES; FEBRUARY 16 TO APRIL 30	
<b>ANNUAL RYE GRASS/ WINTER RYE MIX</b>	
ANNUAL RYE	50
WINTER RYE	50
RATE; 2 POUNDS PER 1000 SQUARE FEET	
SOWING DATES; SEPTEMBER 1 TO FEBRUARY 15	
<b>GERMAN MILLET</b>	
RATE; 1 POUND PER 1000 SQUARE FEET	
SOWING DATES; MAY 1 TO AUGUST 31	

### PERMANENT SEEDING MIXTURE

TYPE A	TYPE B (SLOPES 3:1 OR STEEPER)
15 OCTOBER TO 1 FEBRUARY	15 MARCH TO 1 MAY
K-31 FESCUE @ 5 LB / 1000 SF	CROWN VETCH @ 1/2 LB / 1000 SF
BORZY WINTER RYE @ 1/2 LB / 1000 SF	PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF
	RED TOP @ 1/8 LB / 1000 SF
1 FEBRUARY TO 1 JUNE	15 AUGUST TO 1 OCTOBER
K-31 FESCUE @ 5 LB / 1000 SF	CROWN VETCH @ 1/2 LB / 1000 SF
ANNUAL RYE @ 1/2 LB / 1000 SF	PERENNIAL RYEGRASS @ 1/2 LB / 1000 SF
	RED TOP @ 1/8 LB / 1000 SF

1 JUNE TO 1 SEPTEMBER  
K-31 FESCUE @ 5 LB / 1000 SF  
GERMAN MILLET @ 1/2 LB / 1000 SF

1 SEPTEMBER TO 15 OCTOBER  
K-31 FESCUE @ 5 LB / 1000 SF  
ANNUAL RYE @ 1/2 LB / 1000 SF

LIME: 140 LB / 1000 SF PULVERIZED AGRICULTURAL LIMESTONE

FERTILIZER: 5-20-10 @ 25 LB / 1000 SF  
38-0-0 @ 7 LB / 1000 SF

MULCH: IF REQUIRED, SHALL BE USED OVER ALL SEEDING AREAS AND SHALL BE APPLIED IN ACCORDANCE WITH SECTION 1.75 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

SOIL CONDITIONING: INCORPORATION OF LIME AND FERTILIZER, SELECTION OF CERTIFIED SEED, MULCHING, MAINTENANCE OF NEW SEEDLINGS, AND RESEEDING SHALL BE IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. ADDITIONAL SEEDING TO BE PERFORMED AS REQUIRED BY THE INSPECTOR.

SEED APPLICATION: APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER ON A FIRM, FIRMIABLE, SEEDBED. MAXIMUM SEEDING DEPTH SHALL BE 1/4 INCH.



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SITE INFO  
**PENN HOLLOW  
RAW LAND**  
340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066  
BOTETOURT COUNTY

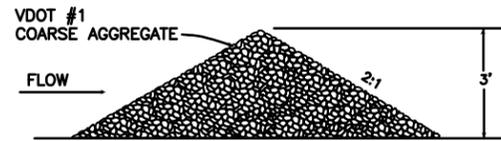
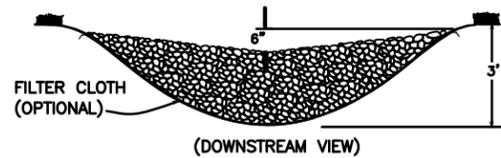
DESIGN: MSM  
DRAWN: MSM  
REVIEW: JSC  
TTV DATE:  
COMM. NO. CN COMM. #

SUBMITTALS		
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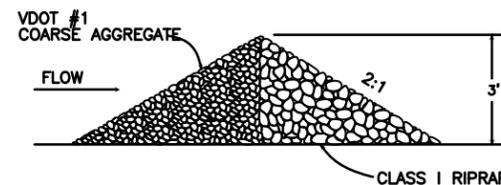
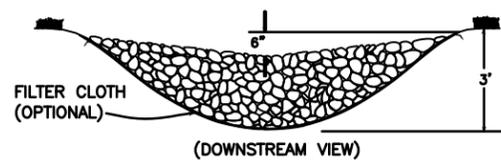
SHEET NAME:  
**EROSION  
CONTROL DETAILS**  
PROJECT No. 14032  
SHEET NO.:  
**C-5**

**CD ROCK CHECK DAM**

2 ACRES OR LESS OF DRAINAGE AREA:



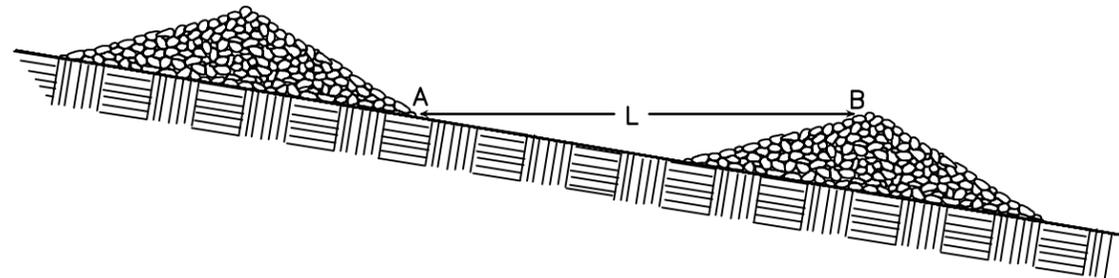
2-10 ACRES OF DRAINAGE AREA:



SOURCE: VA. DSWC PLATE. 3.20-1

**CD SPACING BETWEEN CHECK DAMS**

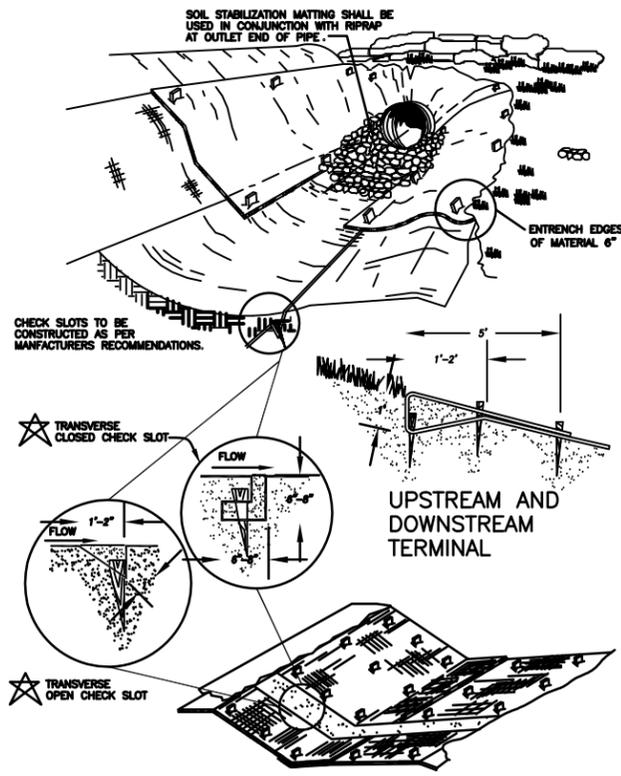
L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION



SOURCE: VA. DSWC

PLATE. 3.20-2

**BM TYPICAL TREATMENT-2 SOIL STABILIZATION MATTING INSTALLATION**



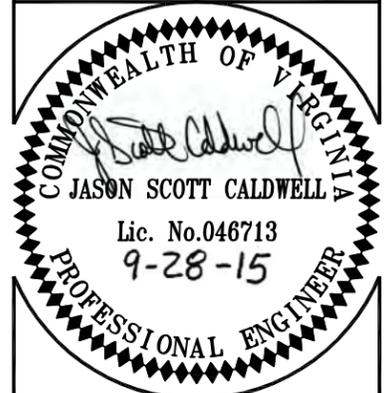
SOURCE: VDOT ROAD AND BRIDGE STANDARDS PLATE: 3.36-4



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SITE INFO

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RAW LAND**

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24066

BOTETOURT COUNTY

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SUBMITTALS

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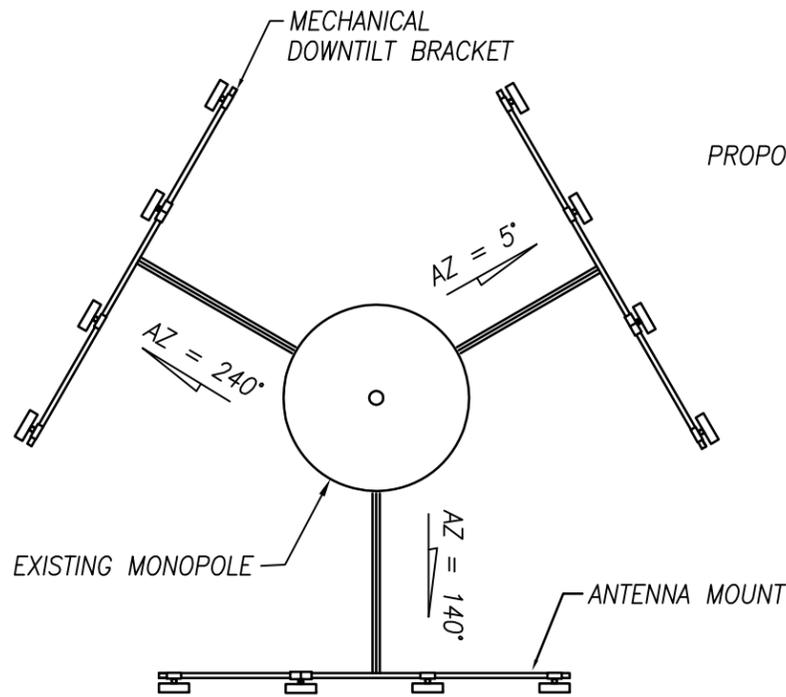
SHEET NAME:

**EROSION  
CONTROL DETAILS**

PROJECT No. 14032

SHEET NO.:

**C-6**



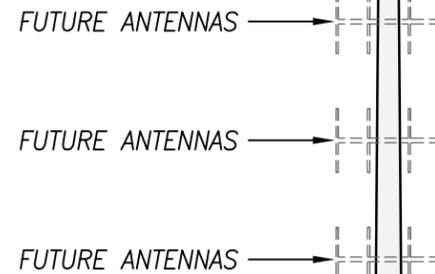
**DETAIL: ANTENNA SECTOR MOUNT ORIENTATION**

NOT TO SCALE

NOTE: PROPOSED MOUNT AND STRUCTURAL DETAILS BY TOWER MANUFACTURER

PROPOSED VERIZON RAD CENTER 194' AGL 1181.9 (AMSL)

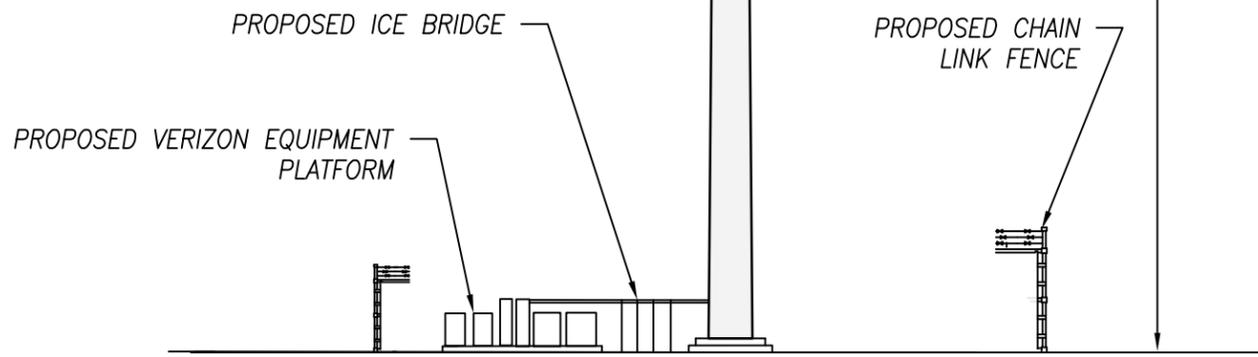
LIGHTNING ROD AT 199' (AGL) ELEV.1186.9 (AMSL)



DRAWING FOR REPRESENTATIONAL PURPOSES ONLY!

199' TOTAL STRUCTURE HEIGHT

STRUCTURE HEIGHT 195'



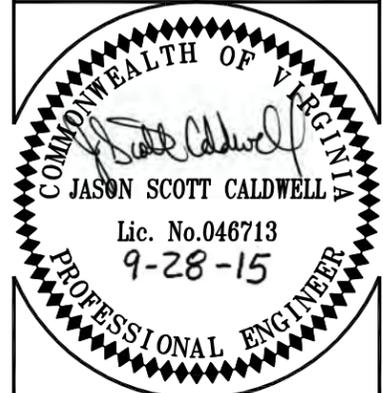
**ELEVATION VIEW** GROUND ELEVATION 987.9 (AMSL)

(NOT TO SCALE)

1. GENERAL CONTRACTOR AND/OR TOWER CREW TO VERIFY ALL MOUNTING HEIGHTS, AZIMUTHS AND ANTENNA AND LINE INFORMATION WITH VZW CONSTRUCTION MANAGER PRIOR TO STARTING.
2. ALL ANTENNAS TO BE FURNISHED WITH DOWNTILT BRACKETS. CONTRACTOR TO SET REQUIRED MECHANICAL DOWNTILT FOR EACH ANTENNA AS PER RF WORKSHEET.
3. ANTENNA CENTERLINE: HEIGHT IS ABOVE GROUND LEVEL (AGL).
4. CONTRACTOR SHALL VERIFY ANTENNA TYPE AND AZIMUTH WITH CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
5. ALL PERSONNEL WORKING ON THE TOWER MUST COMPLY WITH VERIZON'S RF EMISSIONS GUIDELINE POLICY.
6. COLOR CODE: ALPHA=BROWN (B), BETA=ORANGE (O), GAMMA=YELLOW (Y); TXO=GREEN (GN), TX1=GREY (GR), RXO=WHITE (WH), RX1=BLUE (BL). TAPE TO BE PLACED FROM THE CONNECTOR OUT.
7. FOLLOW VERIZON PLATFORM LAYOUT FOR PROPER COLOR CODING.
8. COAXIAL CABLE LENGTH TO BE FIELD VERIFIED.



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RAW LAND**  
  
340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066  
  
BOTETOURT COUNTY

DESIGN: MSM  
DRAWN: MSM  
REVIEW: JSC  
TTV DATE:  
COMM. NO. CN COMM. #

**SUBMITTALS**

SYM.	DESCRIPTION	DATE
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SHEET NAME:  
**TOWER  
ELEVATION**

PROJECT No. 14032  
SHEET NO.:  
**C-7**

**SPECIAL REQUIREMENTS**

1. ALL WIRE, FABRIC, FITTINGS, HARDWARE AND STEEL MEMBERS USED FOR SITE AREA FENCING, GUY ANCHOR FENCING AND ACCESS ROAD GATES SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED NON-CORROSIVE MATERIAL.
2. ALL NON-CORROSIVE MATERIAL SHALL BE APPROVED BY THE PROJECT MANAGER.
3. ANY DAMAGE TO GALVANIZING OR NON-CORROSIVE COATING DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS.

**FENCE POSTS**

1. LOCATION OF CORNER POSTS SHALL BE DETERMINED FROM STAKES AND PROPERTY PINS INSTALLED BY THE REGISTERED LAND SURVEYOR UNDER CONTRACT. IF THE STAKES ARE NOT PRESENT OR DO NOT CONFORM TO THE SITE PLAN, CONSULT WITH THE PROJECT MANAGER.
2. CORNERS AND GATE POST FOR SITE SHALL BE 4" (INSIDE DIA.) GALVANIZED PIPE. LINE POST SHALL BE 2" (INSIDE DIA.) GALVANIZED PIPE.
3. CORNER POSTS SHALL BE SET WITHIN ONE INCH (1") OF DIMENSIONS INDICATED ON THE SITE PLAN.
4. FENCE POSTS SHALL BE VERTICALLY PLUMB IN ALL PLANES WITHIN 1/2 INCH (1/2").
5. CORNER POST FOUNDATIONS SHALL BE A MINIMUM THREE FEET (3') DEEP OR SIX INCHES (6") BELOW THE FROST LINE, WHICHEVER IS GREATER, WITH MINIMUM THREE INCH (3") CLEARANCE BETWEEN BOTTOM OF POST AND BOTTOM OF THE HOLE.
6. CONCRETE SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN CONCRETE INSTITUTE, THE CONCRETE REINFORCING STEEL INSTITUTE, AND APPLICABLE ASTM REQUIREMENTS.
7. FOUNDATION FOR LINE POSTS SHALL BE 12 INCHES (12") IN DIAMETER. FOUNDATION FOR GATE AND CORNER POSTS SHALL BE 18 INCHES (18") IN DIAMETER.
8. CORNER POSTS AND GATE POSTS SPACING SHALL BE EQUAL WITH A TWELVE FOOT (12') MAXIMUM SPACING. GATE POST SPACING AND SPECIFIC LOCATIONS SHALL BE IN ACCORDANCE WITH SITE PLAN AND SHALL BE VERIFIED WITH PROJECT MANAGER.
9. ALL POSTS EXCEPT GATE POSTS SHALL BE CAPPED WITH A COMBINATION CAP AND BARB WIRE SUPPORTING ARM. GATE POSTS SHALL BE TWELVE INCHES (12") HIGHER THAN CORNER OR LINE POSTS TO PROVIDE FOR TERMINATION OF BARBED WIRE. GATE POSTS SHALL BE CAPPED WITH STANDARD CAP.
10. ALL CORNER, GATE AND END PANELS SHALL HAVE MINIMUM 3/8" DIAMETER DIAGONAL TRUSS RODS WITH TURNBUCKLES HORIZONTAL BRACE RODS, 1-1/2" INSIDE DIMENSION PIPE, SHALL BE INSTALLED BETWEEN POSTS.
11. A TOP RAIL (1-3/8" I.D.) GALVANIZED PIPE SHALL BE INSTALLED BETWEEN POSTS.
12. ALL FOUR CORNERS POSTS AND BOTH GATE POSTS SHALL BE CONNECTED TO THE SITE GROUNDING SYSTEM (REFER TO GROUNDING SYSTEM STANDARD).

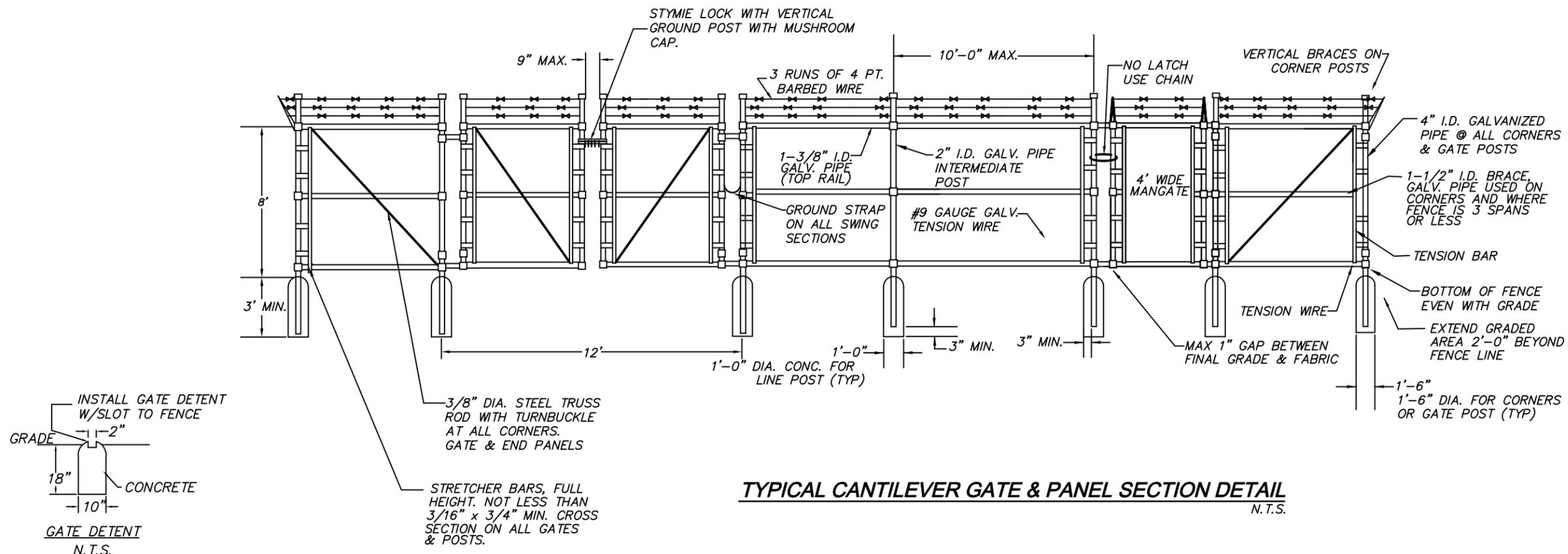
**FABRIC**

1. FENCE FABRIC SHALL BE EIGHT FOOT (8') HIGH, UNLESS OTHERWISE SPECIFIED, #9 GAUGE, GALVANIZED CHAIN LINK FABRIC WITH TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE.
2. FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE. A MAXIMUM THREE INCH (3") GAP SHALL BE PERMITTED BETWEEN FABRIC AND FINAL GRADE.
3. FABRIC SHALL BE SECURED AT CORNER AND GATE POSTS USING STRETCHER BARS AND TENSION BAND CLIPS.
4. FABRIC SHALL BE SECURED TO THE TOP RAIL AND BRACE RODS USING TIE CLIPS.
5. THREE (3) RUNS OF 4-POINT GALVANIZED BARBED WIRE SHALL BE INSTALLED ALONG TOP OF FENCE. BARBED WIRE SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.
6. INSTALL TENSION WIRE ALONG BOTTOM OF FABRIC.

**GATE**

1. LOCATION OF GATE SHALL CONFORM TO THE SITE PLAN. GATE SIZE SHALL BE A MINIMUM EIGHT FEET (8') ACROSS.
2. ALL JOINTS BETWEEN TUBULAR GATE MEMBERS SHALL BE WELDED OR HEAVY FITTINGS PROVIDING RIGID AND WATERTIGHT CONNECTIONS.
3. GATE HINGES SHALL PROVIDE FOR 180 DEGREE RADIUS GATE SWING. ALL HINGE NUTS SHALL BE ON THE INSIDE AND DOUBLE-NUT TO DETER UNAUTHORIZED ENTRY.
4. GATE STOPS SHALL BE INSTALLED AND SHALL HOLD GATE IN "OPEN" POSITION.
5. BARBED WIRE GUARD SHALL BE INSTALLED ON TOP OF GATES. ADEQUATE CLEARANCE SHALL BE MAINTAINED TO ALLOW GATE OPERATION.
6. GATE SHALL BE INSTALLED PLUMB AND SHALL OPEN AND CLOSE FREELY.
7. GATE POSTS SHALL NOT BE SHARED AS A CORNER POST.

NOTE: IF FINAL GRADE IS APPLIED PRIOR TO FENCE INSTALLATION, ALL SPOILS REMOVED TO INSTALL THE FENCE POSTS AND FENCE ACCESSORIES SHALL BE PLACED ON PLASTIC OR OTHER MEANS TO PREVENT DEBRIS FROM BLEMISHING SITE AESTHETICS. REMOVAL OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE FENCE CONTRACTOR INCLUDING ANY EXCESS FENCE MATERIAL.



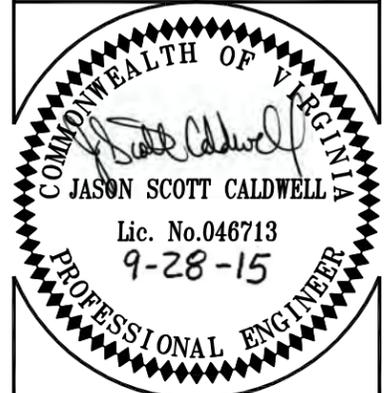
**TYPICAL CANTILEVER GATE & PANEL SECTION DETAIL**  
N.T.S.



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RAW LAND**

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24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. CN COMM. #

**SUBMITTALS**

SYM.	DESCRIPTION	DATE
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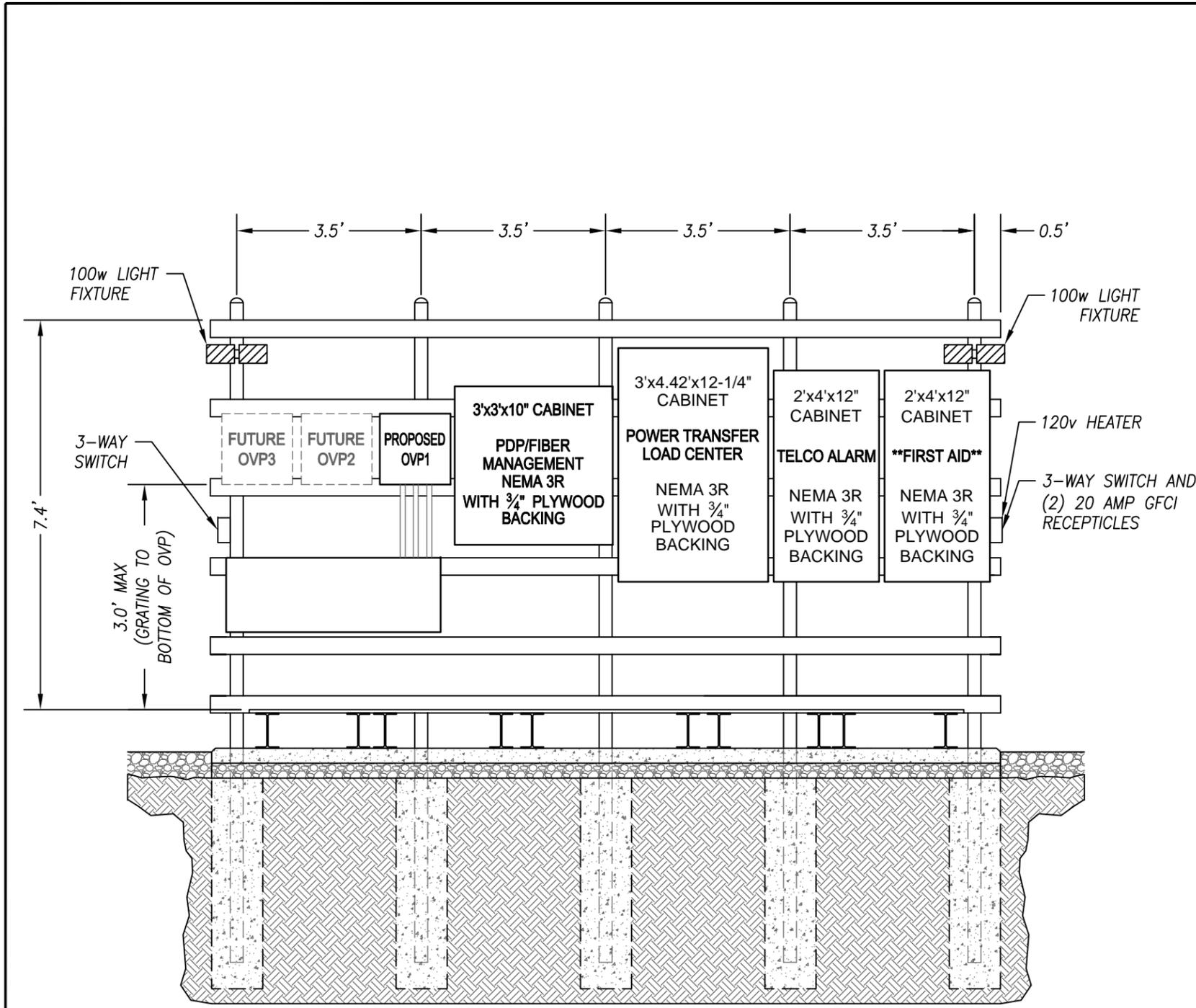
SHEET NAME:

**FENCE DETAILS**

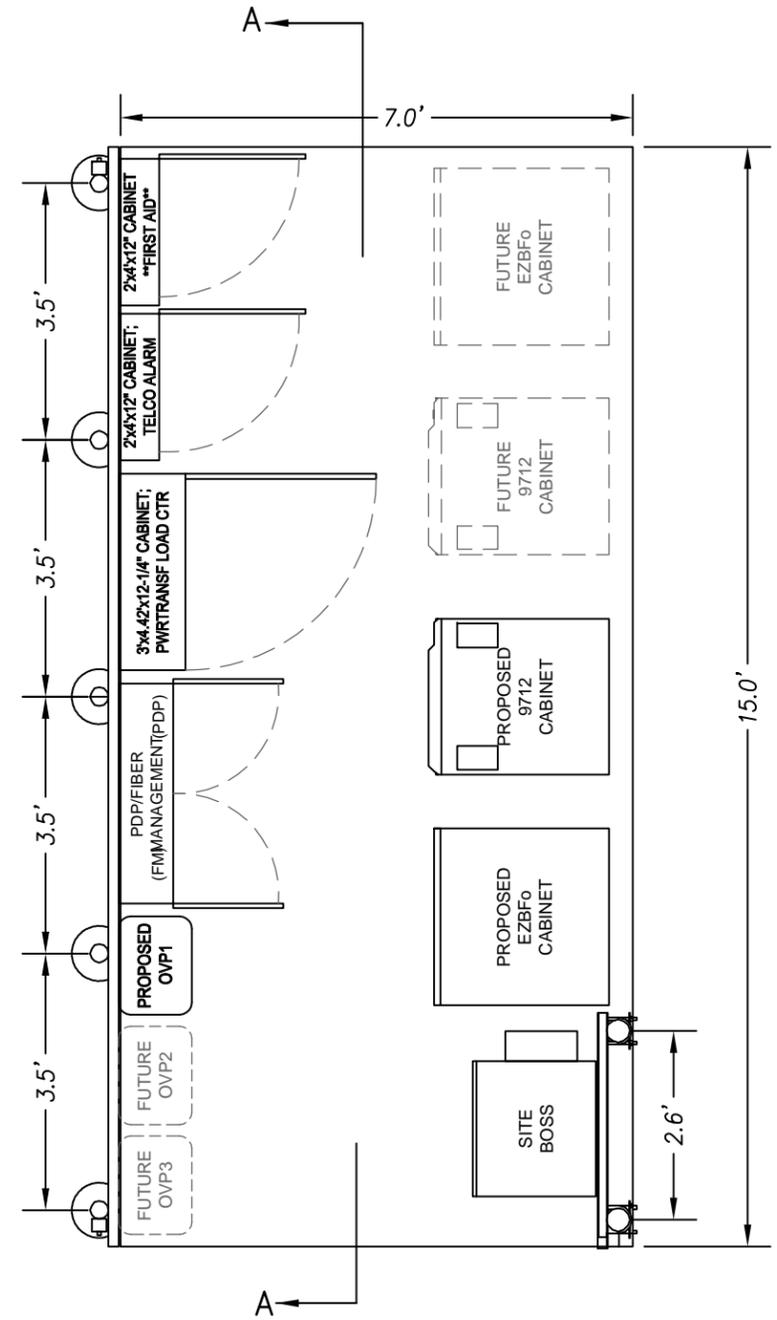
PROJECT No. 14032

SHEET NO.:

**C-8**



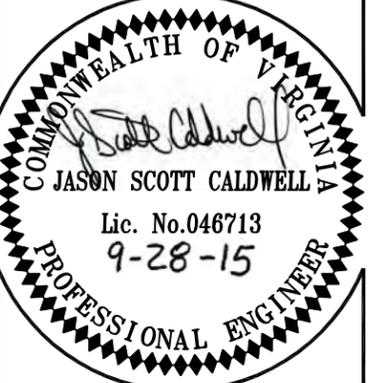
**EQUIPMENT LAYOUT SECTION A-A**  
n.t.s.



**EQUIPMENT LAYOUT DETAIL**  
n.t.s.

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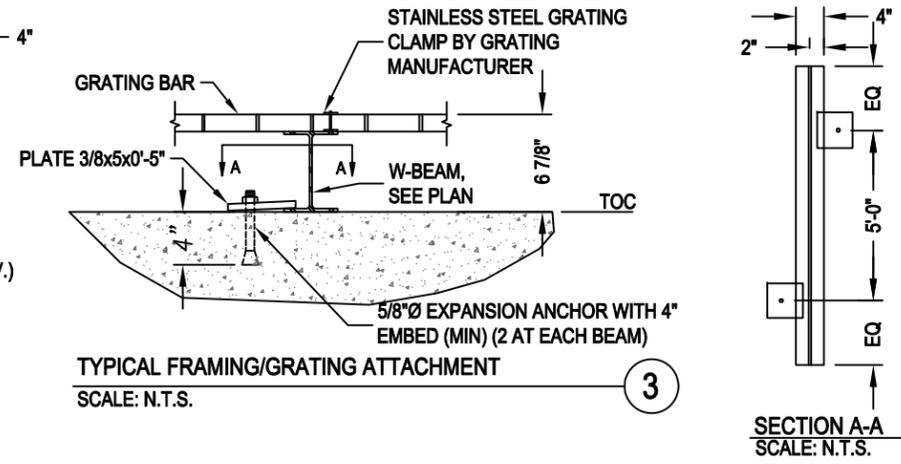
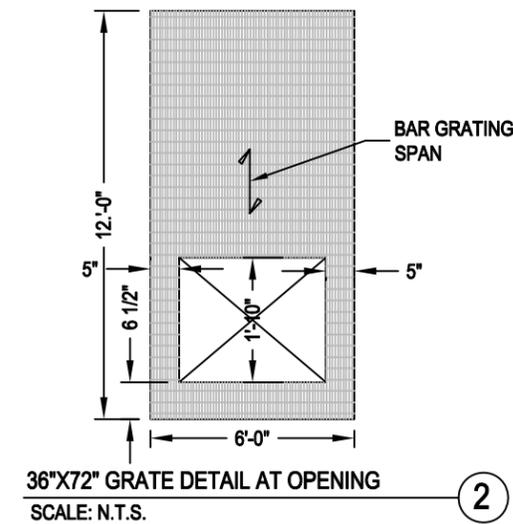
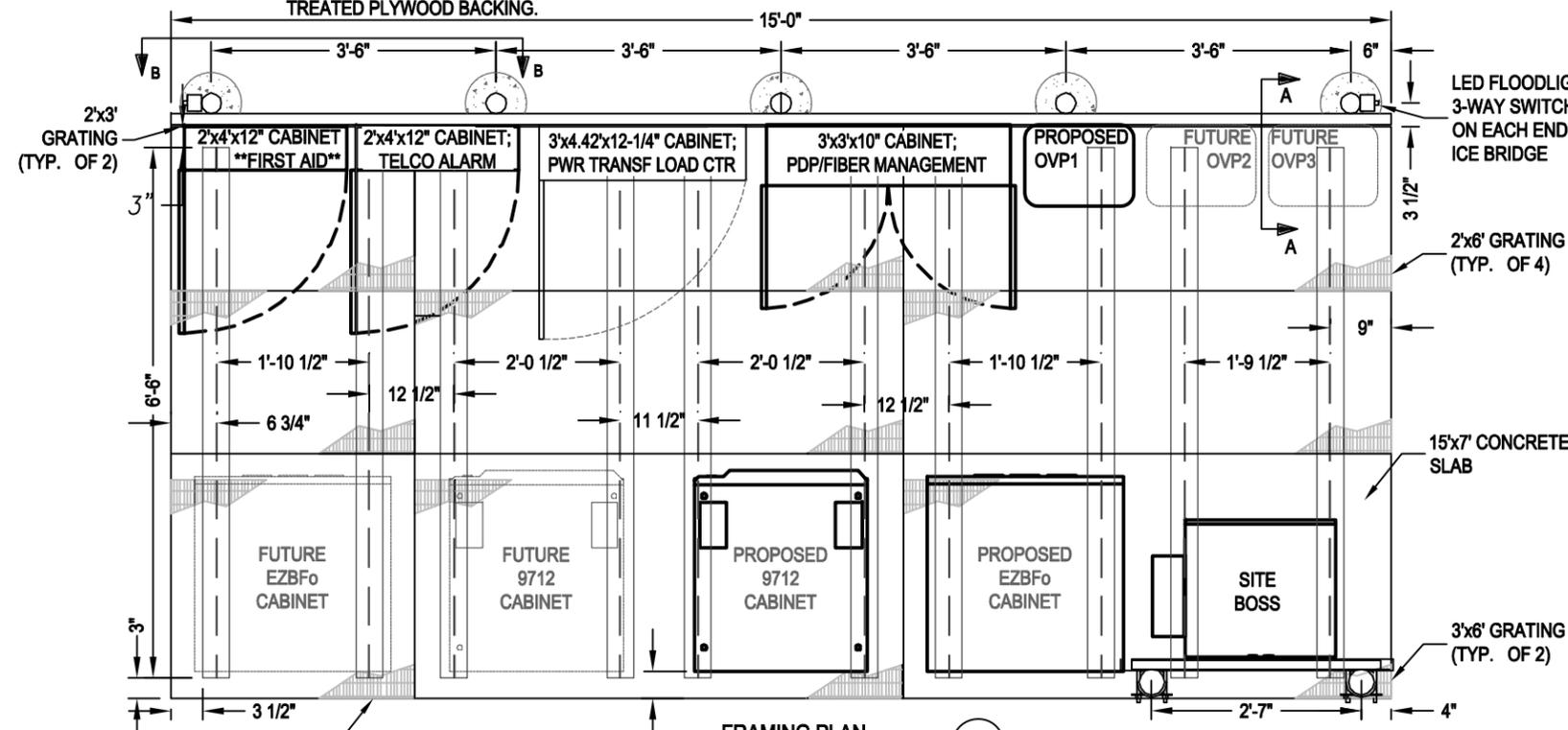
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DRAWN: MSM  
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TTV DATE:  
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SHEET NAME:  
**PLATFORM  
LAYOUT**  
PROJECT No. 14032  
SHEET NO.:  
**C-9**

NOTE: CABINETS SHALL BE NEMA 3R WITH 3/4" PRESSURE TREATED PLYWOOD BACKING.



PLAN NOTES:

1. ALL STEEL SHALL BE HOT-DIPPED GALVANIZED.
2. STEEL FRAMING IS DESIGNED TO SUPPORT EQUIPMENT SHOWN ON THE EQUIPMENT PLATFORM LAYOUT.
3. WIDE FLANGE SHAPES SHALL BE IN ACCORDANCE WITH ASTM A992.
4. BAR GRATING SHALL BE GALVANIZED STEEL WITH 1" x 3/16" BAR SIZE. MAIN BARS TO BE SPACED 1 3/16" OC MAXIMUM AND CROSS BAR SPACING SHALL NOT EXCEED 4" OC.
5. POST INSTALLED EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT 3. ALL ANCHORS SHALL BE INSTALLED WITH HILTI NUTS AND WASHERS.
6. BAR GRATING SHALL BE TRIM BANDED ON EXTERIOR SIDE.
7. COORDINATE WITH CM FOR EXACT PLACEMENT AND ORIENTATION.
8. WIDE FLANGE SHAPES SHALL NOT EXCEED SIZED AS NOTED ON PLAN.
9. EQUIPMENT PLATFORM SHALL NOT EXCEED 7" ABOVE CONCRETE PAD.



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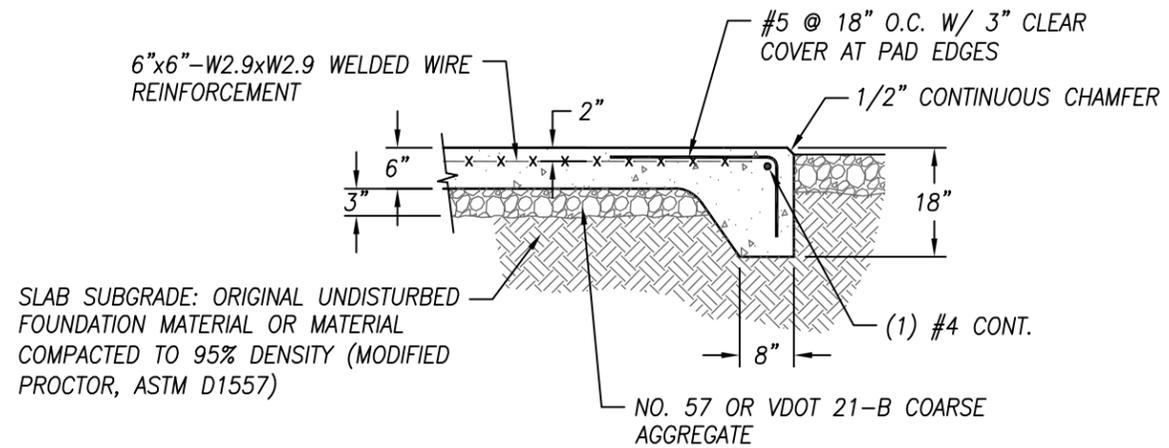


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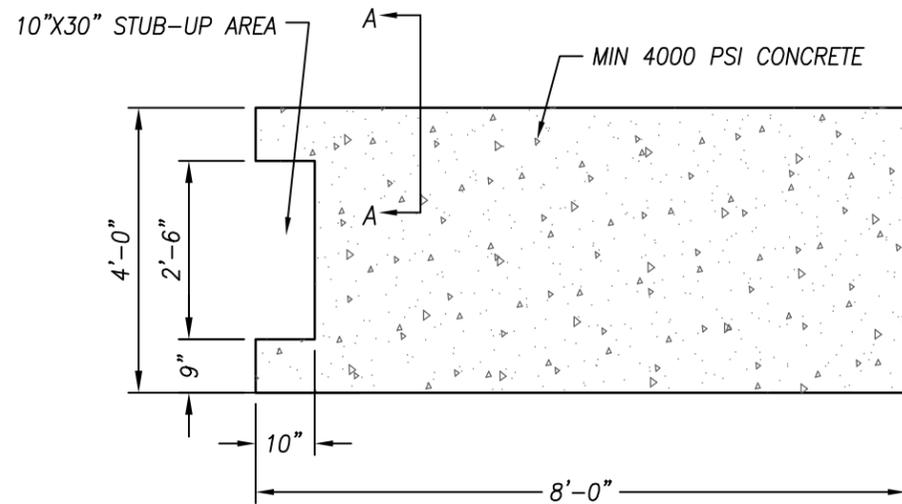
SHEET NAME:  
**OUTDOOR  
EQUIPMENT  
DETAILS**  
PROJECT No. 14032  
SHEET NO.:  
**C-10**



SLAB SUBGRADE: ORIGINAL UNDISTURBED FOUNDATION MATERIAL OR MATERIAL COMPACTED TO 95% DENSITY (MODIFIED PROCTOR, ASTM D1557)

2 GENERATOR PAD SECTION 'A'-'A'  
NOT TO SCALE

**NOTE:**  
CONTRACTOR TO COORDINATE CONDUIT STUB-UPS THROUGH THE STUB-UP AREA TO ENSURE NO REINFORCING REBARS ARE CUT. CONCRETE TO BE POURED AROUND THE CONDUITS AFTER CONDUIT STUB-UPS ARE INSTALLED WITHIN THE STUB-UP AREA.

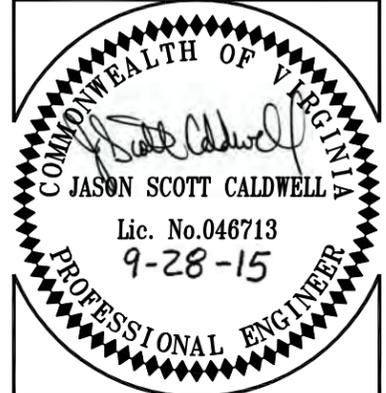


1 GENERATOR PAD DETAIL  
NOT TO SCALE



20 S. ROANOKE ST., PO BOX 619  
FINCASTLE, VIRGINIA 24090  
540.473.1253 FAX: 540.473.1254

**verizon**wireless  
1831 RADY COURT  
RICHMOND, VA 23222



SITE INFO

**PENN HOLLOW  
RAW LAND**

340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. CN COMM. #

SUBMITTALS

SYM.	DESCRIPTION	DATE
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SHEET NAME:

**GENERATOR PAD  
FOUNDATION  
DETAILS**

PROJECT No. 14032

SHEET NO.:

**C-11**



20 S. ROANOKE ST., PO BOX 619  
 FINCASTLE, VIRGINIA 24090  
 540.473.1253 FAX: 540.473.1254



1831 RADY COURT  
 RICHMOND, VA 23222



**SITE INFO**

**PENN HOLLOW  
 RAW LAND**

340 PENN HOLLOW ROAD  
 BUCHANAN, VIRGINIA  
 24066

BOTETOURT COUNTY

DESIGN: MSM

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TTV DATE:

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**SUBMITTALS**

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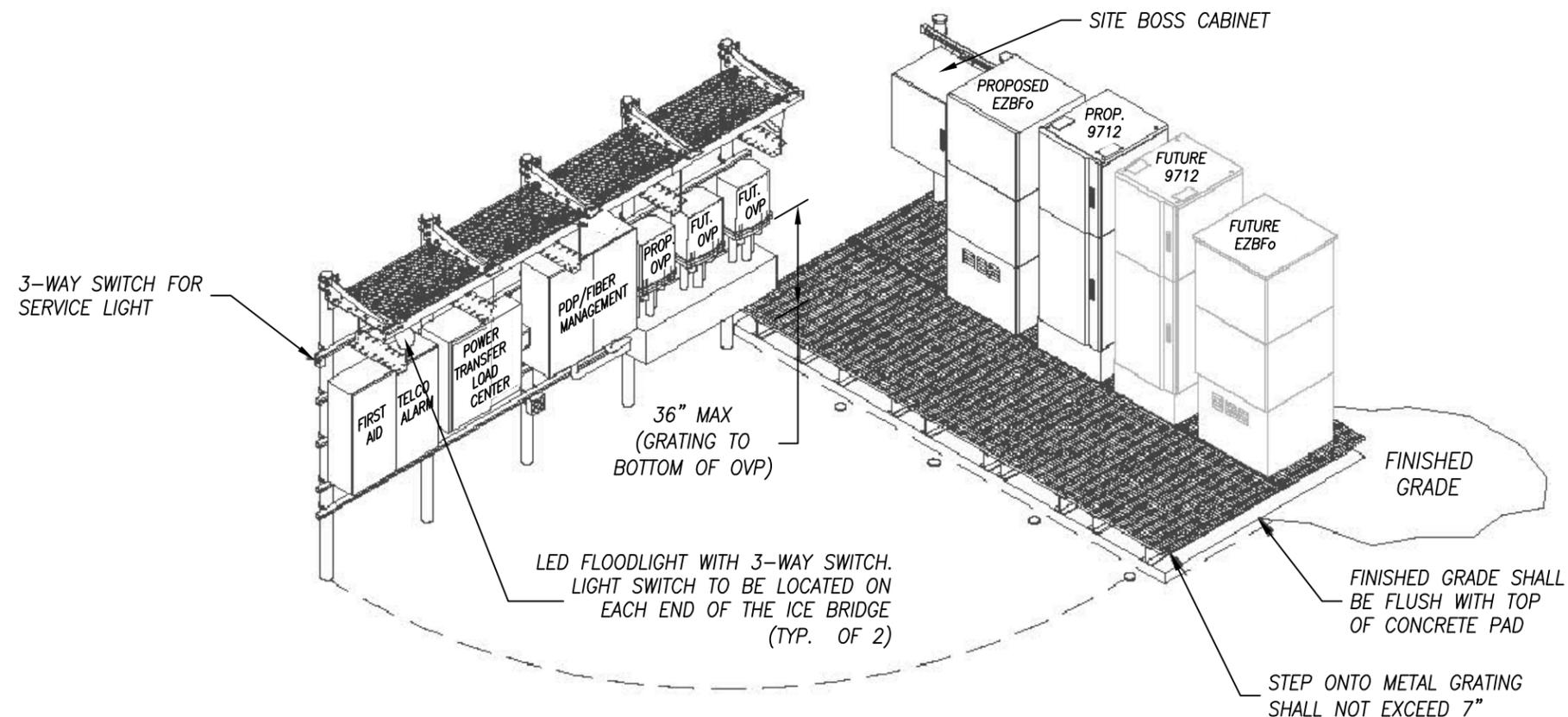
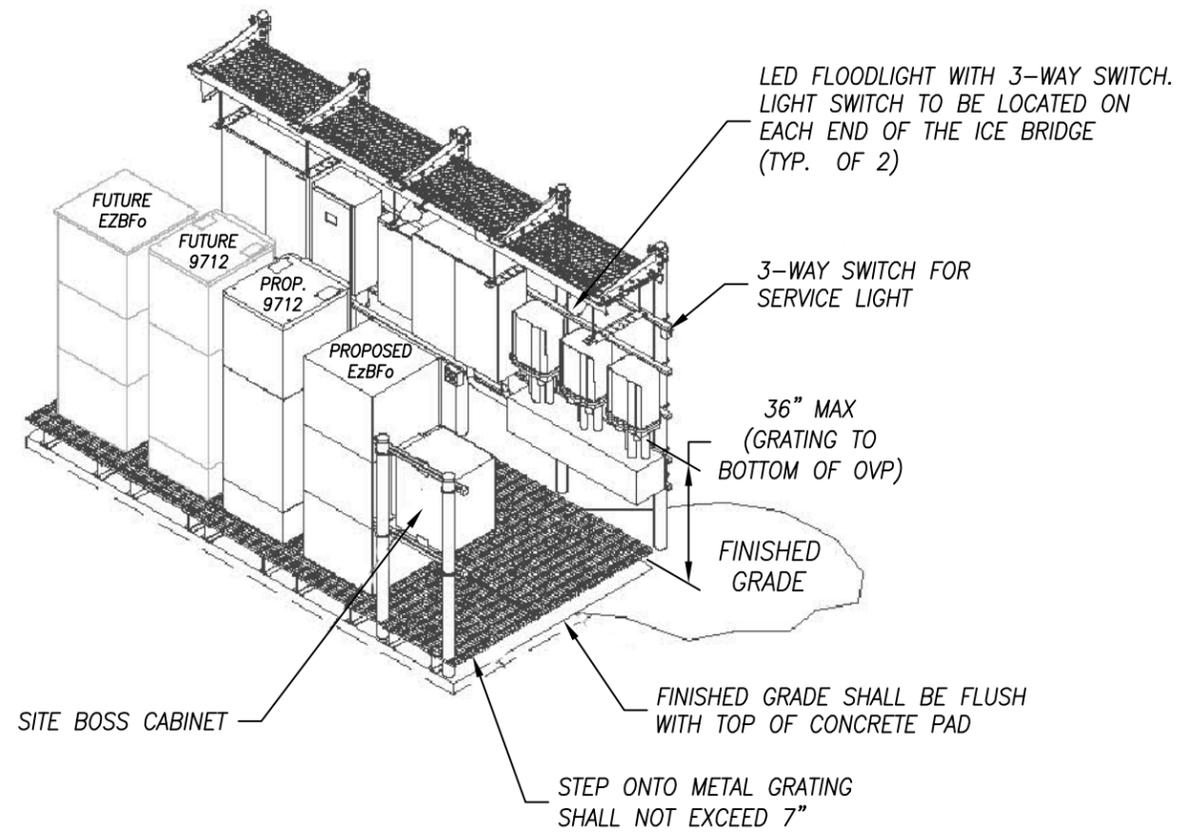
SHEET NAME:

**OUTDOOR  
 EQUIPMENT  
 DETAILS (ISO)**

PROJECT No. 14032

SHEET NO.:

**C-12**



NO  
TRESPASSING

VIOLATORS  
WILL BE PROSECUTED

WHITE BACKGROUND  
WITH RED LETTERING

IN CASE OF EMERGENCY  
CONTACT: 800-852-2671

SITE: _____

WHITE BACKGROUND  
WITH BLACK LETTERING

WHITE BACKGROUND  
WITH RED LETTERING

WHITE BACKGROUND  
WITH BLACK LETTERING

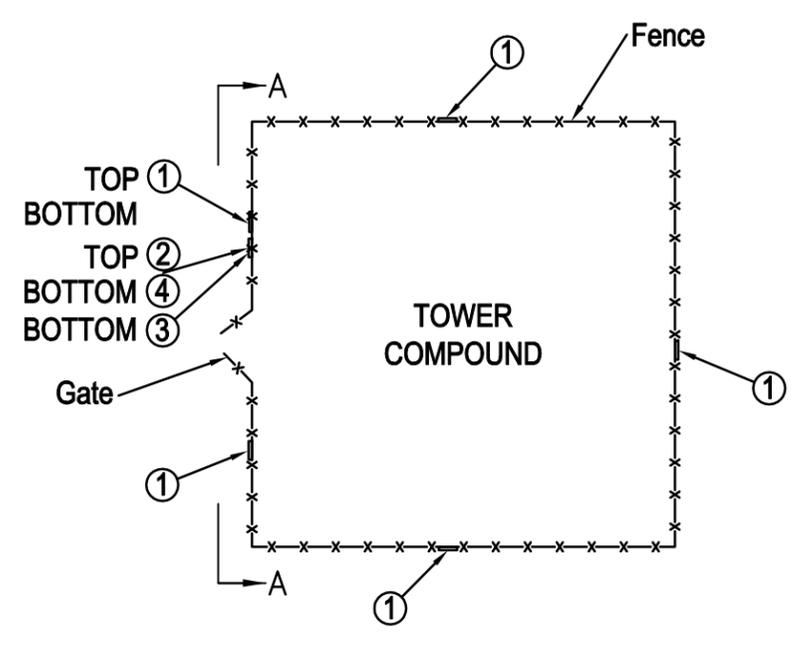
WHITE BACKGROUND  
WITH RED LETTERING

NOTICE

- ⚠ All personnel should have electromagnetic energy (EME) awareness training.
- ⚠ All personnel entering this site must be authorized.
- ⚠ Obey all posted signs.
- ⚠ Assume all antennas are active.
- ⚠ Before working on antennas, notify owner and disable appropriate transmitters.
- ⚠ Maintain minimum 3 feet clearance from all antennas.
- ⚠ Do not stop in front of antennas.
- ⚠ Use personal RF monitors while working near antennas.
- ⚠ Never operate transmitters without shield during normal operation.
- ⚠ Do not operate base station antennas in equipment room.

ORANGE  
BACKGROUND  
WITH BLACK  
LETTERING

<b>1 NO-TRESPASSING SIGN</b> <small>18" HIGH x 24" WIDE (OPERATIONS PROVIDED)</small>	<b>2 VERIZON WIRELESS-SITE ID SIGN</b> <small>18" HIGH x 24" WIDE (OPERATIONS PROVIDED)</small>	<b>3 NOTICE-RFE SIGN</b> <small>12" WIDE x 18" HIGH (OPERATIONS PROVIDED)</small>
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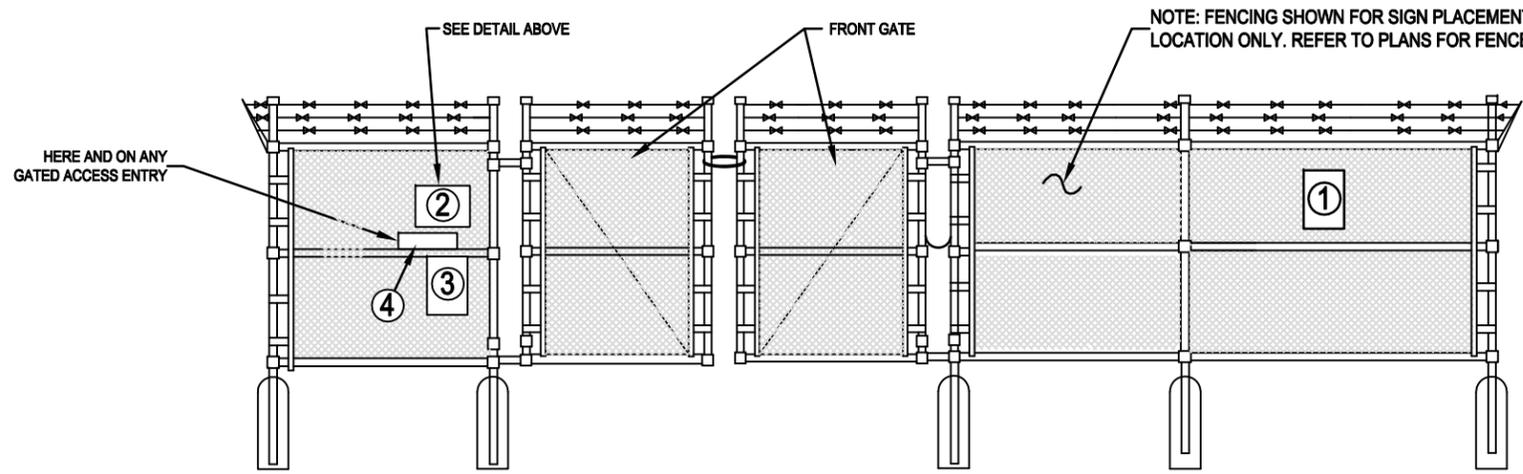
NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS  
DETAIL THIS SHEET FOR SIGN DESIGNATIONS

FCC TOWER REGISTRATION NO.  
XXXXXXX

WHITE BACKGROUND  
WITH BLACK LETTERING

**4 FCC REGISTRATION SIGN**  
20" WIDE x 4" HIGH

<b>TYPICAL SIGNS AND SPECIFICATIONS</b>	<small>SCALE: N.T.S.</small>	<b>2</b>	<b>TOWER SITE COMPOUND SIGN PLACEMENT</b>	<small>SCALE: N.T.S.</small>	<b>1</b>
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**SITE SIGNAGE SECTION 'A-A'** SCALE:  
N.T.S. **3**

**SIGNAGE NOTES:**

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ONE VERIZON SITE ID SIGN SHALL BE MOUNTED ON RIGHT DOOR OF THE SHELTER. TWO-SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PALCEMENT UNTIL ADHESIVE SETS.

20 S. ROANOKE ST., PO BOX 619  
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540.473.1253 FAX: 540.473.1254

1831 RADY COURT  
RICHMOND, VA 23222

**SITE INFO**

PENN HOLLOW  
RAW LAND

340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066

BOTETOURT COUNTY

DESIGN: MSM		
DRAWN: MSM		
REVIEW: JSC		
TTV DATE:		
COMM. NO.      CN COMM. #		
<b>SUBMITTALS</b>		
SYM.      DESCRIPTION      DATE		
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SHEET NAME:

SITE SIGNAGE  
PLAN

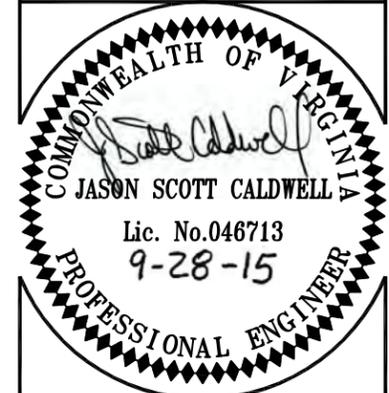
PROJECT No. 14032

SHEET NO.:

C-13



20 S. ROANOKE ST., PO BOX 619  
FINCASTLE, VIRGINIA 24090  
540.473.1253 FAX: 540.473.1254



**SITE INFO**  
**PENN HOLLOW  
RAW LAND**  
  
340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066  
  
BOTETOURT COUNTY

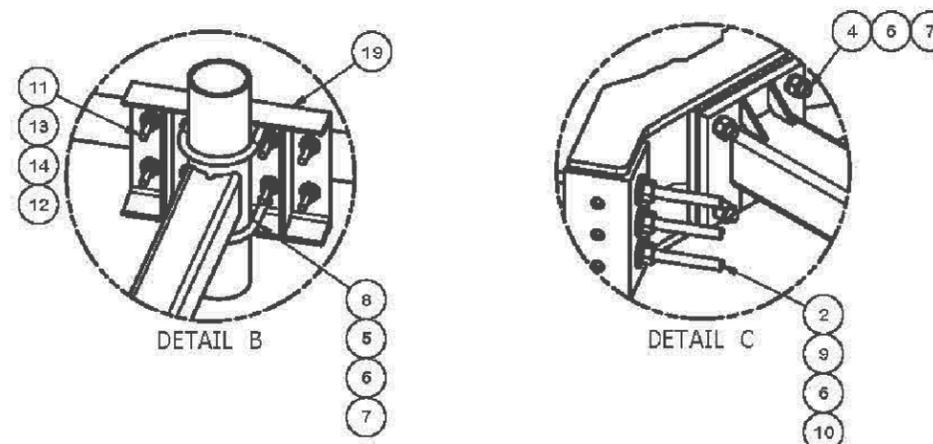
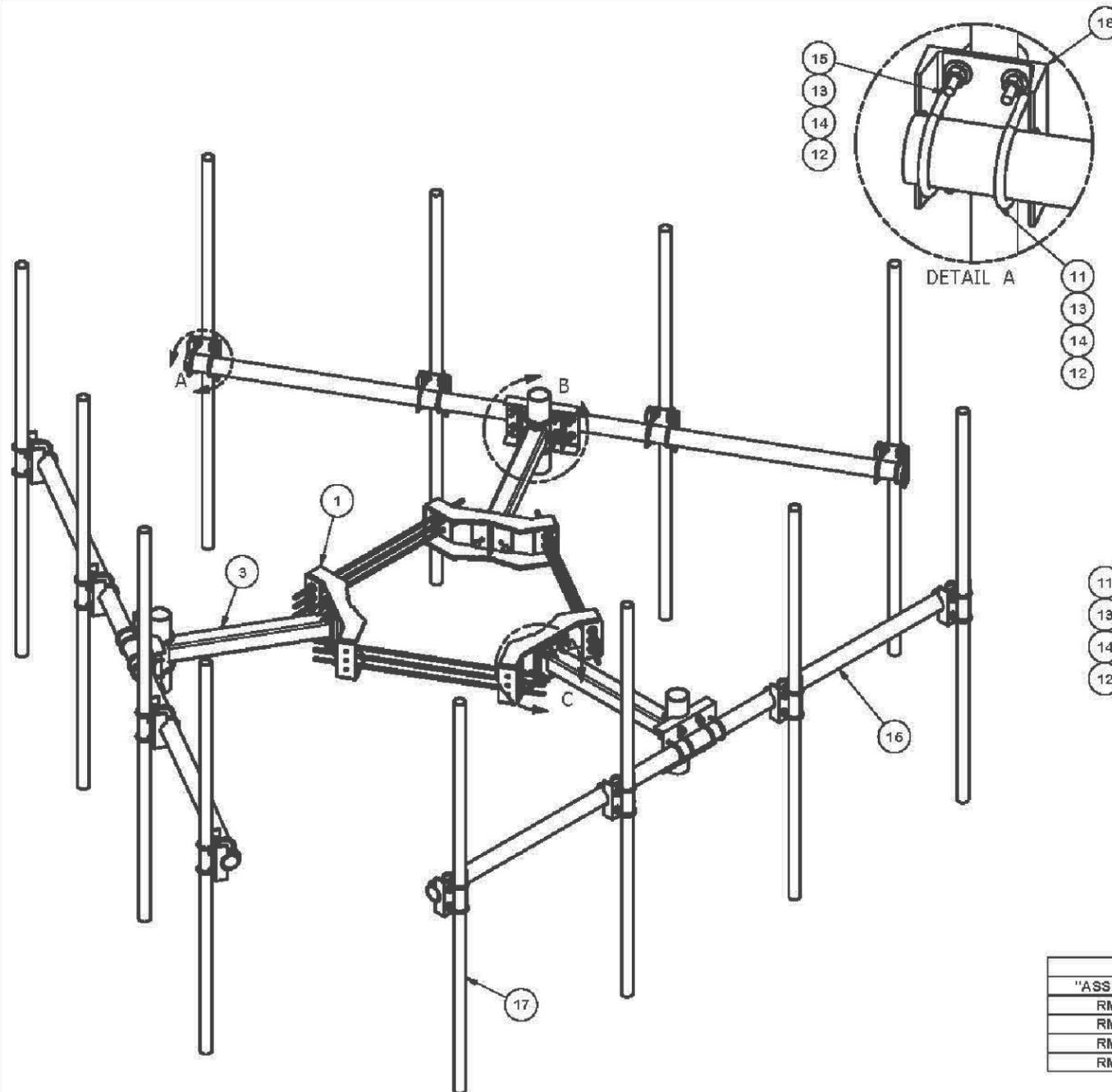
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DRAWN: MSM  
REVIEW: JSC  
TTV DATE:  
COMM. NO. CN COMM. #

SUBMITTALS		
SYM.	DESCRIPTION	DATE
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SHEET NAME:  
**ANTENNA MOUNT  
DETAILS**

PROJECT No. 14032  
SHEET NO.:  
**C-14**

PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	3	X-LWRM	RING MOUNT WELDMENT		68.16	204.48
2	9	G58R-24	5/8" X 24" THREADED ROD (HDG.)		0.35	3.16
2	9	G58R-48	5/8" X 48" GALV THREADED ROD		4.18	37.63
3	3	X-SV197-36	SUPPORT ARM WELDMENT - 36"		67.29	201.88
4	12	A58234	5/8" X 2-3/4" HDG A325 HEX BOLT	2.75	0.36	4.27
5	12	A58FW	5/8" HDG A325 FLATWASHER		0.03	0.41
6	42	G58LW	5/8" HDG LOCK WASHER		0.03	1.10
7	24	A58NUT	5/8" HDG A325 HEX NUT		0.13	3.12
8	6	X-UB5458	5/8" X 4-5/8" X 7" X 3" U-BOLT (HDG.)		0.66	3.94
9	18	G58FW	5/8" HDG USS FLATWASHER		0.07	1.27
10	18	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13	2.34
11	36	X-UB1306	1/2" X 3-5/8" X 6" X 3" U-BOLT (HDG.)		0.66	23.63
12	114	G12NUT	1/2" HDG HEAVY 2H HEX NUT		0.07	8.17
13	114	G12FW	1/2" HDG USS FLATWASHER		0.03	3.89
14	114	G12LW	1/2" HDG LOCK WASHER		0.01	1.59
15	24	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.63	15.00
16	3	P3150	3-1/2" X 150" SCH 40 GALVANIZED PIPE	150.000 in	94.92	284.76
17	12	A	B	C	D	
18	12	X-SP219	SMALL SUPPORT CROSS PLATE	8.250 in	8.61	103.33
19	3	X-SP216	LARGE SUPPORT CROSS PLATE		20.63	62.48



ANTENNA PIPES					
"ASSEMBLY NO."	PART NO. "A"	PART DESCRIPTION "B"	LENGTH "C"	UNIT WT. "D"	TOTAL WT.
RMV12-463	P263	2-3/8" O.D. SCH. 40 PIPE	63"	19.22	1,219.29
RMV12-472	P272	2-3/8" O.D. SCH. 40 PIPE	72"	23.07	1,265.49
RMV12-484	P284	2-3/8" O.D. SCH. 40 PIPE	84"	26.91	1,311.57
RMV12-496	P296	2-3/8" O.D. SCH. 40 PIPE	96"	30.76	1,357.77

**TOLERANCE NOTES**  
TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:  
SAWED, SHEARED AND GAS CUT EDGES ( $\pm 0.030$ )  
DRILLED AND GAS CUT HOLES ( $\pm 0.030$ ) - NO CONING OF HOLES  
LASER CUT EDGES AND HOLES ( $\pm 0.010$ ) - NO CONING OF HOLES  
BENDS ARE  $\pm 1/2$  DEGREE  
ALL OTHER MACHINING ( $\pm 0.030$ )  
ALL OTHER ASSEMBLY ( $\pm 0.080$ )

PROPRIETARY NOTE:  
THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION MONOPOLE TRIPLE T-ARM FOR 12 ANTENNAS			
CPD NO. 4516	DRAWN BY CEK 4/15/2011	ENG. APPROVAL	
CLASS 81	SUB 01	DRAWING USAGE CUSTOMER	CHECKED BY BMC 4/28/2011

**SITE PRO** Engineering Support Team: 1-888-753-7446  
Locations: New York, NY; Atlanta, GA; Los Angeles, CA; Plymouth, IN; Salem, OR; Dallas, TX

PART NO. SEE "ASSEMBLY NO."  
DWG. NO. RMV12-4XX

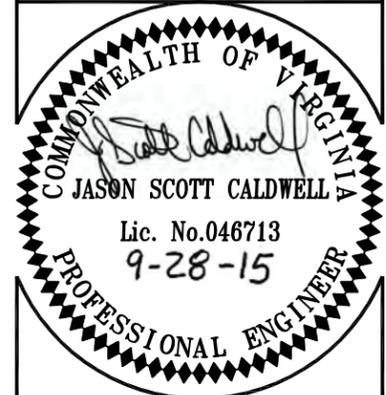
RE	DESCRIPTION OF REVISIONS	CPD	BY	DATE
A	REMOVED FLATWASHERS FROM ARM TO CLAMP RING CONNECTION	4516	CEK	11/4/2011

NOTE:  
SECTOR FRAME SHALL BE VERIFIED WITH  
SITE-SPECIFIC LOADING BY STRUCTURAL ENGINEER.



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**verizon**wireless  
1831 RADY COURT  
RICHMOND, VA 23222



**SITE INFO**  
**PENN HOLLOW  
RAW LAND**  
  
340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066  
  
BOTETOURT COUNTY

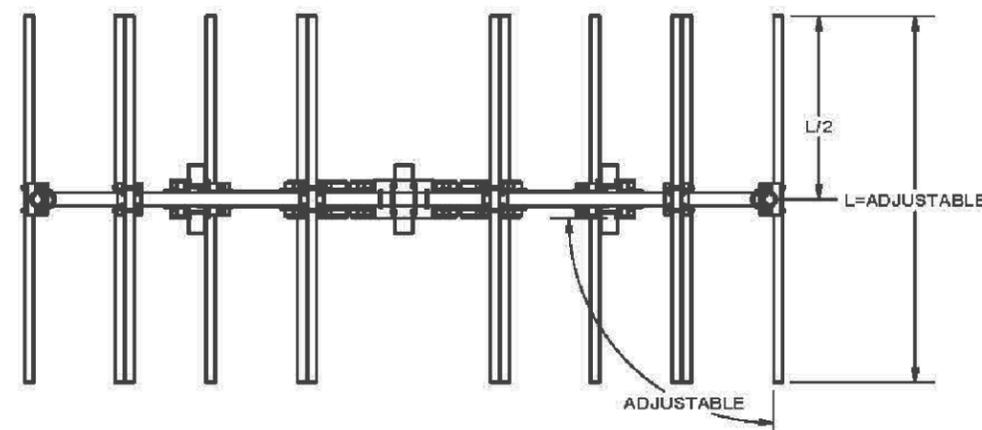
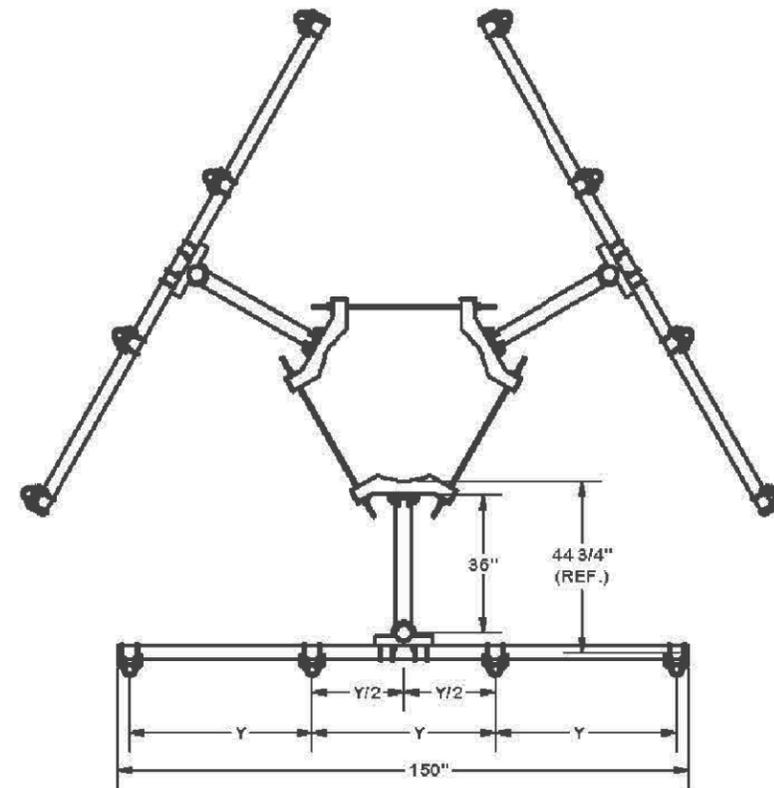
DESIGN: **MSM**  
DRAWN: **MSM**  
REVIEW: **JSC**  
TTV DATE:  
COMM. NO.                      CN COMM. #

**SUBMITTALS**

SYM.	DESCRIPTION	DATE
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SHEET NAME:  
**ANTENNA MOUNT  
DETAILS**

PROJECT No. 14032  
SHEET NO.:  
**C-15**



**TOLERANCE NOTES**  
TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:  
SAWED, SHEARED AND GAS CUT EDGES ( $\pm 0.030"$ )  
DRILLED AND GAS CUT HOLES ( $\pm 0.030"$ ) - NO CONING OF HOLES  
LASER CUT EDGES AND HOLES ( $\pm 0.010"$ ) - NO CONING OF HOLES  
BENDS ARE  $\pm 1/2$  DEGREE  
ALL OTHER MACHINING ( $\pm 0.030"$ )  
ALL OTHER ASSEMBLY ( $\pm 0.030"$ )  
  
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**DESCRIPTION**  
MONOPOLE TRIPLE T-ARM  
FOR 12 ANTENNAS

CPD NO. <b>4516</b>	DRAWN BY <b>CEK 4/15/2011</b>	ENG. APPROVAL
CLASS <b>81</b>	SUB <b>01</b>	DRAWING USAGE <b>CUSTOMER</b>
CHECKED BY <b>BMC 4/28/2011</b>		

**SITE PRO**  
A valmont COMPANY

Locations:  
New York, NY  
Atlanta, GA  
Los Angeles, CA  
Plymouth, IN  
Salem, OR  
Dallas, TX

Engineering Support Team:  
1-888-753-7446

PART NO.  
**SEE "ASSEMBLY NO."**

DWG. NO.  
**RMV12-4XX**

RE	DESCRIPTION OF REVISIONS	CPD	BY	DATE
A	REMOVED FLATWASHERS FROM ARM TO CLAMP RING CONNECTION	4516	GEK	11/4/2011

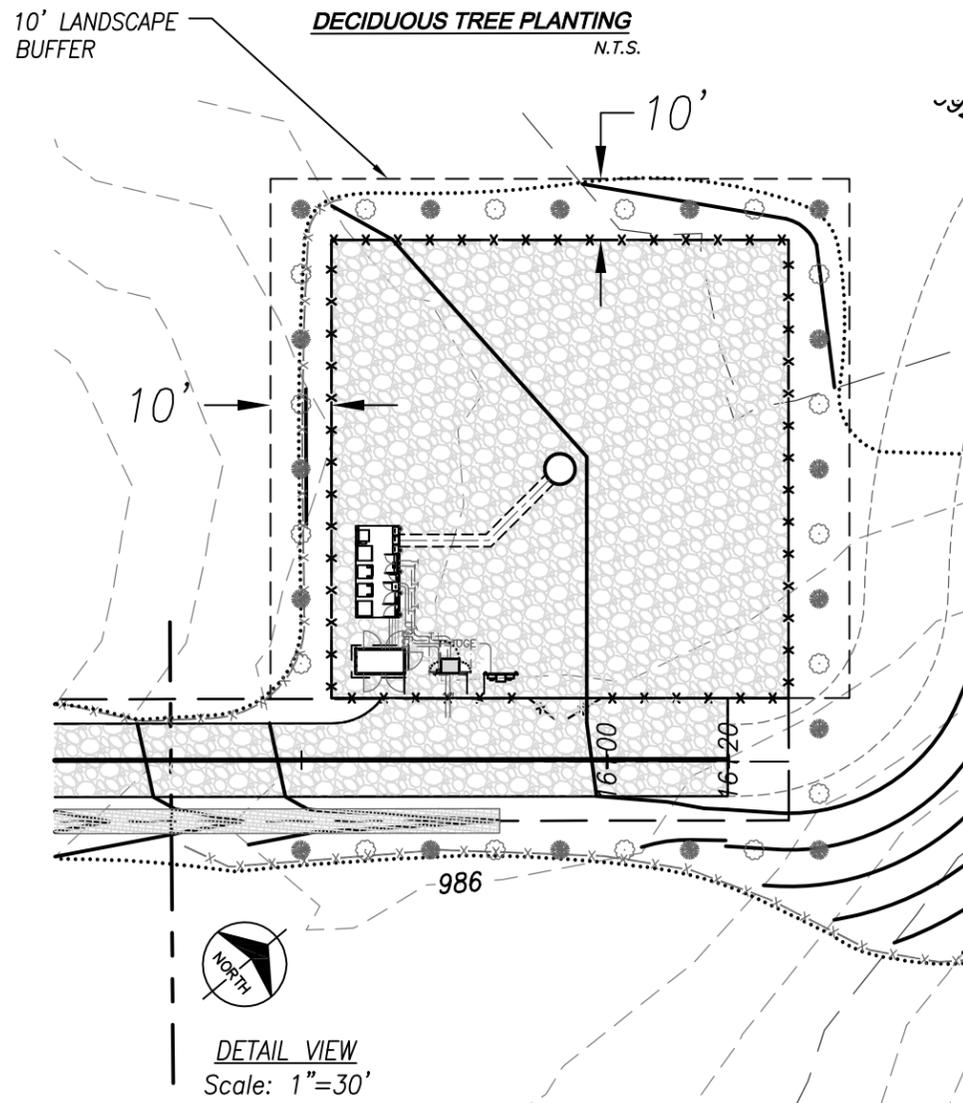
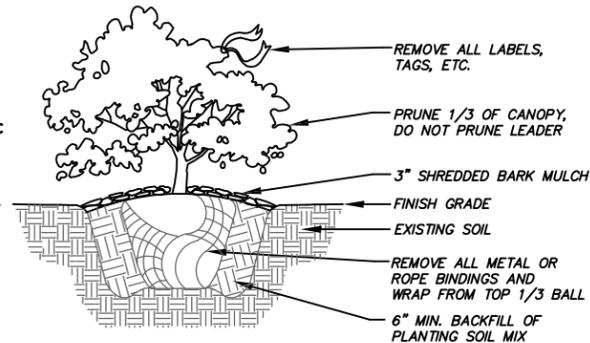
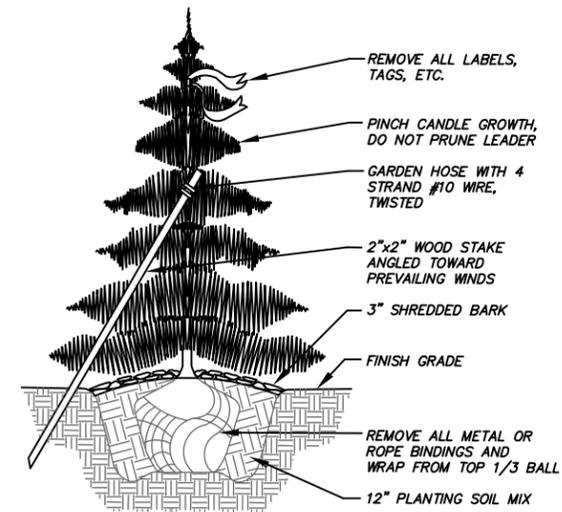
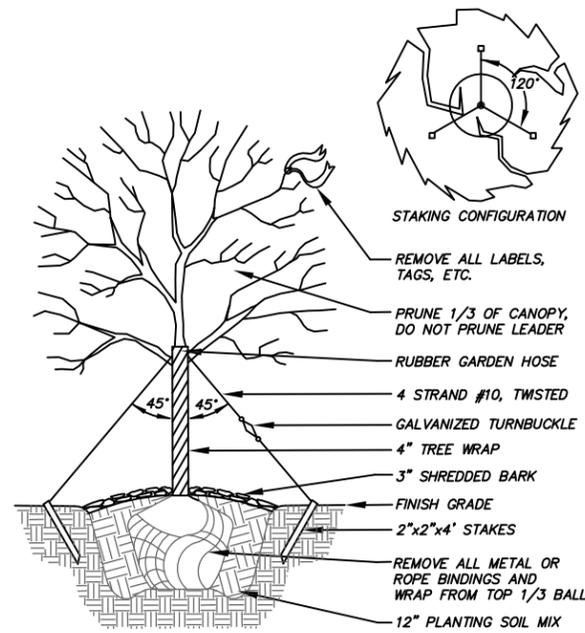
REVISION HISTORY

**NOTE:**  
SECTOR FRAME SHALL BE VERIFIED WITH  
SITE-SPECIFIC LOADING BY STRUCTURAL ENGINEER.

PAGE  
2 OF 2

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE OF ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/ DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES OR AS SPECIFIED IN "THE PLANTING AND CARE OF SHADE TREES." THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING & GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
5. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND SEEDING AREAS PRIOR TO THE INITIATION OF INSTALLATION PROCEDURES.
7. ALL PLANTING BEDS SHALL BE MULCHED WITH A MINIMUM 3" LAYER OF SCREENED, SHREDDED BARK MULCH.
8. ALL AREAS TO BE LOAMED AND SEEDED WHICH HAVE BEEN DISTURBED BY CONSTRUCTION ACTIVITY SHALL RECEIVE 4" OF LOAM .
9. ALL AREAS TO BE LOAMED AND SEEDED WHICH HAVE NOT DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 1 1/2- 2" OF LOAM OVER SCARIFIED EXISTING SOILS. CARE SHOULD BE GIVEN TO NOT PLACE GREATER THAN 2" OF SOIL OVER EXPOSED ROOTS OF EXISTING TREES IN SUCH AREAS.
10. ALL SEEDING OPERATIONS SHALL BE COMPLETED USING HAND OR PUSH SPREADERS. HYDROSEEDING WILL NOT BE ACCEPTED.
11. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE ANY UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.



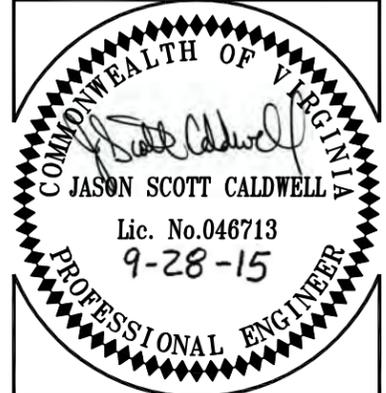
**NOTE:**  
PLANTINGS ARE TO BE ALTERNATING BETWEEN LEYLAND CYPRESS AND MAPLE, 6' TALL AT PLANTING, 10.6' ON CENTERS, 5' AWAY FROM FENCING.



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FINCASTLE, VIRGINIA 24090  
540.473.1253 FAX: 540.473.1254

verizon wireless

1831 RADY COURT  
RICHMOND, VA 23222



**SITE INFO**

**PENN HOLLOW  
RAW LAND**

340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. CN COMM. #

**SUBMITTALS**

SYM.	DESCRIPTION	DATE
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△		
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SHEET NAME:

**LANDSCAPING  
PLAN**

PROJECT No. 14032

SHEET NO.:

**L-1**

**PROJECT DESCRIPTION**

THIS PROJECT INCLUDES A PROPOSED 7'X15' OUTSIDE EQUIPMENT PLATFORM IN A FENCED AND GRAVELED 75'X75' LEASE LOT. AN ANTENNA FOR CELLULAR COMMUNICATIONS WILL BE LOCATED ON TOP OF A 199-FOOT HIGH MONOPOLE TOWER. THE PROPOSED ACCESS EXTENDS FROM RT. 43, IN THE VICINITY OF BUCHANAN, VIRGINIA, ALONG PENN HOLLOW ROAD. THE TOTAL DISTURBED AREA WILL BE 0.68 ACRES.

**EXISTING SITE CONDITIONS**

THE SITE IS LOCATED ON PRIVATE PROPERTY SURROUNDED BY FARM AND PASTURE LAND. THE EXISTING SITE CONDITIONS FOR THE ACCESS ROAD ARE EXISTING GRAVEL NEAR THE ENTRANCE. A SPRING IS LOCATED NEAR THE ENTRANCE.

**OFFSITE AREAS**

NO KNOWN OFF SITE AREAS EXIST FOR THIS PROJECT.

**ADJACENT PROPERTY**

PROPERTY ADJACENT TO THIS SITE IS CURRENTLY BOUNDED BY AGRICULTURE.

**CRITICAL EROSION AREAS**

CRITICAL EROSION AREAS INCLUDE ALL AREAS WHERE SLOPES ARE 2:1 OR GREATER. ALL 2:1 SLOPES WILL RECEIVE TURF REINFORCEMENT MATTING. FOR SLOPES 1:1 CONTRACTOR SHALL, AT A MINIMUM, INSTALL BLANKET MATTING. GEOTECHNICAL INFORMATION NOT AVAILABLE AND SITE SOILS CONDITIONS MAY REQUIRE ADDITIONAL STABILIZATION METHODS SUCH AS RIP-RAP. IF CONTRACTOR IS UNABLE TO STABILIZE CUT AND FILL SLOPE HE SHALL CONTACT THE ENGINEER.

**SOILS**

SEE SOILS MAP DESCRIPTIONS

**EROSION AND SEDIMENT CONTROL MEASURES**

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE 1992 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, OR LATEST EDITION. THE MINIMUM STANDARDS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE.

FOR CONSTRUCTION ACTIVITIES THAT HAVE A DISTURBED AREA GREATER THAN 1 ACRE, THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) WILL REQUIRE THIS PROJECT TO FOLLOW THE VIRGINIA POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT PROGRAM (VPDES) AND TO REGISTER FOR A VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT. PERSUANT TO THIS PERMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPP) AND AN APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE ONSITE AT ALL TIMES. CONTRACTOR SHALL CONTACT THE LOCAL DCR OFFICE FOR REGISTRATION AND SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION, PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

THE CONTRACTOR SHALL SECURE A CERTIFIED RESPONSIBLE LAND DISTURBER FOR THIS PROJECT. THE NAME OF THE CERTIFIED R.L.D. SHALL BE GIVEN TO THE PROPER AUTHORITIES BEFORE OBTAINING A GRADING PERMIT.

**EROSION CONTROL LEGEND**

SYMBOL	VESCH STD #	DESCRIPTION	QUANTITY
(CE)	3.02	CONSTRUCTION ENTRANCE	1 EA.
(SF)	3.05	SILT FENCE	868 LF
(TS)(PS)(MU)	3.31,3.32,3.35	TEMPORARY & PERMENANT SEEDING, MULCHING	0.33 AC
(CIP)	3.08	CULVERT INLET PROTECTION	2 EA
(OP)	3.18	OUTLET PROTECTION	3 EA
(CD)	3.18	ROCK CHECK DAMS	19 EA

FINAL LIMITS OF DISTURBANCE = 0.73 ACRES

**VEGETATIVE PRACTICES**

1. OP - OUTLET PROTECTION - 3.18  
STRUCTURALLY LINED APRONS OR OTHER ACCEPTABLE ENERGY DISSIPATING DEVICES PLACED AT THE OUTLETS OF PIPES OR PAVED CHANNEL SECTIONS TO PREVENT SCOUR AT STORMWATER OUTLETS AND TO MINIMIZE THE POTENTIAL FOR DOWNSTREAM EROSION BY REDUCING THE VELOCITY AND ENERGY OF CONCENTRATED STORMWATER FLOWS.(SEE SHEETS C-1 THROUGH C-4

2. TS - TEMPORARY SEEDING - 3.31  
ALL DENUDED AREAS, WHICH WILL BE LEFT DORMANT FOR MORE THAN 7 DAYS, SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING.

3. PS - PERMANENT SEEDING - 3.32  
ALL FINAL-GRADED AREAS WHERE PERMANENT COVER IS DESIRED OR ROUGH-GRADED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE SHALL BE SEEDED WITH PERENNIAL VEGETATION WITHIN 7 DAYS OF REACHING FINAL GRADE.

4. MU - MULCHING - 3.35  
ALL AREAS SHALL RECEIVE MULCHING IMMEDIATELY AFTER SEEDING TO PROTECT SEED FROM WEATHER AND PREVENT EROSION FROM WATER IMPACT DIRECTLY ONTO SOIL.

5. B/M - SOIL STABILIZATION BLANKETS & MATTING - 3.36  
A PROTECTIVE COVERING (BLANKET) OR A SOIL STABILIZATION MAT WILL BE INSTALLED ON PREPARED PLANTING AREAS OF STEEP SLOPES, CHANNELS, OR SHORELINES WHERE NOTED. VDOT EC-3 SHALL BE USED ON SLOPES STEEPER THAN 2.5:1. ALL SLOPES 2.5:1 OR LESS SHALL BE HYDRO-SEEDED.

6. CE - TEMPORARY CONSTRUCTION ENTRANCE - 3.02  
A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN THE AREA SHOWN ON THE GRADING AND EROSION CONTROL SHEET.

7. SF - SILT FENCE BARRIER - 3.05  
SILT FENCE BARRIERS WILL BE INSTALLED DOWN SLOPE OF AREAS WITH MINIMAL GRADE TO FILTER SEDIMENT LADEN RUNOFF FROM SHEET FLOW

8. CIP - CULVERT INLET PROTECTION -3.08  
A SEDIMENT FILTER LOCATED AT THE INLET TO STORM SEWER CULVERTS. THIS FILTER WILL PREVENT SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSFERRED BY A CULVERT AND ASSOCIATED DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED PROJECT AREA. THE FILTER WILL ALSO PROVIDE EROSION CONTROL AT CULVERT INLETS DURING THE PHASE OF A PROJECT WHERE ELEVATION AND DRAINAGE PATTERNS CHANGE, CAUSING ORIGINAL CONTROL MEASURES TO BE INEFFECTIVE OR IN NEED OF REMOVAL.

9. CD - CHECK DAMS - 3.18  
CHECK DAMS WILL BE INSTALLED ALONG THE DITCH TO REDUCE CONCENTRATED STORMWATER FLOW VELOCITY AND PREVENT CHANNEL EROSION.

**GENERAL E&S NOTES:**

ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS.

ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE ONSITE PRECONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.

ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.

ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN & NARRATIVE, AS WELL AS A COPY OF THE LAND DISTURBING PERMIT, SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. THE EROSION AND SEDIMENT CONTROL ADMINISTRATOR WILL DELIVER THESE MATERIALS AT THE ONSITE PRECONSTRUCTION CONFERENCE.

ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.

ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.

ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING THE LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.

ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.

ES-9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY. AN INSPECTION REPORT MUST BE FILED WITH THE BOTETOURT COUNTY EROSION AND SEDIMENT CONTROL ADMINISTRATOR ONCE EVERY TWO WEEKS, BEGINNING WITH COMMENCEMENT OF THE LAND DISTURBING ACTIVITY, AND WITHIN 48 HOURS OF ANY RUNOFF-PRODUCING RAINFALL EVENT. FAILURE TO SUBMIT A REPORT WILL BE GROUNDS FOR IMMEDIATE REVOCATION OF THE LAND DISTURBING PERMIT. REPORTS MUST BE POSTMARKED WITHIN 24 HOURS OF THE DEADLINE. A STANDARD INSPECTION REPORT FORM WILL BE SUPPLIED, WHICH SHOULD BE COPIED AS NECESSARY. THE PROVISION IN NO WAY WAIVES THE RIGHTS OF BOTETOURT COUNTY PERSONNEL TO CONDUCT SITE INSPECTIONS, NOR DOES IT DENY THE RIGHT OF THE PERMITTEE(S) TO ACCOMPANY THE INSPECTOR(S).

**MAINTENANCE**

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

1. THE GRAVEL OUTLETS WILL BE CHECKED REGULARLY FOR SEDIMENT BUILDUP THAT MAY PREVENT DRAINAGE. IF THE GRAVEL IS CLOGGED BY SEDIMENT, IT SHALL BE REMOVED AND CLEANED, OR REPLACED.

2. THE SILT FENCE BARRIERS WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER.

3. THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND OF GRASS IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RE-SEEDED AS NEEDED.

**PERMANENT STABILIZATION**

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING WITHIN 7 DAYS OF REACHING FINAL GRADES. SEEDING SHALL BE DONE WITH KENTUCKY 31 TALL FESCUE ACCORDING TO STD. AND SPEC. 3.32, PERMANENT SEEDING, OF THE 1992 VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. MULCH (STRAW OR FIBER) WILL BE USED ON ALL SEEDED AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER AND LIME WILL BE APPLIED PRIOR TO MULCHING. EROSION CONTROL BLANKETS MAY BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES PROPERLY.

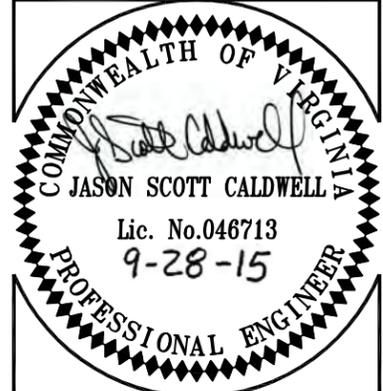
**STORMWATER MANAGEMENT**

THE SITE WILL BE CONSTRUCTED WITHIN AN EXISTING PASTURE. THE PRE AND POST DEVELOPMENT FLOW COMPARISON IS LESS THAN 1 CFS. DUE TO THE MINIMAL AMOUNT OF INCREASE TO THE SITE RUN OFF NO STORMWATER MANAGEMENT IS PROPOSED. THE EXISTING 15" RCP CAPTURING THE SPRING WILL BE RESIZED TO A 24" RCP, THIS WILL ALLOW FOR ADEQUATE CAPTURE OF RUNOFF ASSOCIATED WITH THE SPRING AND THE ENCOMPASSING DRAINAGE AREA. NO ALTERATIONS TO THE SPRING WILL BE MADE.



20 S. ROANOKE ST., PO BOX 619  
FINCASTLE, VIRGINIA 24090  
540.473.1253 FAX: 540.473.1254

**verizon**wireless  
1831 RADY COURT  
RICHMOND, VA 23222



**SITE INFO**

**PENN HOLLOW  
RAW LAND**

340 PENN HOLLOW ROAD  
BUCHANAN, VIRGINIA  
24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. CN COMM. #

**SUBMITTALS**

SYM.	DESCRIPTION	DATE
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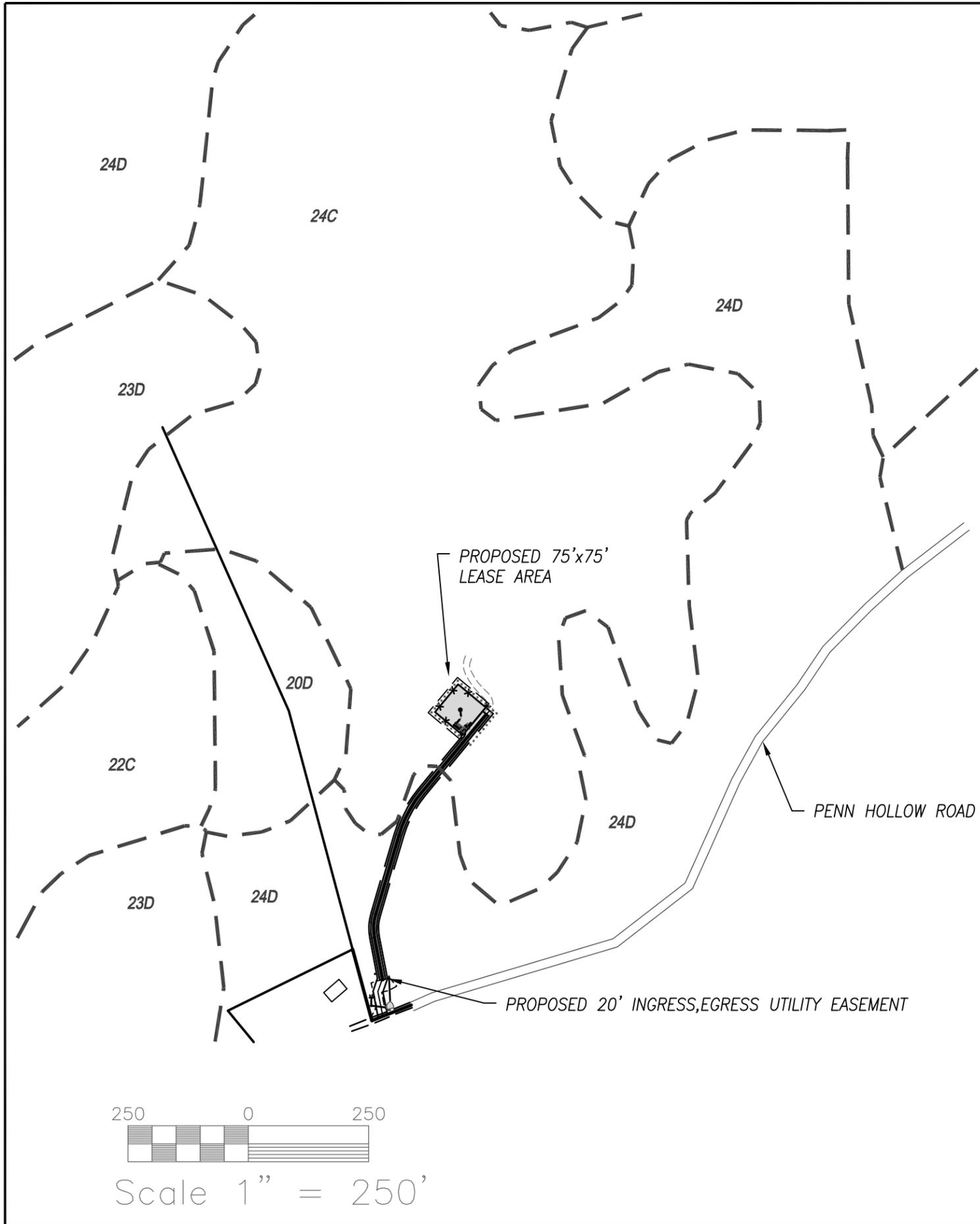
SHEET NAME:

**E & S NARRATIVE**

PROJECT No. 14032

SHEET NO.:

**N-1**



**Map unit: 20D - Frederick gravelly loam, 15 to 30 percent slopes**

**Component: Frederick (85%)**

*The Frederick component makes up 85 percent of the map unit. Slopes are 15 to 30 percent. This component is on hill slopes. The parent material consists of residuum weathered from limestone. Depth to a root restrictive layer is greater than 80 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high to high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 80 inches. Nonirrigated land capability classification is 4e. This soil is hydrologic soil group (B)*

**Map unit: 22C - Frederick gravelly loam, 7 to 15 percent slopes**

**Component: Frederick (85%)**

*The Frederick component makes up 85 percent of the map unit. Slopes are 7 to 15 percent. This component is on hill summits. The parent material consists of residuum weathered from limestone. Depth to a root restrictive layer is greater than 80 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high to high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 80 inches. Nonirrigated land capability classification is 3e. This soil is hydrologic soil group (B)*

**Map unit: 23D - Frederick very gravelly loam, 15-30 percent slopes**

**Component: Frederick (75%)**

*The Frederick component makes up 75 percent of the map unit. Slopes are 15 to 30 percent. This component is on hill slopes. The parent material consists of residuum weathered from limestone. Depth to a root restrictive layer is greater than 80 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high to high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 80 inches. Nonirrigated land capability classification is 6s. This soil is hydrologic soil group (B)*

**Map unit: 24C - Frederick loam, 7 to 15 percent slopes, very rocky**

**Component: Frederick (80%)**

*The Frederick component makes up 80 percent of the map unit. Slopes are 7 to 15 percent. This component is on hill summits and side slopes. The parent material consists of residuum weathered from limestone. Depth to a root restrictive layer is greater than 80 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 80 inches. Nonirrigated land capability classification is 3e. The soil is hydrologic soil group (B).*

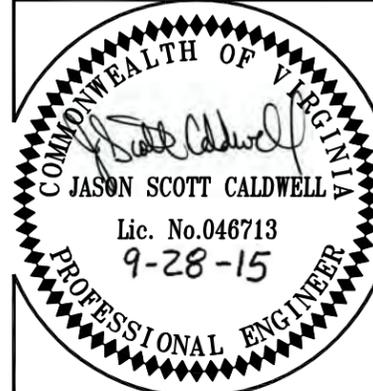
**Map unit: 24D - Frederick loam, 15 to 30 percent slopes, very rocky**

**Component: Frederick (80%)**

*The Frederick component makes up 80 percent of the map unit. Slopes are 15 to 30 percent. This component is on hillslopes and sideslopes. The parent material consists of residuum weathered from limestone. Depth to a root restrictive layer is greater than 80 inches. The natural drainage class is well drained. Water movement in the most restrictive layer is moderately high. Shrink-swell potential is low. This soil is not flooded. It is not ponded. There is no zone of water saturation within a depth of 80 inches. Nonirrigated land capability classification is 4e. This soil is hydrologic soil group (B).*



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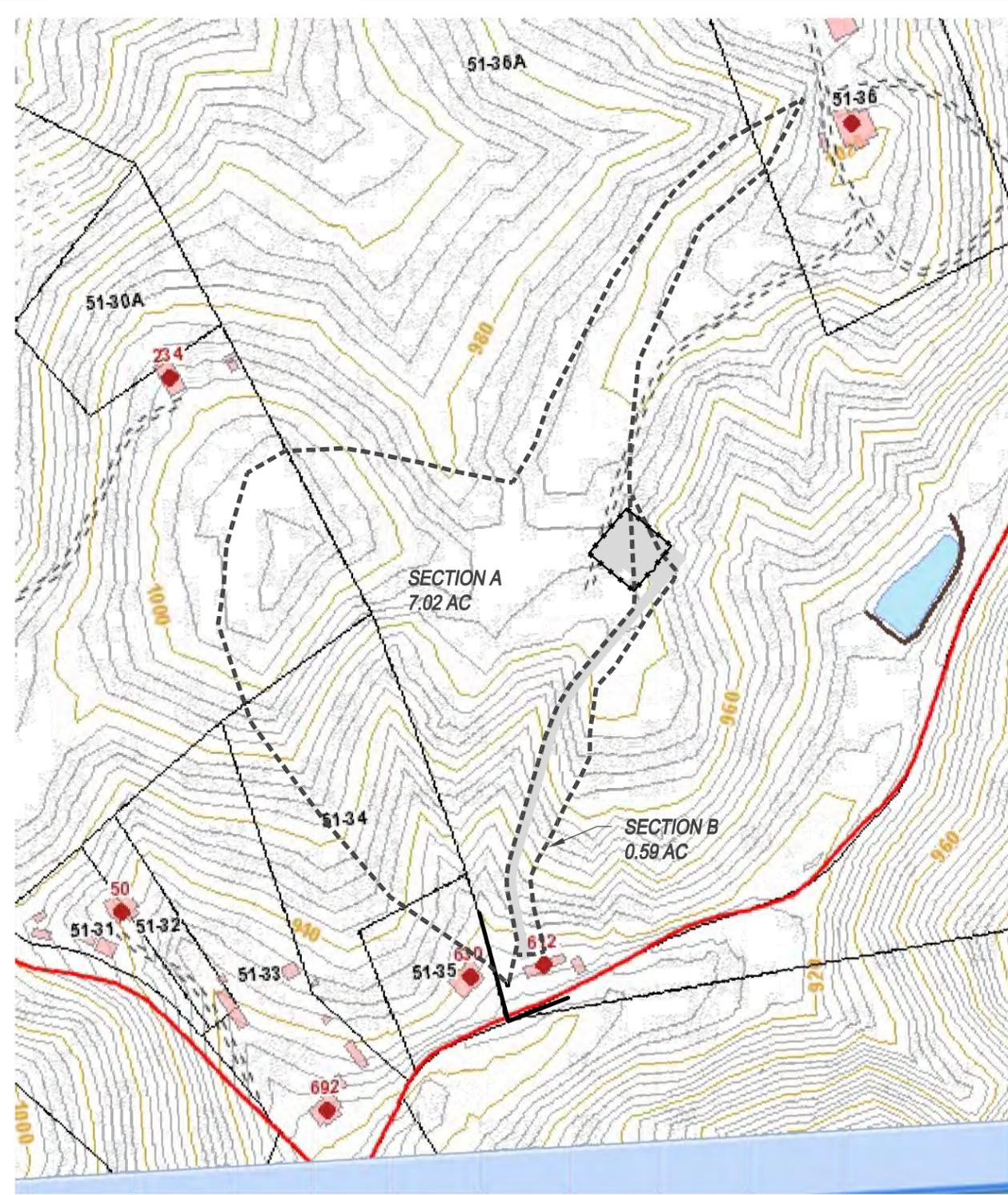
SHEET NAME:

**SOILS MAP**

PROJECT No. 14032

SHEET NO.:

**N-2**



Botetourt County Verizon Site- Penn Hollow Raw Land 6400 sf lease area  
Engineering Concepts, Inc. 14032

Existing Site Conditions Weighted C Value					
Type of Area	Area SF.	Area Ac.	C Value	C*Area	
Existing Pasture (Proposed Access)	11,147.00	0.26	0.45	0.12	(Pasture)
Existing Pasture (Proposed Lease Area)	6,400.00	0.15	0.45	0.07	(Pasture)
Pasture	14,260.00	0.33	0.45	0.15	
Wooded	-	0.00	0.3	0.00	
Impervious	-	0.00	0.9	0.00	Weighted C Value
	31,807.00	0.73	2.55	0.33	0.45

Proposed Site Conditions Weighted C Value					
Type of Area	Area SF.	Area Ac.	C Value	C*Area	
Proposed Access (Existing Pasture)	11,147.00	0.26	0.7	0.18	
Proposed Lease Area (Existing pasture)	6,105.00	0.14	0.7	0.10	
Grass	14,260.00	0.33	0.45	0.15	
Wooded	-	0.00	0.3	0.00	
Impervious	295.00	0.01	0.9	0.01	Weighted C Value
	31,807.00	0.73	3.05	0.43	0.59

Flows Existing Site Drainage Weighted C Value									
	Intensity 2yr.	Intensity 10yr.	Intensity 25yr.	Intensity 100yr.	Acreage	Q 2yr.	Q 10yr.	Q 25yr.	Q 100yr.
Weighted C Value	0.45	5.34	6.22	7.87	0.73	2.6	3.0	3.8	4.6

Flows Proposed Site Drainage Weighted C Value									
	Intensity 2yr.	Intensity 10yr.	Intensity 25yr.	Intensity 25yr.	Acreage	Q 2yr.	Q 10yr.	Q 25yr.	Q 100yr.
Weighted C Value	0.59	5.34	6.22	7.87	0.73	3.1	3.6	4.5	5.4

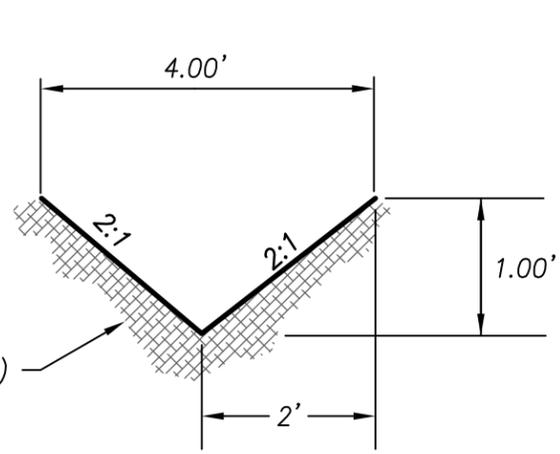
Q2exist - Q10prop	-1.0	Q10 Difference	-0.5
Q10exist - Q25prop	-1.5		

C_{impervious} = 0.90  
 C_{pervious} = 0.45 .45 used for pasture  
 l_z = 5.34  
 l₁₀ = 6.22 (Worse case T_c = 5 min. Botetourt County)

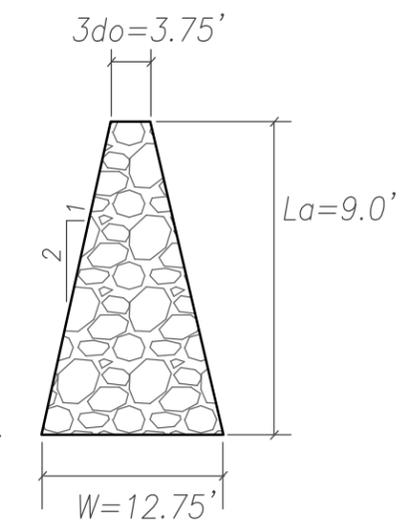
Structure	A _{impervious}	A _{pervious}	A _{total}	C _{weighted}	Q ₂	Q ₁₀	EROSION		CAPACITY	
							Velocity 2yr (fps)	Slope Percent	Velocity 10yr (fps)	Slope Percent
Pipe A	0.08	6.94	7.02	0.46	17.1	19.9				
Pipe B	0.26	0.33	0.59	0.65	2.0	2.4				
Ditch B	0.26	0.33	0.59	0.65	2.0	2.4	5.41	16.5	3.12	3

**PIPE A CAPTURES THE FLOW FROM SECTION A AND DITCH B AND PIPE B CAPTURE THE FLOW FROM SECTION B**

Q₁₀ used to size culvert  
 Q₂ used for ditch velocity



TYPICAL DITCH SECTION  
NTS



15" CULVERT  
DEPTH OF STONE = 9"

OUTFALL PROTECTION DETAIL

Scale 1" = 200'



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**SITE INFO**  
**PENN HOLLOW  
 RAW LAND**  
 340 PENN HOLLOW ROAD  
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 24066  
 BOTETOURT COUNTY

DESIGN: MSM  
 DRAWN: MSM  
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SHEET NAME:  
**DRAINAGE MAP**

PROJECT No. 14032

SHEET NO.:  
**N-3**

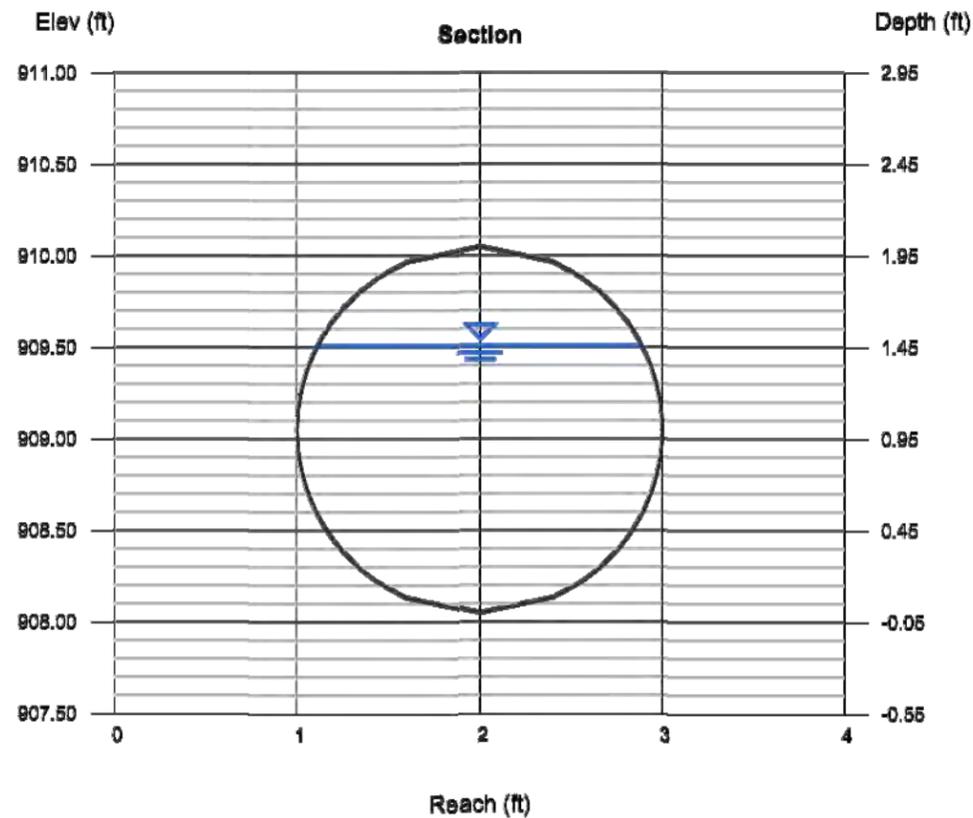
### Channel Report

Hydrflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Thursday, Apr 17 2014

#### Existing 15in RCP resized to 24in RCP Q10

<b>Circular</b>			<b>Highlighted</b>	
Diameter (ft)	=	2.00	Depth (ft)	= 1.48
			Q (cfs)	= 19.90
			Area (sqft)	= 2.46
Invert Elev (ft)	=	908.05	Velocity (ft/s)	= 8.09
Slope (%)	=	1.00	Wetted Perim (ft)	= 4.10
N-Value	=	0.013	Crit Depth, Yc (ft)	= 1.61
			Top Width (ft)	= 1.77
			EGL (ft)	= 2.48
<b>Calculations</b>				
Compute by:		Known Q		
Known Q (cfs)	=	19.90		



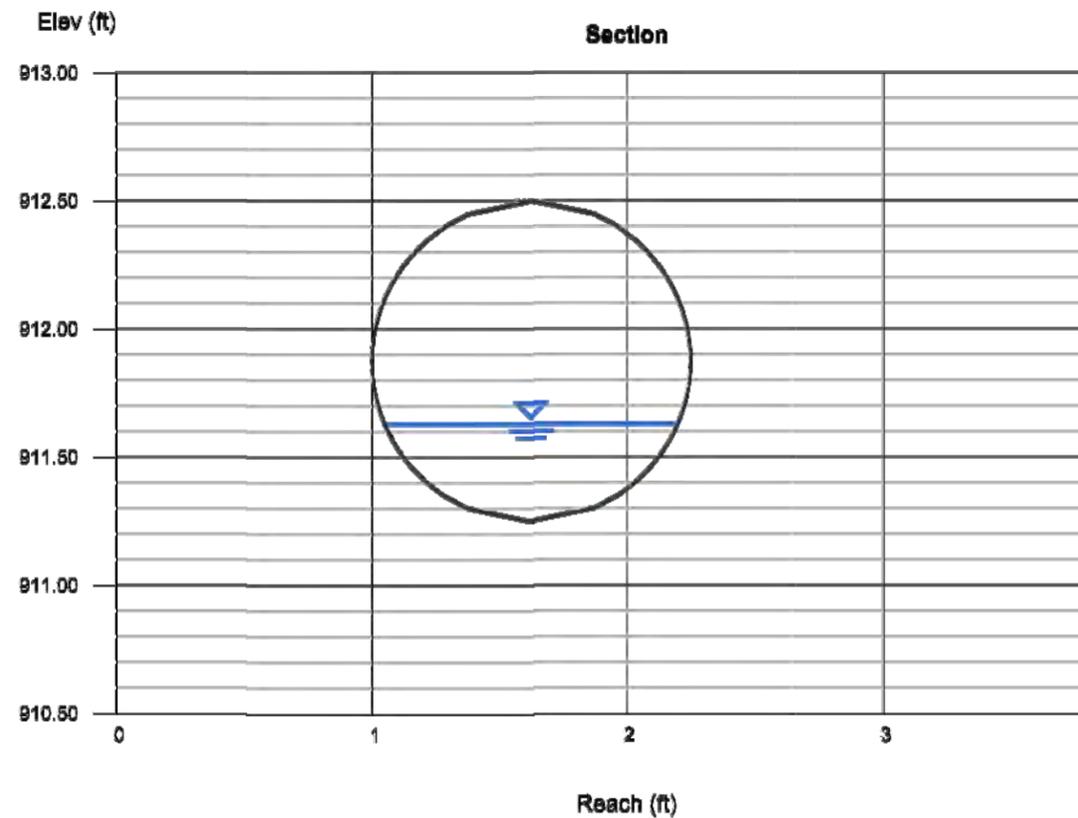
### Channel Report

Hydrflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Wednesday, Apr 18 2014

#### Proposed 15in Q10

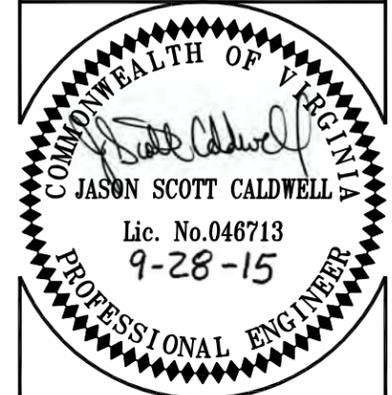
<b>Circular</b>			<b>Highlighted</b>	
Diameter (ft)	=	1.25	Depth (ft)	= 0.38
			Q (cfs)	= 2.40
			Area (sqft)	= 0.32
Invert Elev (ft)	=	911.25	Velocity (ft/s)	= 7.58
Slope (%)	=	8.40	Wetted Perim (ft)	= 1.48
N-Value	=	0.020	Crit Depth, Yc (ft)	= 0.62
			Top Width (ft)	= 1.15
			EGL (ft)	= 1.27
<b>Calculations</b>				
Compute by:		Known Q		
Known Q (cfs)	=	2.40		



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SHEET NAME:

**CALCS**

PROJECT No. 14032

SHEET NO.:

**N-4**

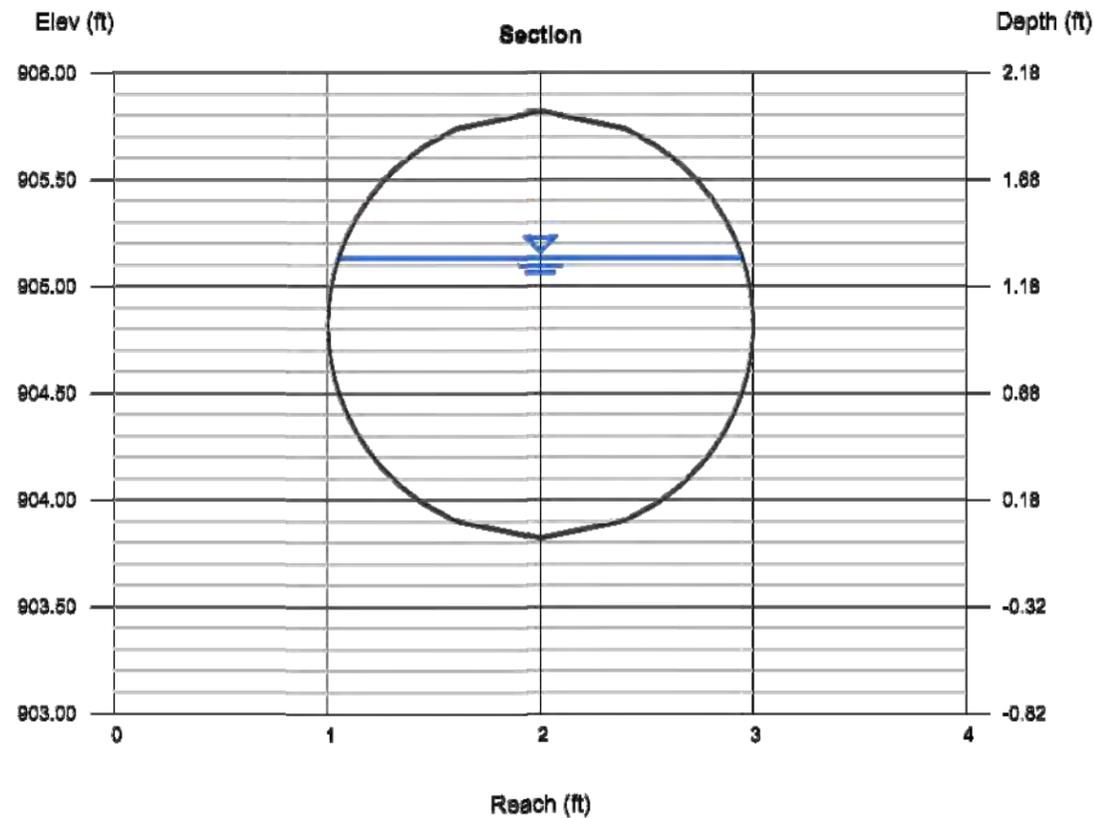
### Channel Report

Hydrflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Thursday, Apr 17 2014

#### Existing 24in RCP under Penn Hollow Road Q10 from Section A & B Combined

<b>Circular</b>		<b>Highlighted</b>	
Diameter (ft)	= 2.00	Depth (ft)	= 1.31
		Q (cfs)	= 22.40
		Area (sqft)	= 2.19
Invert Elev (ft)	= 903.82	Velocity (ft/s)	= 10.24
Slope (%)	= 1.87	Wetted Perim (ft)	= 3.78
N-Value	= 0.013	Crit Depth, Yc (ft)	= 1.69
		Top Width (ft)	= 1.90
		EGL (ft)	= 2.94
<b>Calculations</b>			
Compute by:	Known Q		
Known Q (cfs)	= 22.40		



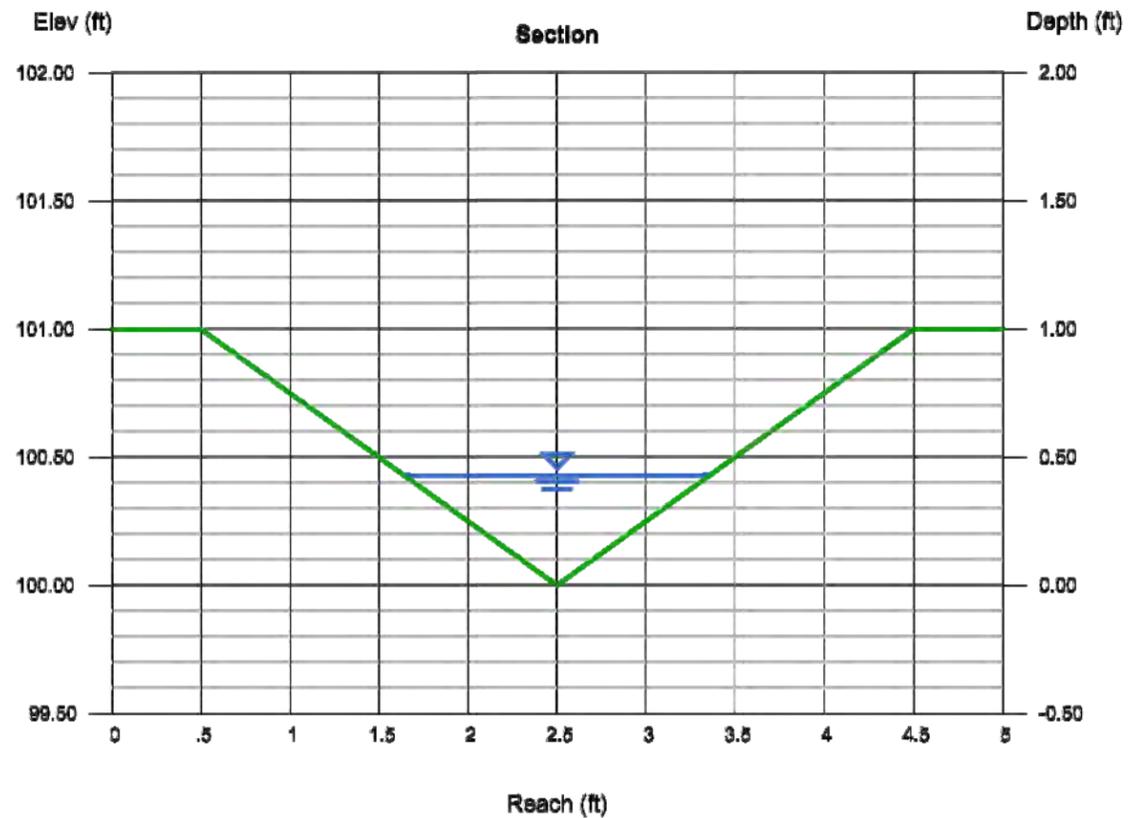
### Channel Report

Hydrflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Wednesday, Apr 18 2014

#### Proposed Ditch B Q2

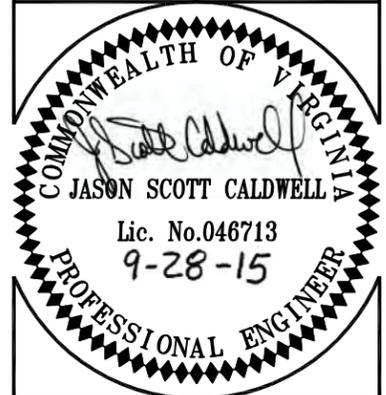
<b>Triangular</b>		<b>Highlighted</b>	
Side Slopes (z:1)	= 2.00, 2.00	Depth (ft)	= 0.43
Total Depth (ft)	= 1.00	Q (cfs)	= 2.000
		Area (sqft)	= 0.37
Invert Elev (ft)	= 100.00	Velocity (ft/s)	= 5.41
Slope (%)	= 18.50	Wetted Perim (ft)	= 1.92
N-Value	= 0.035	Crit Depth, Yc (ft)	= 0.58
		Top Width (ft)	= 1.72
		EGL (ft)	= 0.88
<b>Calculations</b>			
Compute by:	Known Q		
Known Q (cfs)	= 2.00		



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**SITE INFO**

**PENN HOLLOW  
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 BUCHANAN, VIRGINIA  
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BOTETOURT COUNTY

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SYM.	DESCRIPTION	DATE
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SHEET NAME:

**CALCS  
 (CONTINUED)**

PROJECT No. 14032

SHEET NO.:

**N-5**

# Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

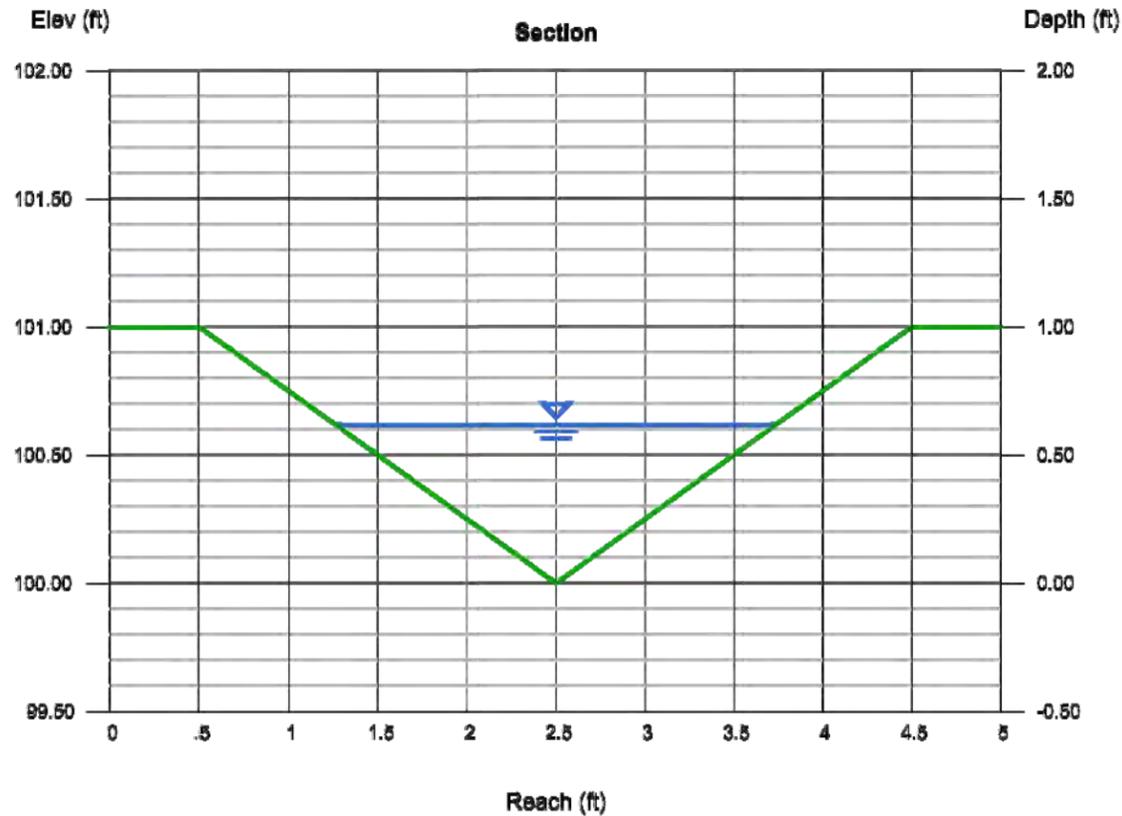
Wednesday, Apr 18 2014

## Proposed Ditch B Q10

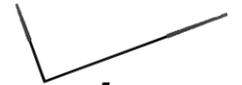
**Triangular**  
 Side Slopes (z:1) = 2.00, 2.00  
 Total Depth (ft) = 1.00  
 Invert Elev (ft) = 100.00  
 Slope (%) = 3.00  
 N-Value = 0.035

**Calculations**  
 Compute by: Known Q  
 Known Q (cfs) = 2.40

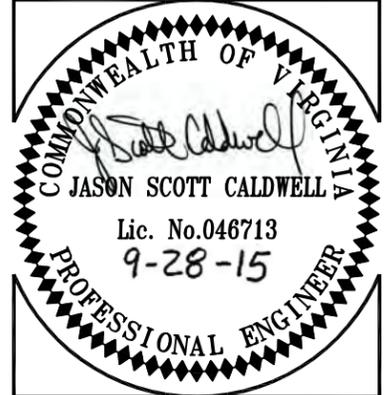
**Highlighted**  
 Depth (ft) = 0.82  
 Q (cfs) = 2.400  
 Area (sqft) = 0.77  
 Velocity (ft/s) = 3.12  
 Wetted Perim (ft) = 2.77  
 Crit Depth, Yc (ft) = 0.62  
 Top Width (ft) = 2.48  
 EGL (ft) = 0.77



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 (CONTINUED)**

PROJECT No. 14032

SHEET NO.:

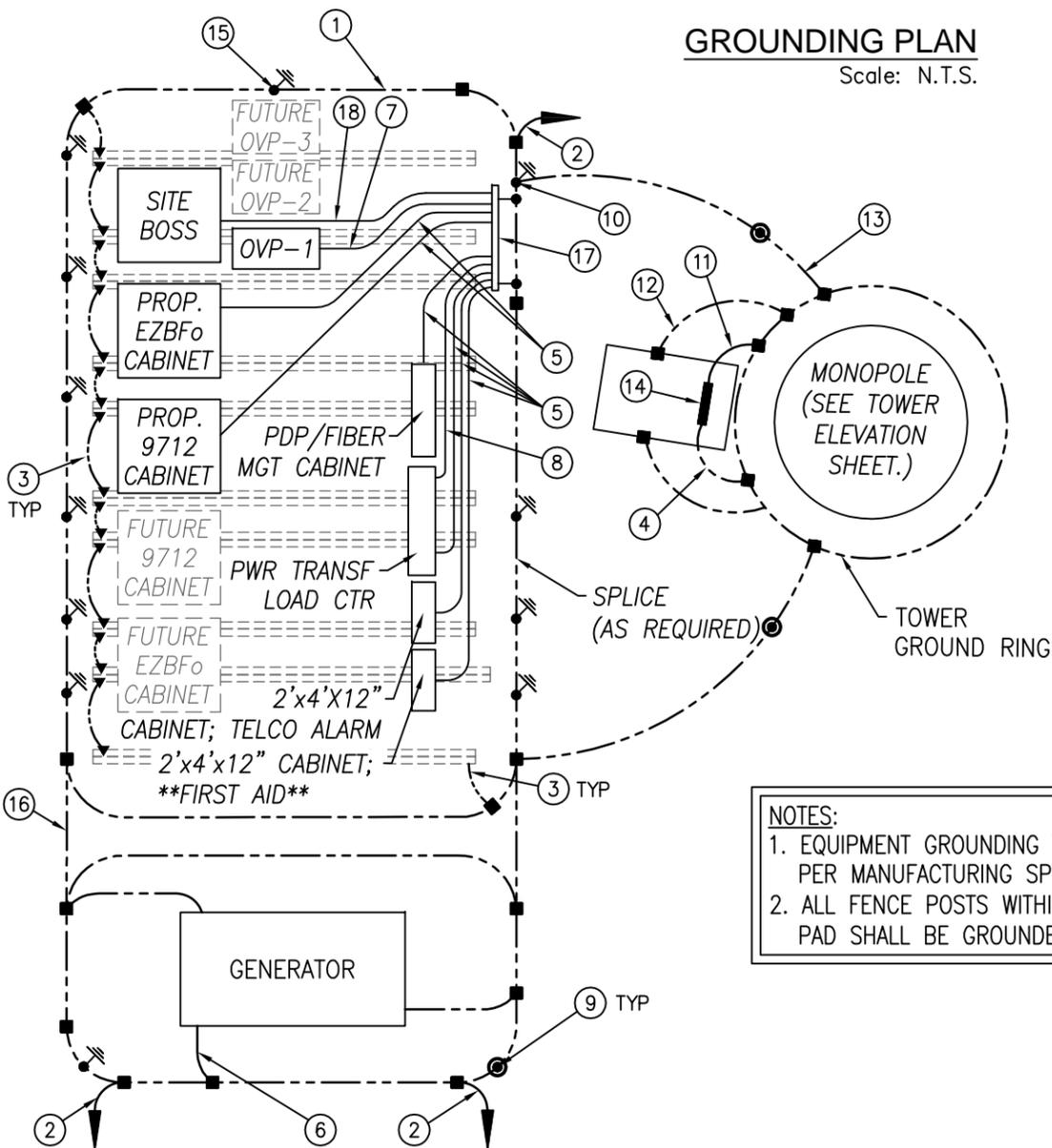
**N-6**

**CODED DRAWING NOTES:**

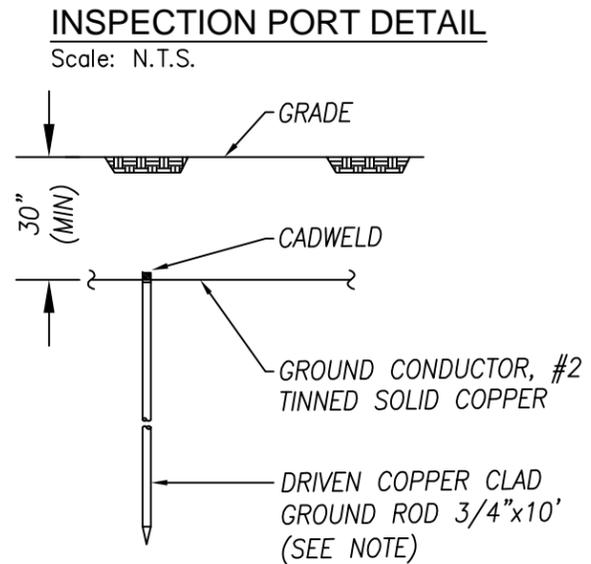
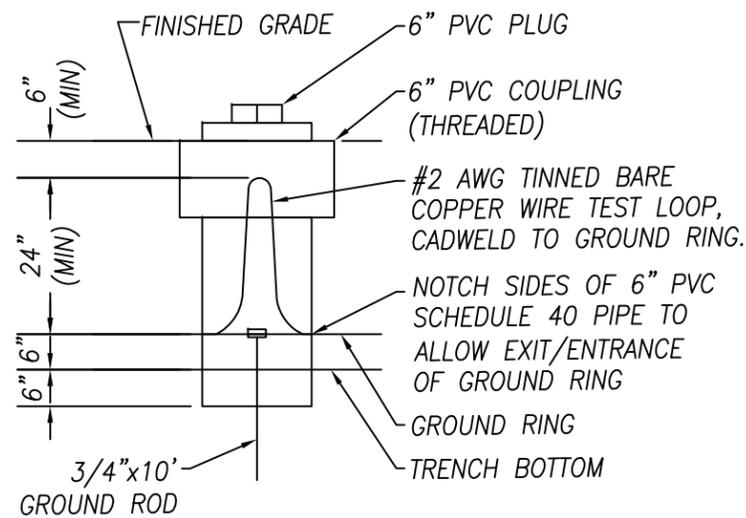
- ① #2 BARE, TINNED SOLID COPPER GROUND 30" BELOW GRADE (MIN).
- ② CONNECT TO COMPOUND FENCING/PERIMETER GROUND RING.
- ③ BOLT GROUNDING WIRE TO EACH BEAM AND CONNECT TO GROUND RING AT OPPOSITE CORNERS OF EQUIPMENT PLATFORM.
- ④ LEAD FROM ICE BRIDGE TO BOTTOM OF TOWER GROUND BAR.
- ⑤ #2 COPPER GROUND WIRE FROM EQUIPMENT TO GROUND BAR.
- ⑥ #2 GROUND CONDUCTOR TO GENERATOR GROUND BAR.
- ⑦ GROUND LEAD FROM OVP GROUNDING KIT.
- ⑧ GROUND LEAD FROM PANELBOARD PP-1.
- ⑨ INSPECTION PORT 6" DIA. PVC SCHED. 40 WITH COUPLING & CAP (2 REQ'D) OPPOSITE ENDS (TYP OF 2). SEE DETAIL, THIS SHEET.

- ⑩ CADWELD CONNECTION (TYP).
- ⑪ CADWELD TO TOWER BOTTOM GROUND BAR (TYP OF 2).
- ⑫ CADWELD TO ICE BRIDGE POST (TYP OF 4).
- ⑬ CADWELD TO TOWER GROUND RING (TYP OF 2).
- ⑭ TIN COATED TOWER GROUND BAR FASTENED WITH THEFT PROOF STAINLESS STEEL HARDWARE.
- ⑮ GROUND ROD. SEE DETAIL, THIS SHEET.
- ⑯ #2 BARE, TINNED SOLID COPPER GROUND 30" BELOW GRADE (MIN). BOND GENERATOR GROUND RING TO EQUIPMENT GROUND RING.
- ⑰ COLLECTOR GROUND BAR.
- ⑱ GROUND LEAD FROM SITE BOSS

- Ⓜ METER SOCKET CENTER BY THIS CONTRACT. METER BY POWER COMPANY.
- ⊕ GROUND ROD
- ⊙ INSPECTION WELL
- COMPRESSION LUG CONNECTION
- ▲ BOLTED CONNECTION
- EXOTHERMIC WELDED CONNECTOR
- UNDERGROUND ELECTRIC/TELEPHONE BY THIS CONTRACT
- GROUNDING WIRE
- Ⓧ DWG NO WHERE DETAIL IS SHOWN
- Ⓧ DWG NO WHERE DETAIL IS TAKEN
- # CODED DRAWING NOTE



**NOTES:**  
 1. EQUIPMENT GROUNDING TO BE INSTALLED PER MANUFACTURING SPECIFICATIONS.  
 2. ALL FENCE POSTS WITHIN 6' OF EQUIPMENT PAD SHALL BE GROUNDING.



NOTE: PROVIDE ADDITIONAL GROUND RODS AS REQUIRED TO ACHIEVE MAXIMUM 5 OHMS RESISTANCE.

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1831 RADY COURT  
 RICHMOND, VA 23222

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COMMONWEALTH OF VIRGINIA  
 HAL T. BAILEY, SR.  
 Lic. No. 021859  
 9-28-15  
 PROFESSIONAL ENGINEER

---

**SITE INFO**

**PENN HOLLOW  
 RAW LAND**

340 PENN HOLLOW ROAD  
 BUCHANAN, VIRGINIA  
 24066

BOTETOURT COUNTY

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DESIGN: MSM  
 DRAWN: MSM  
 REVIEW: JSC  
 TTV DATE:  
 COMM. NO. CN COMM. #

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**SUBMITTALS**

SYM.	DESCRIPTION	DATE
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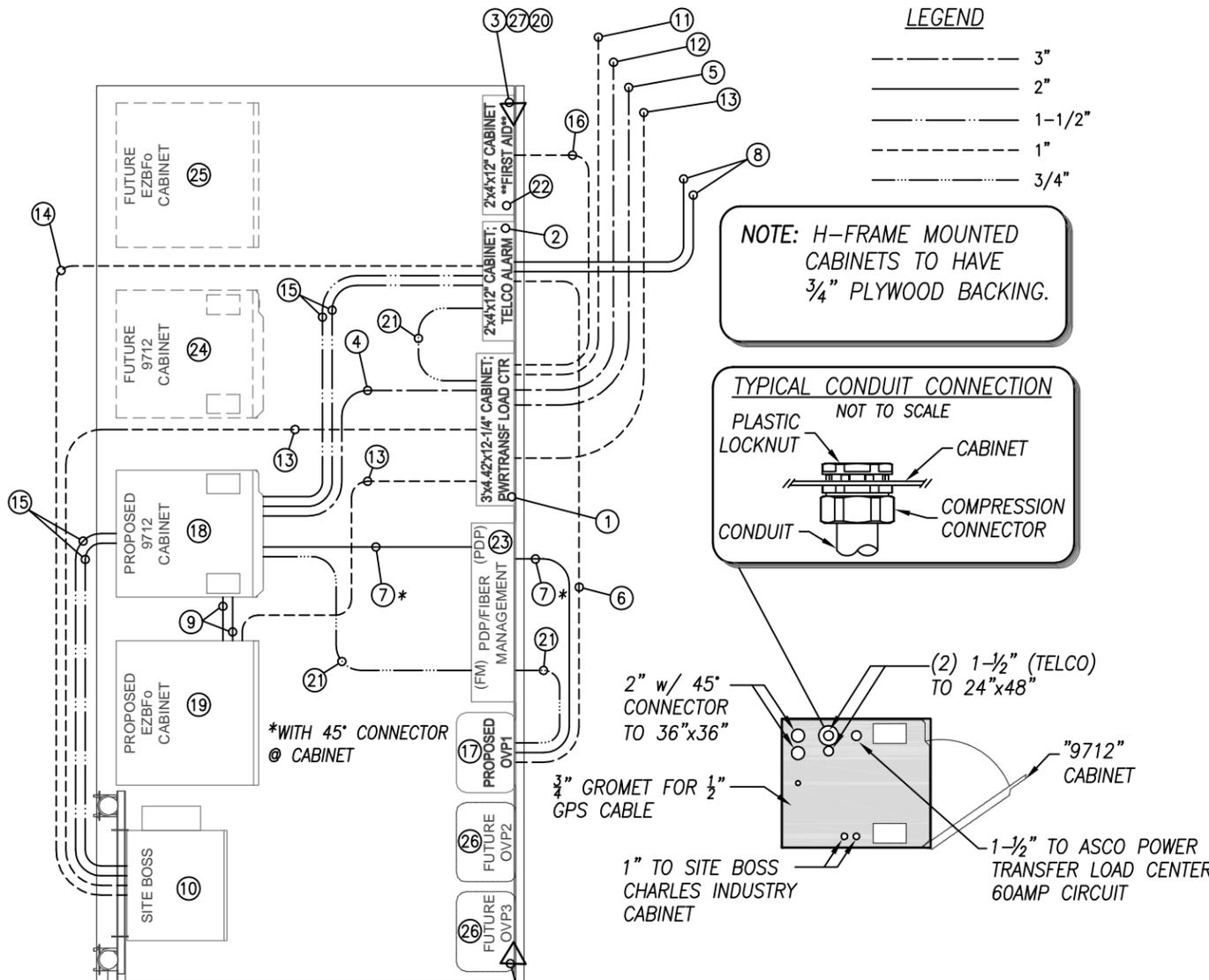
SHEET NAME:  
**SITE GROUNDING  
 PLAN**

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PROJECT No. 14032

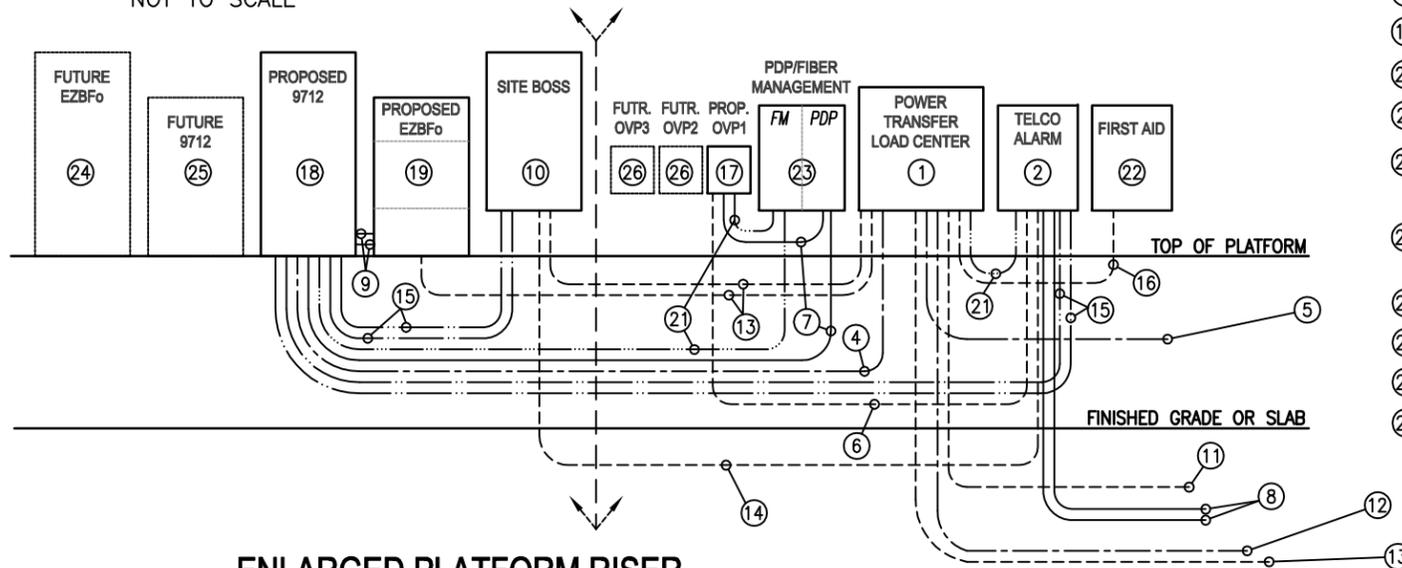
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SHEET NO.:  
**E-1**



**ENLARGED PLATFORM PLAN**

NOT TO SCALE



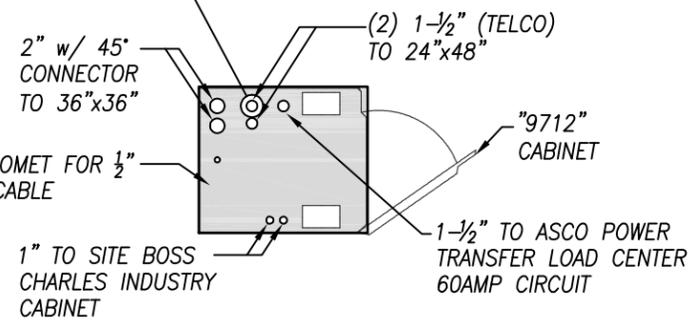
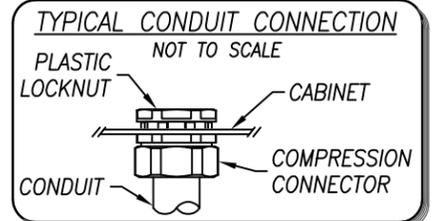
**ENLARGED PLATFORM RISER**

NOT TO SCALE

**LEGEND**

- 3"
- 2"
- 1-1/2"
- 1"
- 3/4"

**NOTE: H-FRAME MOUNTED CABINETS TO HAVE 3/4" PLYWOOD BACKING.**



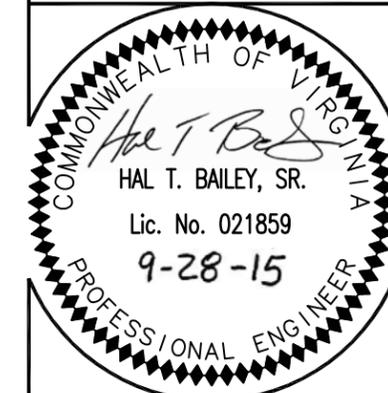
1/8" STEEL PLATE UNDER 9712 CABINET AS A RODENT BARRIER - HOLES DRILLED AS NOTED

**CONSTRUCTION NOTES**

- ① ASCO POWER TRANSFER LOAD CENTER, D300L SERIES; 36"x53"x12.25" CABINET (NEMA 3R W/ 3/4" PLYWOOD BACKING); CONTAINS:  
(A) 200A 120/240V, 1 PHASE-3WIRE, MLO, PANELBOARD PP-1, NEMA 3R 42 POLE. PROVIDE BRANCH BREAKERS AS REQUIRED FOR EQUIPMENT.  
(B) 200A, 1 PHASE, NEMA 3R, AUTOMATIC TRANSFER SWITCH.  
(C) SURGE PROTECTIVE DEVICE, 30A 2-PHASE CIRCUIT BREAKER WITH #10 CONDUCTORS.
- ② 24"x48"x12" CABINET (NEMA 3R W/ 3/4" PLYWOOD BACKING); CONTAINS TELCO ALARMS.
- ③ 4" NEMA 3R JUNCTION BOX MOUNTED ON ICE BRIDGE WITH WEATHER TIGHT 100W LIGHT FIXTURE. CONTROLLED BY SWITCH MOUNTED ON H-FRAME POST.
- ④ 3/8" AND #8 GROUND - 3" CONDUIT, FED FROM 60A, 2-POLE BREAKER.
- ⑤ (3) #3/0, 1#6 GROUND, 3" CONDUIT FOR VERIZON ELECTRICAL SERVICE IN CONDUIT.
- ⑥ 1" CONDUIT FOR OVP ALARM CIRCUIT.
- ⑦ 2" CONDUIT WITH MULE TAPE PULL STRING FOR DC POWER TO PDP SIDE OF THE PDP/FIBER MANAGEMENT CABINET.
- ⑧ (2) 2" PVC CONDUIT WITH MULETAPE AND PULL STRING FOR TELCO SERVICE FEEDER. RUN MIN. 30" BELOW FINISHED GRADE.
- ⑨ 2" CONDUIT
- ⑩ SITE BOSS
- ⑪ (6) #12 IN 1" PVC (SCH. 40) FROM VERIZON WIRELESS ATS TO GENERATOR FOR CONTROL CIRCUITS. RUN MIN 30" BELOW FINISHED GRADE.
- ⑫ (3) #3/0, 1#6 GROUND IN 3" CONDUIT FOR STANDBY POWER GENERATOR SERVICE.
- ⑬ (2) #2#10, 1#10 GROUND AND BRANCH CIRCUITS IN 1" PVC CONDUIT FOR GENERATOR CHARGER AND JACKET HEATER. PROVIDE CONNECTION TO SPARE 20A/1-PHASE CB IN PANEL PP-1 FOR EACH BRANCH CIRCUIT.
- ⑭ (3) CAT-5 CABLES IN 1" PVC CONDUIT FOR ALARM CIRCUITS. RUN MIN. 30" BELOW FINISHED GRADE. COORDINATE FINAL TERMINATIONS PRIOR TO INSTALLATION.
- ⑮ 1-1/2" CONDUIT FOR ALARMS/FIBER.
- ⑯ 1" CONDUIT FOR HEATER CIRCUIT.
- ⑰ PROPOSED OVER VOLTAGE PROTECTIVE DEVICE.
- ⑱ PROPOSED 9712 CABINET.
- ⑲ PROPOSED EZBFo.
- ⑳ GFCI OUTLET.
- ㉑ (1) 3/4" CONDUIT WITH PULLWIRE FOR ALARM CIRCUITS.
- ㉒ 24"x48"x12" CABINET (NEMA 3R W/ 3/4" PLYWOOD BACKING) W/ 120 VOLT HEATER & (2) 20 AMP GFCI RECEPTACLES; CONTAINS FIRST AID KIT & (2) WALL FILE HOLDERS.
- ㉓ 36"x36"x12" PDP/FIBER MANAGEMENT BOX WITH CENTER DIVIDER; NEMA 3R w/ 3/4" PLYWOOD BACKING.
- ㉔ FUTURE 9712 CABINET.
- ㉕ FUTURE EZBFo CABINET.
- ㉖ FUTURE OVER VOLTAGE PROTECTION DEVICE.
- ㉗ 3-WAY SWITCH



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BUCHANAN, VIRGINIA  
24066

BOTETOURT COUNTY

DESIGN: MSM

DRAWN: MSM

REVIEW: JSC

TTV DATE:

COMM. NO. CN COMM. #

**SUBMITTALS**

SYM.	DESCRIPTION	DATE
△	PRELIMINARY	4/7/14
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SHEET NAME:

**PLATFORM  
ELECTRICAL PLAN**

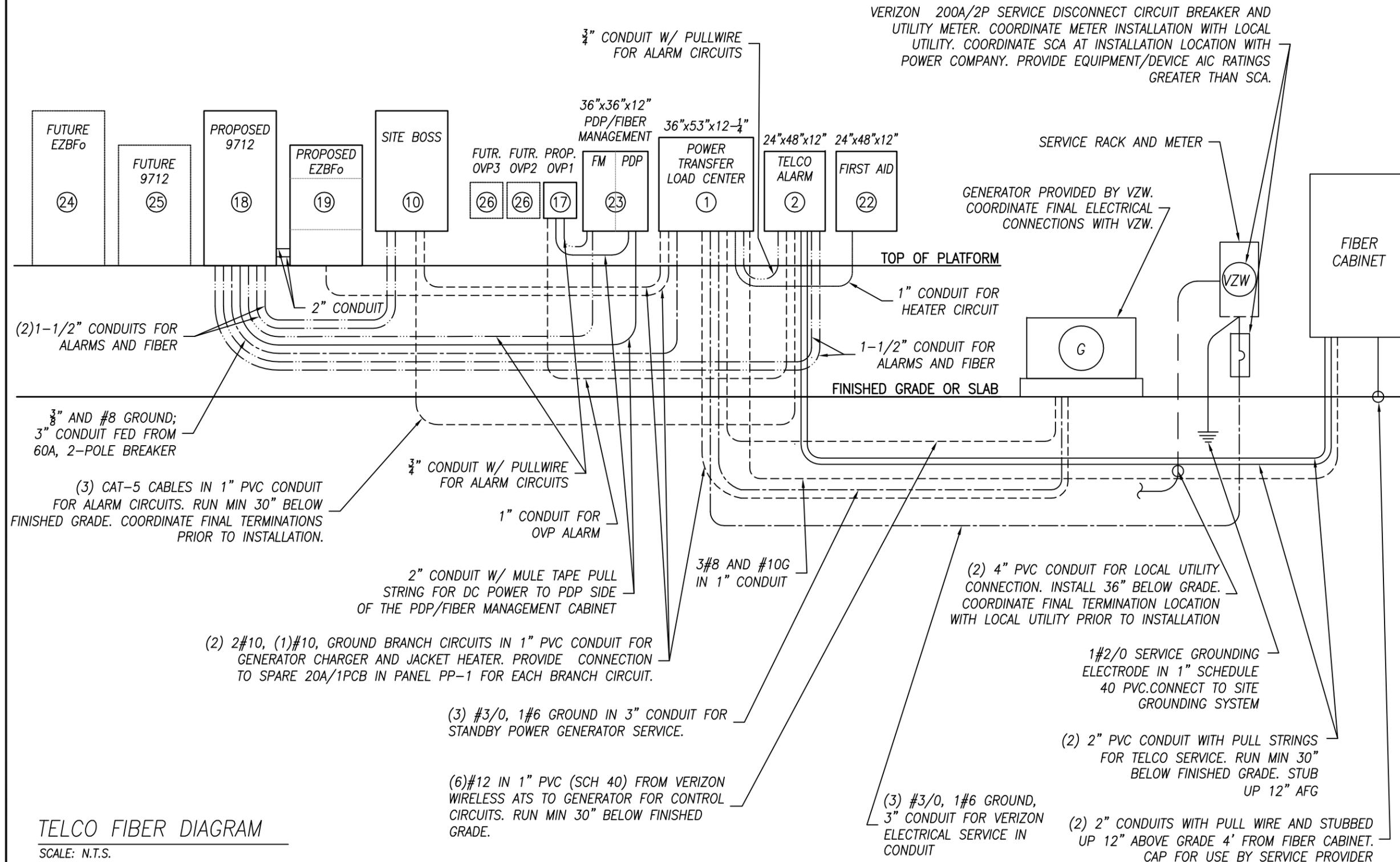
PROJECT No. 14032

SHEET NO.:

**E-2**

**LEGEND**

- 3"
- 2"
- 1-1/2"
- 1"
- 3/4"

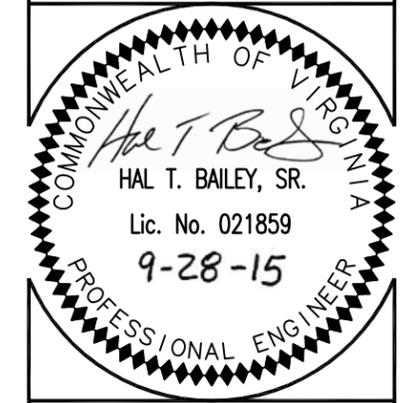


**TELCO FIBER DIAGRAM**  
SCALE: N.T.S.



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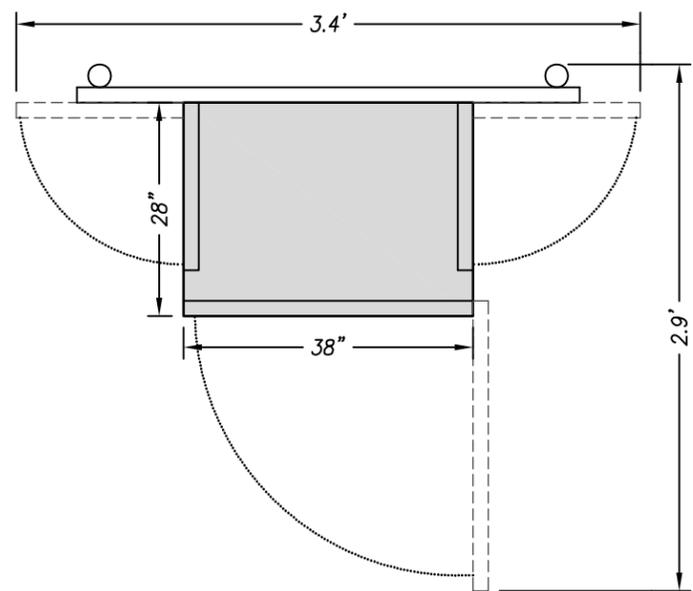
**SITE INFO**  
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**SUBMITTALS**

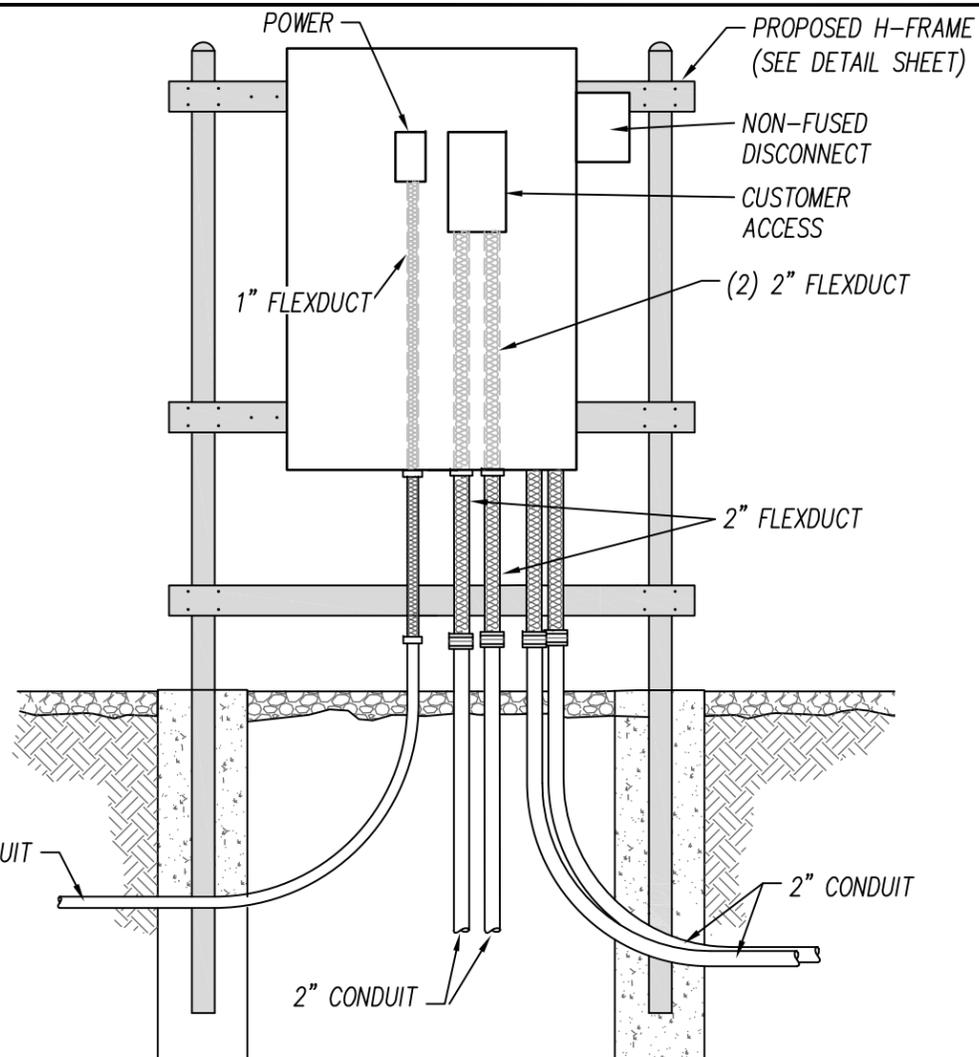
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SHEET NAME:  
**TELCO FIBER  
DIAGRAM**  
  
PROJECT No. 14032  
SHEET NO.:

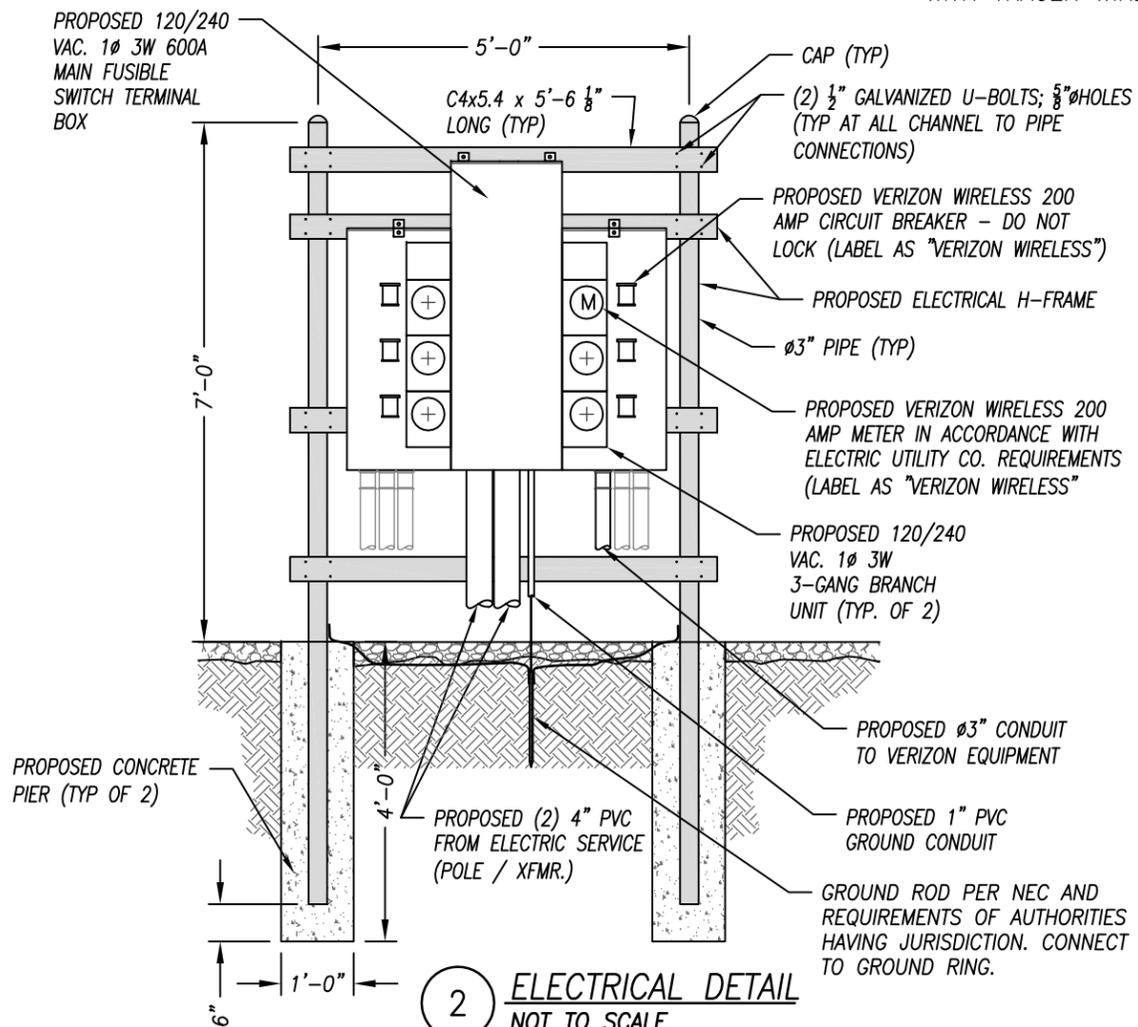


4 MESA CABINET DOOR SWING DETAIL  
NOT TO SCALE

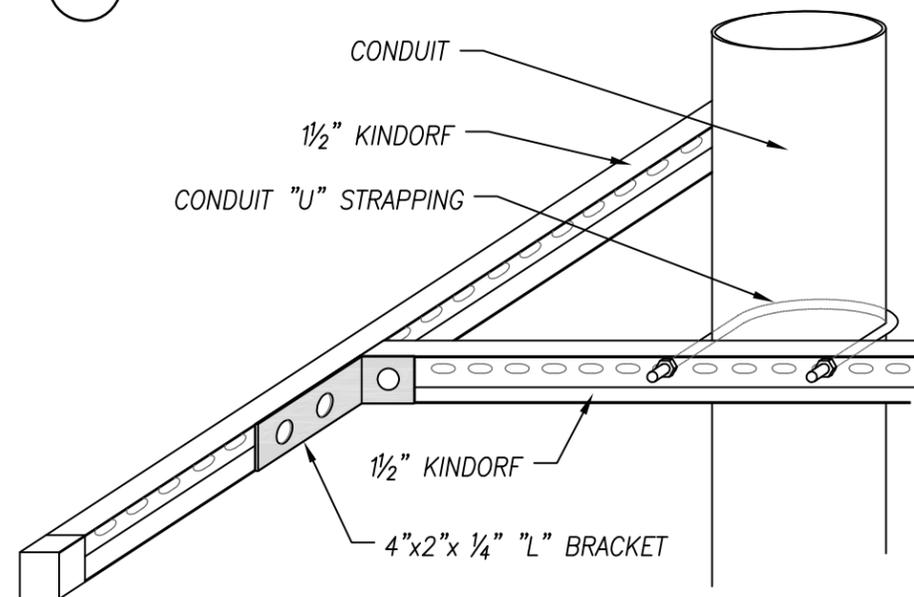
NOTE:  
ALL CONDUITS SHALL BE FITTED  
WITH TRACER WIRE AND MULE TAPE.



1 VERIZON MESA CABINET



2 ELECTRICAL DETAIL  
NOT TO SCALE

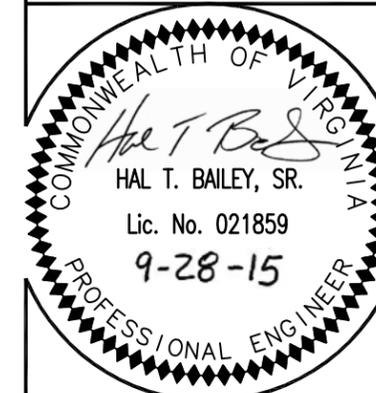


3 CONDUIT SUPPORT BRACKET  
NOT TO SCALE



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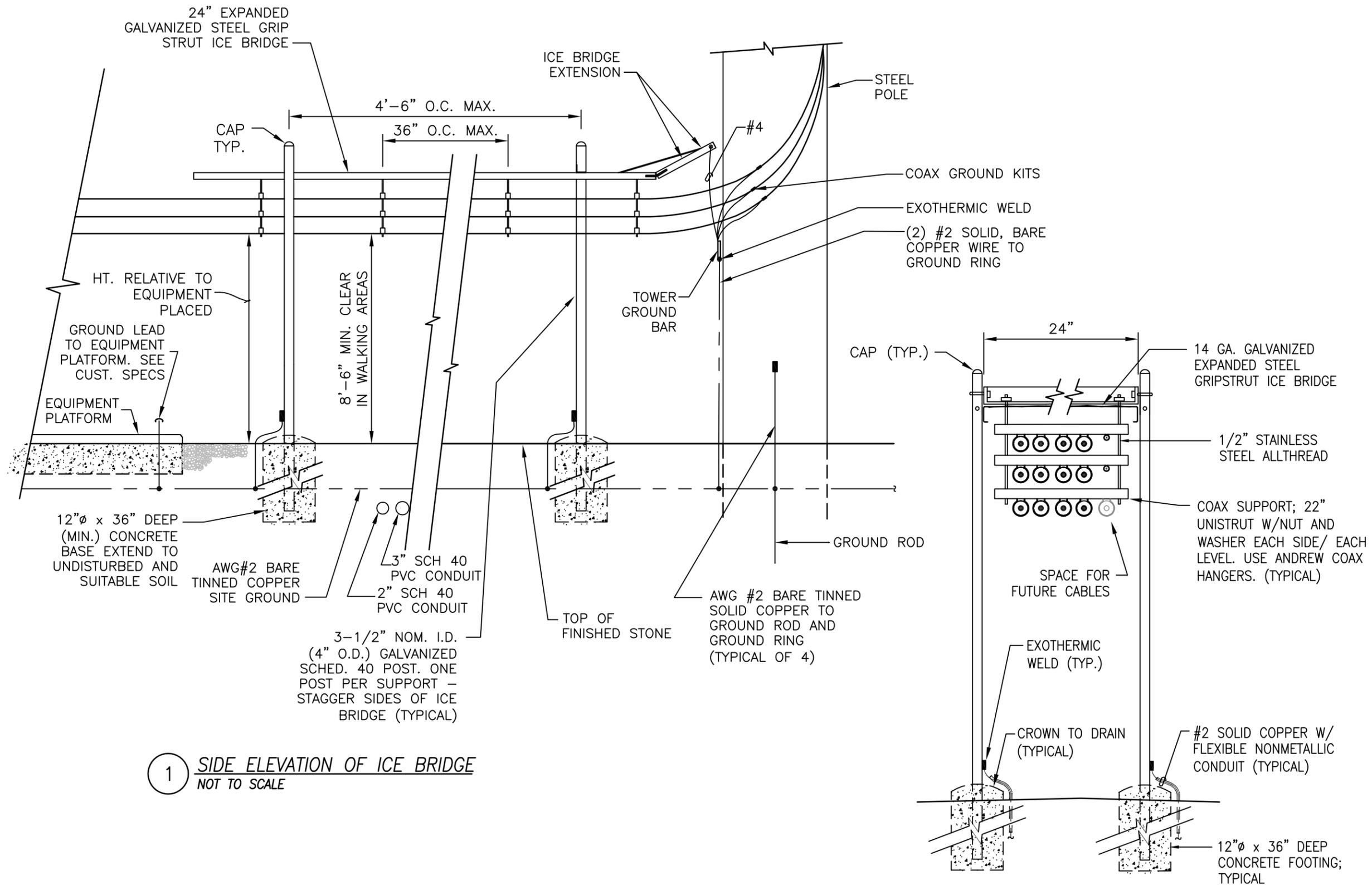
SHEET NAME:

**ELECTRICAL  
SERVICE DETAILS**

PROJECT No. 14032

SHEET NO.:

**E-4**



1 SIDE ELEVATION OF ICE BRIDGE  
NOT TO SCALE

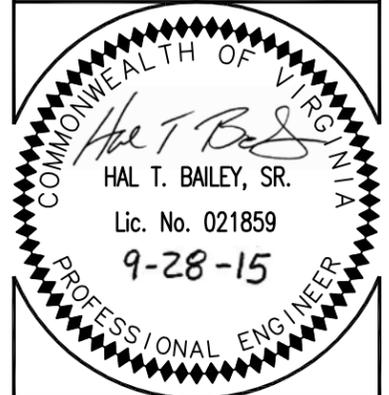
2 TYPICAL SECTION THROUGH ICE BRIDGE  
NOT TO SCALE



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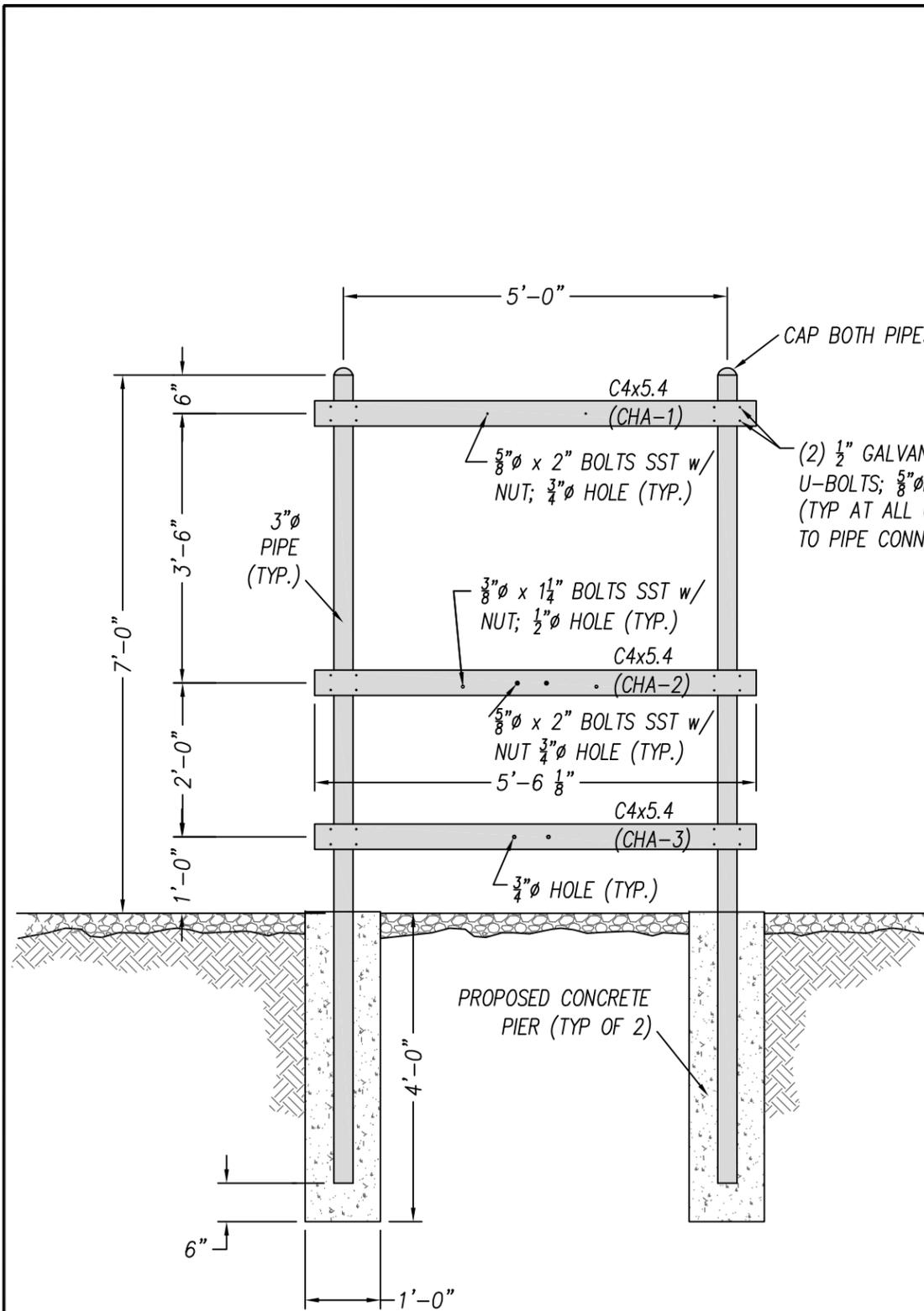
SHEET NAME:

**ICE BRIDGE  
DETAILS**

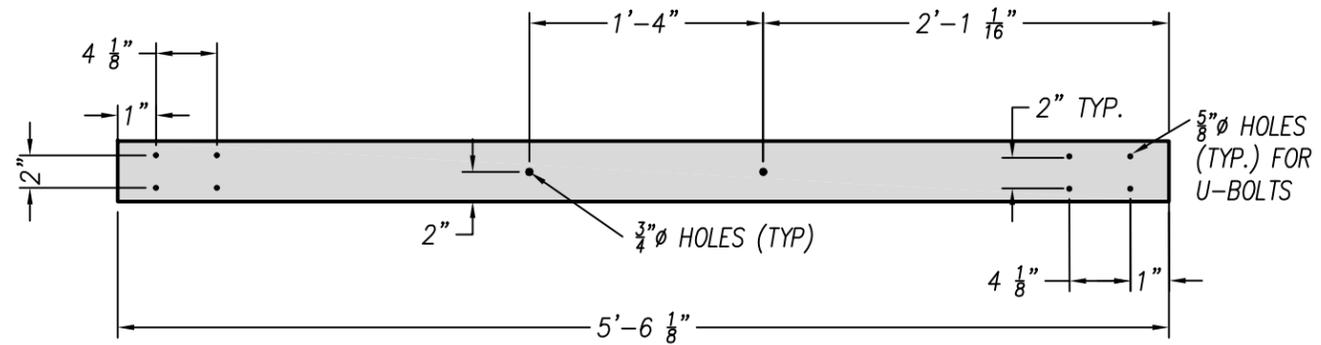
PROJECT No. 14032

SHEET NO.:

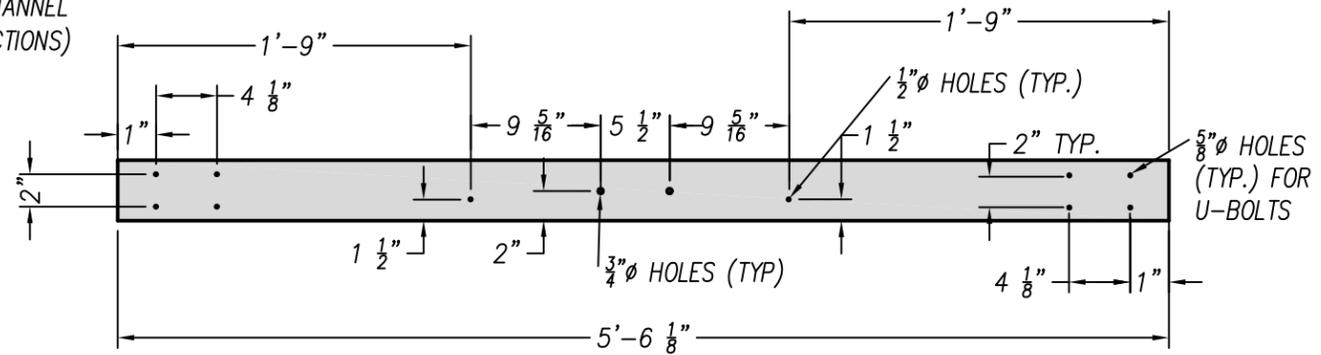
**E-5**



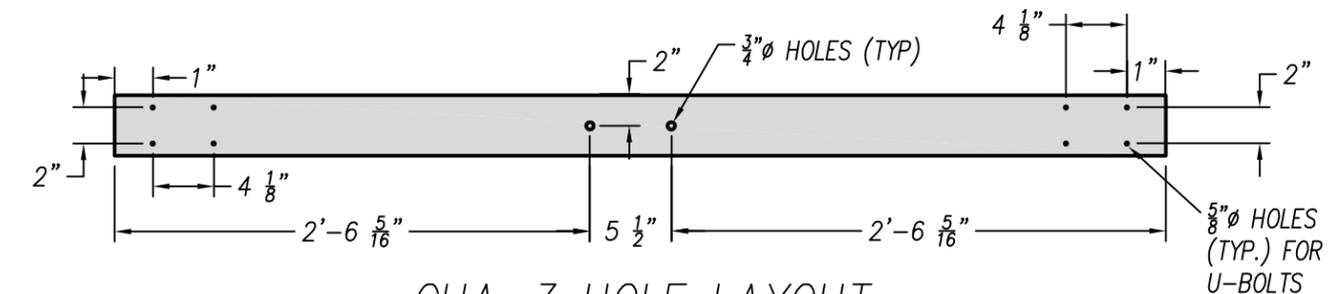
"H"-FRAME FOR MESA CABINET



CHA-1 HOLE LAYOUT



CHA-2 HOLE LAYOUT



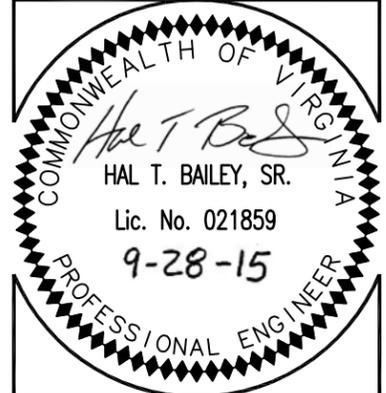
CHA-3 HOLE LAYOUT



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SHEET NAME:

H-FRAME DETAILS

PROJECT No. 14032

SHEET NO.:

E-6

**ELECTRICAL GENERAL NOTES**

- A. GENERAL: ARRANGE WITH THE LOCAL ELECTRIC UTILITY COMPANY, AND PAY ALL ASSOCIATED COSTS FOR PROVIDING TEMPORARY (IF REQUIRED) AND PERMANENT ELECTRIC SERVICE FOR THE PROJECT AS INDICATED AND REQUIRED. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUITS AND WIRING FROM THE BUILDINGS ELECTRICAL DISCONNECT TO THE EXISTING SERVICE ENTRANCE BOARD. CONTRACTOR SHALL PROVIDE A 200A CIRCUIT BREAKER AND METERING ENCLOSURES FOR SERVICE ENTRANCE BOARD AS SHOWN ON SHEET E-2. SERVICE SHALL BE A 200A, 120/240V, SINGLE PHASE, 3 WIRE SYSTEM. INSTALLATION OF METER SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, THE POWER COMPANY AND THE OWNERS SPECIFICATIONS.
- B. GROUNDING: PROVIDE GROUNDING ELECTRODE SYSTEM FOR THE SERVICE, PER THE NEC, UTILITY COMPANY REQUIREMENTS AND AUTHORITIES HAVING JURISDICTION.
- C. INSTALL MATERIALS AND EQUIPMENT AS INDICATED AND IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S INSTRUCTIONS.
- D. SYSTEM DESCRIPTION: GROUNDING NETWORK SYSTEM SHALL ESTABLISH AN EARTH-RESISTANCE TO THE REFERENCE GROUND POINT NOT TO EXCEED 5 OHMS, CONSISTING OF BONDING OF STRUCTURE AND OTHER METAL OBJECTS, GROUNDING ELECTRODES AND INTERCONNECTING CONDUCTORS. MINIMUM REQUIREMENTS ARE THOSE AS SPECIFIED BY THE NEC.
- E. MATERIAL: INDICATED AS FOLLOWS:
  - 1. GROUND RODS: 5/8" DIA x 8'-0" LONG COPPERCLAD.
  - 2. CONDUCTORS: COPPER, TINNED BARE AS SHOWN ON THE DWGS.
  - 3. GROUND WIRE CLAMPS: HEAVY DUTY CLAMPS AS MANUFACTURED BY BURNDY, OR APPROVED EQUAL
  - 4. WELDS: HEAVY DUTY EXOTHERMIC WELDS AS MANUFACTURED BY CADWELD. WELDS SHALL BE PROTECTED FROM CORROSION BY COATING WITH ZINC RICH AS MANUFACTURED BY ZRC CHEMICAL PRODUCTS CO.
  - 5. CHEMICAL GROUND RODS: LYNCOLE - XIT, IF NECESSARY.
  - 6. CONNECTIONS: ALL CONNECTIONS SHALL USE EXOTHERMIC PROCESS, UNLESS NOTED OTHERWISE.
- F. CONTRACTOR SHALL FURNISH AND INSTALL THE SHELTER AND COMPOUND EXTERIOR GROUND SYSTEM (RING), INCLUDING #2 TINNED BARE SOLID COPPER LEADS OF SUFFICIENT LENGTH AS FOLLOWS:
  - ONE (1) LEAD FOR EACH MECHANICAL UNIT (INCLUDING HVAC UNITS).
  - ONE (1) LEAD FOR THE TELCO GROUND BAR.
  - ONE (1) LEAD AT EACH CORNER OF THE SHELTER.
  - ONE (1) LEAD AT THE CENTER OF ANY SHELTER WALL OVER 15' LONG.
  - ONE (1) LEAD FOR THE ELECTRICAL DISCONNECT AT THE SHELTER.
  - ONE (1) #2/0 LEAD FOR THE METER PANEL & MAIN BREAKER.
- G. CONTRACTOR SHALL FURNISH AND INSTALL THE GROUND RING PER THE OWNERS SPECIFICATIONS. THE GROUND RING SHALL BE INSTALLED AT A MINIMUM DEPTH OF 30" BELOW FINISHED GRADE, WITH 5/8"x 8' COPPER CLAD GROUND RODS SPACED AS INDICATED (MINIMUM SPACING TO BE 6', NOT TO EXCEED 16') AND AT THE CORNERS OF THE COMPOUND AS REQUIRED AND INDICATED, WITH LEADS AND RODS ATTACHED USING EXOTHERMIC WELDS TO #2 TINNED BARE COPPER WIRE. EXOTHERMIC WELDS ONLY SHALL BE USED BELOW GRADE OR AS INDICATED AT
- H. ALL ELECTRICAL ITEMS SHOWN ON DRAWING SHALL BE NEW AND PROVIDED BY THE CONTRACTOR UNLESS NOTED OTHERWISE:
  - O.F.O.I. = OWNER FURNISHED OWNER INSTALLED.
  - O.F.C.I. = OWNER FURNISHED CONTRACTOR INSTALLED.
- I. TESTING:
  - 1. 24 HOUR NOTICE SHALL BE PROVIDED TO THE OWNER BEFORE THE COMPLETION OF THE EXTERIOR GROUND RING TO ALLOW FOR A VISUAL, OPEN TRENCH INSPECTION OF THE SYSTEM. A REPRESENTATIVE FROM OWNER MUST BE PRESENT DURING TESTING. A CERTIFIED RESISTIVITY TEST REPORT, ALONG WITH A COPY OF THE TEST UNIT'S MOST RECENT CALIBRATION CERTIFICATION IS REQUIRED.
  - 2. SUBJECT THE COMPLETE GROUNDING SYSTEM TO A MEGGER TEST AT THE SERVICE DISCONNECT ENCLOSURE, MASTER GROUND AND EXTERIOR GROUND BAR TERMINALS. MEASURE (GROUNDING RESISTANCE) WITHOUT THE SOIL BEING MOISTENED OR OTHER ARTIFICIAL MEANS OF REDUCING NATURAL GROUND RESISTANCE. PERFORM TESTS BY THE 3-POINT METHOD IN ACCORDANCE WITH SECTION 9.3 OF IEEE 81, "GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUNDING SYSTEM".
  - 3. GROUND RESISTANCE MAXIMUM VALUES SHALL BE 5 OHMS.
  - 4. WHERE GROUNDING RESISTANCES EXCEED SPECIFIED VALUES, OR IF DIRECTED, MODIFY THE GROUNDING SYSTEM TO REDUCE RESISTANCE VALUES TO THOSE SPECIFIED. WHERE DIRECTED MEASURES EXCEED THOSE INDICATED, PROVISIONS OF THE CONTRACT COVERING CHANGES WILL APPLY.
- J. CONNECTION OF COPPER TO STEEL IN EXTERIOR AREAS SHALL BE MADE USING EXOTHERMIC WELDING PROCESS. ELECTRICAL GROUNDING CONNECTIONS IN INTERIOR LOCATIONS SHALL BE MADE USING SUITABLE COMPRESSION TYPE CONNECTORS ONLY. DO NOT USE EXOTHERMIC WELDS IN INTERIOR LOCATIONS.
- K. MAKE ELECTRICAL GROUNDING CONNECTIONS AT CLEAN BARE METAL AT POINT OF CONTACT, CLEAN THE SURFACE, REMOVE THE PAINT OR RUST, ETC. TO EXPOSE CLEAN BARE METAL SURFACE PRIOR TO MAKING CONNECTIONS.
- L. APPLY CORROSION INHIBITING CONDUCTIVE COMPOUND AT ALL CONNECTIONS PER MANUFACTURER'S RECOMMENDATIONS.
- M. INSTALL O.F.C.I. OBSTRUCTION LIGHTING SYSTEM IN ACCORDANCE WITH CODES OF AUTHORITIES HAVING JURISDICTION INCLUDING FCC REQUIREMENTS.
- N. WHERE SOIL pH IS 5.0 OR LESS, ADDITIONAL CORROSION PROTECTION MEASURES MAY BE REQUIRED. APPROPRIATE MEASURES SHALL BE AS DIRECTED BY THE OWNER.

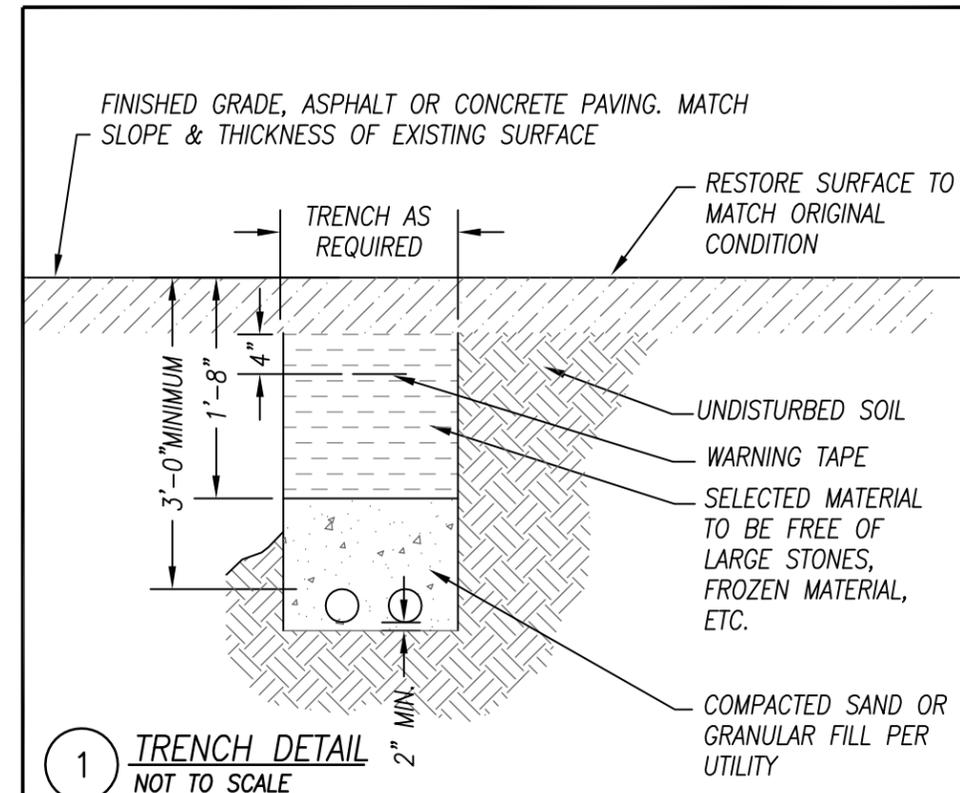
O. EGR - (EXTERIOR GROUNDING RING) THE EQUIPMENT GROUNDING SYSTEM SHALL BE INSTALLED BY CONTRACTOR. GROUND LEADS OF SUFFICIENT LENGTH SHALL BE PROVIDED FOR THE FOLLOWING:

- 1. TWO (2) GROUND LEADS FOR THE BASE OF THE TOWER.
- 2. TWO (2) GROUND LEADS FOR THE TOWER BOTTOM GROUND BAR.
- 3. GROUND LEADS SHALL BE PROVIDED FOR EACH ICE-BRIDGE POST.
- 4. TWO (2) GROUND LEADS SHALL BE CADWELDED TO THE EQUIPMENT GROUND RING AT TWO POINTS.
- 5. ONE (1) GROUND LEAD SHALL BE PROVIDED FOR THE ELECTRICAL DISCONNECT.
- 6. ONE (1) GROUND LEAD SHALL BE PROVIDED FOR THE METER BASE.

P. HYBRIFLEX GROUNDING - PROVIDE GROUND KIT FOR EACH RUN OF HYBRIFLEX CABLE, BOND GROUND KIT PIGTAIL TO COLLECTOR GROUND BAR.

Q. ELECTRICAL SERVICE - CONTRACTOR SHALL FURNISH AND INSTALL ONE RUN OF 3" PVC CONDUIT FROM THE ELECTRICAL EQUIPMENT TO THE COMPOUND'S METER BASE.

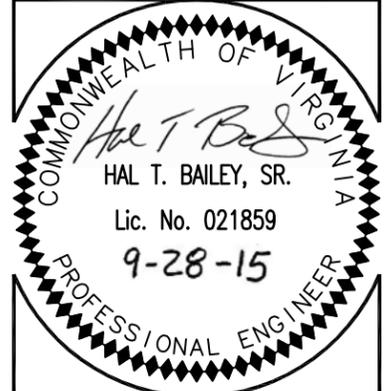
R. TELECOM CONDUIT - CONTRACTOR SHALL FURNISH AND INSTALL (2) 2" PVC CONDUIT FROM THE TELEPHONE PROVIDER'S PEDESTAL OR CABINET TO THE FIBER CABINET.



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**SITE INFO**

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SHEET NAME:

**ELECTRICAL  
DETAILS &  
SPECIFICATIONS**

PROJECT No. 14032

SHEET NO.:

**E-7**

<i>Executive Summary</i>	
<b>Site Name:</b>	Penn Hollow (EnSite #24172)
<b>Site Type:</b>	Raw Land-New Build, 199-foot Monopole Communications Tower Site
<b>Site Address:</b>	340 Penn Hollow Road, Buchanan, Botetourt County, VA 24066
<b>Latitude / Longitude (NAD83):</b>	N 37-33-15.35 / W 79-44-0.26
<b>TCNS Number:</b>	126269
<b>E106 Filing Number:</b>	0006805575
<b>USGS 7.5-Minute Series Topographic Quadrangle:</b>	Buchanan Quadrangle, VA (1991)
<i>FCC Topics</i>	<i>Findings</i>
Will the facility be located in an officially designated wilderness area?	No
Will the facility be located in an officially designated wildlife preserve?	No
Will the facility affect listed or proposed threatened or endangered species or designated critical habitats?	No (See Section 2.3.3)
Will the facility affect districts, sites, buildings, structures or objects significant in American history, architecture, archeology, engineering or culture, that are listed, or eligible for listing, in the National Register of Historic Places?	No
Will the facility affect an Indian religious site?	No (See Section 2.3.5)
Will the facility be located in a 100-year floodplain?	No
Will construction of the facility involve significant change in surface features (e.g. wetland fill, water diversion or deforestation)?	No
<b>Will the preparation and filing of an Environmental Assessment (EA) be required?</b>	<b>No</b>

## **1.0 NEPA SCOPE SERVICES**

### **1.1 INTRODUCTION**

The National Environmental Policy Act (NEPA) of 1969 requires all federal agencies to evaluate the potential impacts to the environment of projects under their jurisdiction. The Federal Communications Commission (FCC) rules for implementing NEPA are found in Title 47 CFR, Part 1, Subpart I, rule sections 1.1301 to 1.1319.

In addition, Section 106 of the National Historic Preservation Act of 1966, as codified at 36 CFR Part 800, regulates assessment of cultural resources for all federal undertakings. The Nationwide Programmatic Agreement for the Collocation of Wireless Antennas (47 CFR Part 1, Appendix B) and the Nationwide Programmatic Agreement Regarding the Section 106 National Historic Preservation Act Review Process (47 CFR Part 1, Appendix C) further stipulate the review process for cultural resources and amend 47 CFR, Part 1, Subpart I, rule section 1.1307(a)(4).

### **1.2 BACKGROUND AND PURPOSE**

Trileaf conducted this NEPA Review pursuant to 47 CFR 1.1301-1.1319, as amended. The report includes the evaluation of project impacts to prehistoric and historic resources (archaeological sites, historic structures, and Indian religious sites), threatened or endangered species (protected listed, candidate, and critical habitat), migratory birds, wilderness areas, wildlife preserves, floodplains, and surface features (wetlands, water bodies and forested land).

The FCC rules and regulations also address project impacts to humans from tower lighting and radiofrequency radiation, which are evaluated by the tower owner and/or applicant and are not part of this scope of work.

### **1.3 SCOPE OF WORK**

This NEPA Review has been completed based upon Verizon Wireless-provided site information, the review of readily available information obtained from commercial services, government agencies, and/or other sources as described herein. Throughout this report, the term "the Site" will be used to refer to the proposed site location and associated facilities.

This NEPA Review identifies whether a proposed facility will require the preparation and filing of an Environmental Assessment (EA) in accordance with FCC rules and regulations.

If any of the questions in Section 2.0 of this Review are found to be in the affirmative, an EA must be filed with the FCC to further evaluate the identified potential environmental impacts. In the event that this Review results in the preparation and filing of an EA, the FCC must issue a finding of no significant impact (FONSI) prior to proceeding with the proposed project.

## 1.4 LIMITATIONS

### 1.4.1 *Scope of Activity*

This NEPA Review is based upon the application of scientific principles and professional judgment to certain facts with resultant subjective interpretations. Professional judgments expressed herein are based on the facts currently available within the limits of the existing data, scope of work, budget and schedule. To the extent that more definitive conclusions are desired by Verizon Wireless than are warranted by the currently available facts, it is specifically Trileaf's intent that the conclusions and recommendations stated herein will be intended as guidance and not necessarily a firm course of action except where explicitly stated as such. Trileaf makes no warranties, expressed or implied, including, without limitation, warranties as to merchantability or fitness for a particular purpose. In addition, the information provided to the Verizon Wireless in this report is not to be construed as legal advice.

### 1.4.2 *Use of This Report*

Trileaf is not engaged in environmental assessing and reporting for the purpose of advertising, sales promotion, or endorsement of any Verizon Wireless interests, including raising investment capital, recommending investment decisions, or other publicity purposes. Verizon Wireless acknowledges this report has been prepared for the exclusive use of Verizon Wireless and agrees that Trileaf reports or correspondence will not be used or reproduced in full or in part for such purposes, and may not be used or relied upon in any prospectus or offering circular. Verizon Wireless also agrees that none of its advertising, sales promotion, or other publicity matter containing information obtained from this audit and report will mention or imply the name of Trileaf.

Nothing contained in this report shall be construed as a warranty or affirmation by Trileaf that the Site and property described in the report are suitable collateral for any loan or that acquisition of such property by any lender through foreclosure proceedings or otherwise will not expose the lender to potential environmental liability.

## 2.0 NEPA REVIEW

### 2.1 SITE LOCATION AND DESCRIPTION

The Site address is 340 Penn Hollow Road, Buchanan, Botetourt County, VA 24066. The Site's latitude and longitude are N 37-33-15.35 / W 79-44-0.26 (NAD83). The Site is currently a grassy hilltop pasture. The areas surrounding the Site are currently sparsely developed, rural areas. A Site Topographic Map and Site Plans are presented in Appendix A.

On April 29, 2015, Ian Kloos of Trileaf conducted a Site visit. Site photographs obtained during the Site visit are provided in Appendix B.

### 2.2 PROJECT DESCRIPTION

This project involves the review of a raw land-new build, 199-foot Monopole communications tower, located within a 75-foot by 75-foot (5,625 square feet) equipment lease area. The project includes a proposed access/utility easement that extends southwest, connecting with Penn Hollow Road.

### 2.3 NEPA TOPICS

#### 2.3.1 Wilderness Areas

Will the facility be located in an officially designated wilderness area?

**No**

*Source:* Site observations and U.S. Geological Survey (USGS) 7.5-Minute Series Topographic Quadrangle (Appendix C).

*Finding(s):* The proposed facility is not located in an officially designated wilderness area.

#### 2.3.2 Wildlife Preserves

Will the facility be located in an officially designated wildlife preserve?

**No**

*Source:* Site observations, U.S. Geological Survey (USGS) 7.5-Minute Series Topographic Quadrangle, and the U.S. Fish and Wildlife Service (USFWS) (Appendix C).

*Finding(s):* The proposed facility is not located in an officially designated wildlife preserve.

### 2.3.3 Protected Species

Will the facility affect listed or proposed threatened or endangered species or designated critical habitats?

**No**

*Source:* Site observations, categorical clearance from the U.S. Fish and Wildlife Service Virginia Field Office (USFWS), and consultation with the Virginia Department of Conservation and Recreation (VDCR) and the Virginia Department of Game and Inland Fisheries (VDGIF) (Appendix C).

*Finding(s):* The USFWS concurs via an Online Certification Letter that the proposed project will have no effect on listed species or critical habitat and that no Eagle Act permit is required at this proposed Site.

The VDCR recommends the implementation of and strict adherence to applicable state and local erosion and sediment control/storm water management laws and regulations, to minimize adverse impacts to the aquatic ecosystem as a result of the proposed activities. Also, the VDCR states that the project is situated on karst-forming carbonate rock and can be categorized by sinkholes, caves, disappearing streams, and large springs. If such features are encountered during the project, please coordinate with Wil Orndorff (540-230-5960, Wil.Orndorff@dcr.virginia.gov) to document and minimize adverse impacts. If the project involves filling or "improvement" of sinkholes or cave openings, VDCR would like detailed location information and copies of the design specifications. In addition, the VDCR states that the project will not affect any documented state-listed plants or insects and that no State Natural Area Preserves under the VDCR's jurisdiction are in the project vicinity. In addition, VDGIF was unable to review this submittal, but has guided us to proceed.

USFWS recommendations published in Interim Guidelines for Recommendations on Communication Tower Siting, Construction, Operation, and Decommissioning (2000) state the preferred tower height to decrease potential effects on migratory birds is less than 200 feet tall. The siting and design process for this project could not conform to all the USFWS recommendations. Therefore, it has included mitigating factors such as consideration of collocation, tower siting with existing towers or in minimally sensitive areas, limiting tower height to 199 feet and eliminating the need for guy wires or FAA obstruction lighting.

**The USFWS Virginia Field Office certifies the Online Project Review Certification Letter stating their concurrence with the "no effect" determination for listed species, critical habitat, and eagles is valid for one year from the date of May 12, 2015.**

**The VDCR requests a completed order form and project map be resubmitted for an update on natural heritage information if the scope of the project changes and/or six months from June 15, 2015 has passed before it is utilized.**

The VDCR recommends the implementation of and strict adherence to applicable state and local erosion and sediment control/storm water management laws and regulations.

The project is situated on karst-forming carbonate rock and can be categorized by sinkholes, caves, disappearing streams, and large springs. If such features are encountered during the project, please coordinate with Wil Orndorff (540-230-5960, Wil.Orndorff@dcr.virginia.gov) to document and minimize adverse impacts. If the project involves filling or "improvement" of sinkholes or cave openings, VDCR would like detailed location information and copies of the design specifications.

#### 2.3.4 *Archaeological and Historical Resources*

Will the facility affect districts, sites, buildings, structures or objects significant in American history, architecture, archaeology, engineering or culture that are listed, or are eligible for listing, in the National Register of Historic Places?

No

*Source:* Review of State Historic Preservation Office (SHPO) files, archaeological testing, public involvement, and Local Government and SHPO consultation (Appendix C).

*Finding(s):* Based on the information provided, SHPO finds that this project will have No Historic Properties in the Direct Area of Potential Effects and No Historic Properties in the Visual Area of Potential Effects, including any sites, structures or objects listed on, or determined eligible for listing on the National Register of Historic Places.

In the event that archaeological materials are encountered prior to or during construction of the facilities, SHPO, tribes and other consulting parties must be contacted. Archaeological materials consist of any items, fifty years or older, which were made or used by man. These items include stone projectile points (arrowheads), ceramic sherds, bricks, worked wood, bone and stone, metal and glass objects, and human skeletal remains. These materials may be present on the ground surface and/or under the ground.

#### 2.3.5 *Indian Religious Sites*

Will the facility affect Indian religious sites?

No

*Source:* Map location review, Indian Reservations in the Continental United States, Bureau of Indian Affairs Map, and consultation with federally recognized tribes (Appendix C).

*Finding(s):* Due to the nature of this undertaking little potential exists for effects to Indian Religious sites. Current land use in the surrounding area was considered. It was

determined through this review and tribal consultation, as outlined in the NPA, that the above referenced project is unlikely to affect Indian religious sites.

In the event that archaeological materials are encountered prior to or during construction of the facilities, SHPO, tribes and other consulting parties must be contacted. Archaeological materials consist of any items, fifty years or older, which were made or used by man. These items include stone projectile points (arrowheads), ceramic sherds, bricks, worked wood, bone and stone, metal and glass objects, and human skeletal remains. These materials may be present on the ground surface and/or under the ground.

**The following tribes have requested to be notified in the event of an unanticipated discovery: Delaware Nation, Tuscarora Nation, Eastern Shawnee Tribe of Oklahoma, Shawnee Tribe, and Catawba Indian National Cultural Preservation Project. Please see the unanticipated discovery plan in Appendix C.**

### **2.3.6 Floodplains**

Will the facility be located in a 100-year floodplain?

**No**

*Source:* Site observations and Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), Panel 51023C0265C, December 17, 2010 (Appendix C).

*Finding(s):* No 100-year flood hazards are identified on the FIRM map for the proposed Site.

### **2.3.7 Surface Features**

Will construction of the facility involve a significant change in surface features (e.g. wetland fill, water diversion, or deforestation)?

**No**

*Source:* Site observations, U.S. Geological Survey (USGS) 7.5-Minute Series Topographic Quadrangle, and U.S. Fish and Wildlife Service (USFWS) National Wetland Inventory (NWI) map (Appendix C).

*Finding(s):* Due to the scope of the proposed project activities, the current Site conditions and review of applicable source data, significant changes in surface features such as wetland fill, water diversion or deforestation will not be required at the Site.

### 3.0 CONCLUSIONS

A NEPA Review of the proposed Penn Hollow communications tower was performed by Trileaf in conformance with the FCC rules and regulations for implementing NEPA; 47 CFR 1.1301 to 1.1319.

Based on the data obtained during the Site visit, the review of readily available information from commercial services, government agencies and/or other sources, the preparation and filing of an EA will not be required.

**The USFWS Virginia Field Office certifies the Online Project Review Certification Letter stating their concurrence with the “no effect” determination for listed species, critical habitat, and eagles is valid for one year from the date of May 12, 2015.**

**The VDCR requests a completed order form and project map be resubmitted for an update on natural heritage information if the scope of the project changes and/or six months from June 15, 2015 has passed before it is utilized.**

**The VDCR recommends the implementation of and strict adherence to applicable state and local erosion and sediment control/storm water management laws and regulations.**

**The project is situated on karst-forming carbonate rock and can be categorized by sinkholes, caves, disappearing streams, and large springs. If such features are encountered during the project, please coordinate with Wil Orndorff (540-230-5960, Wil.Orndorff@dcr.virginia.gov) to document and minimize adverse impacts. If the project involves filling or “improvement” of sinkholes or cave openings, VDCR would like detailed location information and copies of the design specifications.**

**The following tribes have requested to be notified in the event of an unanticipated discovery: Delaware Nation, Tuscarora Nation, Eastern Shawnee Tribe of Oklahoma, Shawnee Tribe, and Catawba Indian National Cultural Preservation Project. Please see the unanticipated discovery plan in Appendix C.**

#### 4.0 QUALIFICATIONS OF PERSONNEL

The professional qualifications of Trileaf personnel listed below are presented in Appendix D.

Name	Discipline
Ian Kloos	Site Assessor
Claire Beaudoin	Natural Resources Specialist
Kenneth Basalik - Principal Investigator Rachael Fowler - Project Archaeologist Maureen McDougall - Architectural Historian	Cultural Resources Specialists
Natalie Kleikamp	Environmental Scientist
Rae Miller	Quality Assurance

**Section 106 Notification of SHPO/THPO Concurrence- Email ID #1250779**

towernotifyinfo@fcc.gov

Sent: Friday, June 12, 2015 4:15 PM

To: Natalie Kleikamp

This is to notify you that the Lead SHPO/THPO has concurred with the following filing:

Date of Action: 06/12/2015

Direct Effect: No Historic Properties in Area of Potential Effects (APE)

Visual Effect: No Historic Properties in Area of Potential Effects (APE)

Comment Text: None

File Number: 0006805575

Purpose: New Tower Submission Packet

Notification Date: 7AM EST 05/19/2015

Applicant: Verizon Wireless

Consultant: CHRS, Inc., on behalf of Trileaf Corporation

Positive Train Control Filing Subject to Expedited Treatment Under Program Comment: No

Site Name: Penn Hollow

Site Address: 340 Penn Hollow Road

Detailed Description of Project: Legal Description: No Township Found. Project Description: Raw Land New Build

Site Coordinates: 37-33-15.4 N, 79-44-0.3 W

City: Buchanan

County: BOTETOURT

State: VA

Lead SHPO/THPO: Virginia Department of Historic Resources

**NOTICE OF FRAUDULENT USE OF SYSTEM, ABUSE OF PASSWORD AND RELATED MISUSE**  
Use of the Section 106 system is intended to facilitate consultation under Section 106 of the National Historic Preservation Act and may contain information that is confidential, privileged or otherwise protected from disclosure under applicable laws. Any person having access to Section 106 information shall use it only for its intended purpose. Appropriate action will be taken with respect to any misuse of the system.

## Natalie Kleikamp

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**From:** towernotifyinfo@fcc.gov  
**Sent:** Monday, May 18, 2015 7:47 AM  
**To:** Natalie Kleikamp  
**Subject:** Section 106 New Filing Submitted- Email ID #1219730

The following new Section 106 filing has been submitted:

File Number: 0006805575  
Purpose: New Tower Submission Packet  
Notification Date: 7AM EST 05/19/2015  
Applicant: Verizon Wireless  
Consultant: CHRS, Inc., on behalf of Trileaf Corporation  
Positive Train Control Filing Subject to Expedited Treatment Under Program Comment: No  
Site Name: Penn Hollow  
Site Address: 340 Penn Hollow Road  
Detailed Description of Project: Legal Description: No Township Found. Project Description: Raw Land New Build  
Site Coordinates: 37-33-15.4 N, 79-44-0.3 W  
City: Buchanan  
County: BOTETOURT  
State: VA  
Lead SHPO/THPO: Virginia Department of Historic Resources

Consultant Contact Information:  
Name: CHRS, Inc., on behalf of Trileaf Corporation  
Title: Principal Investigator  
PO Box:  
Address: 451 North Cannon Avenue  
City: Lansdale  
State: PA  
Zip: 19446  
Phone: 215-699-8006  
Fax: 215-699-8901  
Email: [n.kleikamp@trileaf.com](mailto:n.kleikamp@trileaf.com)

**NOTICE OF FRAUDULENT USE OF SYSTEM, ABUSE OF PASSWORD AND RELATED MISUSE**  
Use of the Section 106 system is intended to facilitate consultation under Section 106 of the National Historic Preservation Act and may contain information that is confidential, privileged or otherwise protected from disclosure under applicable laws. Any person having access to Section 106 information shall use it only for its intended purpose. Appropriate action will be taken with respect to any misuse of the system.



## **BACKGROUND REPORT**

**Planning Commission - Public Hearing  
December 2015**

Prepared by the Department of Planning & Zoning

### **PROJECT SUMMARY**

Julie H. Simmons (Verizon Wireless) requests approval of a Commission Permit in accord with §15.2-2232 of the Code of Virginia and a special exception permit (SEP) for a 199' monopole telecommunications tower in the Agricultural (A-1) Use District.

### **PLANNING COMMISSION ACTION**

The Planning Commission is requested to make recommendation to the Board of Supervisors as to the approval or denial of these requests. The Planning Commission has the authority to recommend conditions on a Special Exception Permit as appropriate.

### **APPLICATION INFORMATION**

Applicant: Stephen Waller (Verizon Wireless)  
Property Owner: Julie H. Simmons  
Request: Special Exception Permit for a 199' Telecommunications Tower  
Tax Map Number: 51-36A  
Magisterial District: Buchanan  
Report Prepared By: A.J. McGee  
PC Meeting: December 7, 2015  
BOS Meeting: December 17, 2015

### **LEGAL ADVERTISEMENT**

Buchanan Magisterial District: Julie H. Simmons (Verizon Wireless, lessee), requests a Commission Permit in accord with §15.2-2232 of the Code of Virginia, in addition to a Special Exception Permit, with possible conditions, in an Agricultural (A-1) Use District to construct and maintain a 199-foot monopole telecommunications tower within a 5,625 square foot lease area, to be accessed from a proposed 20' access and utility easement, on a 64-acre parcel located on the northwestern side of Penn Hollow Road (State Route 631), approximately 0.5 miles southwest of its intersection with Narrow Passage Road (State Route 43), identified on the Real Property Identification Maps of Botetourt County as Section 51, Parcel 36A.

### STAFF COMMENTS

Sections 25-441 and 25-583 relate to approvals of telecommunications towers and special exception permits, respectively. Section 25-576 sets forth the requirements for a commission permit pursuant to Virginia Code 15.2-2232.

According to information provided by the applicant, no other existing structures or towers exist in this coverage area that would be suitable for collocation to achieve the company's coverage goals. The applicant also provided information regarding the visual impacts of this tower upon the surrounding area. The new tower would be visible from multiple locations along Penn Hollow Road and Meryls Road, but would largely not be seen from other roads in the area.

Based on Section 25-441 (h), the PC and BOS should consider the following factors when reviewing telecommunication tower SEPs. The applicant addresses all of the following in their submittal.

(h) *Factors to be considered in granting special exception permits for new towers or poles.* The governing authority shall consider the following factors, in addition to Section 25-583, in determining whether to issue a special exception permit, although the governing authority may waive or reduce the burden on the applicant of one (1) or more of these criteria if the governing authority concludes that the goals of this division are better served thereby.

- (1) Height of the proposed tower (towers shall not exceed one hundred ninety-nine (199) feet).
- (2) Proximity of the tower or pole to residential structures and residential district boundaries, historic structures and districts, Blue Ridge Parkway, Appalachian Trail, or other manmade or unique natural areas within the county.
- (3) Nature of the adjacent uses and nearby properties.
- (4) Surrounding topography.
- (5) Impact on surrounding tree coverage and foliage; such impacts shall be kept to the minimum for the installation of the facility.
- (6) Design of tower or pole, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness.
- (7) Proposed ingress and egress.
- (8) Co-location policy. A written policy for permitting future co-locations of telecommunications facilities shall be provided and maintained to the satisfaction of the zoning administrator.
- (9) Language of the lease agreement.
- (10) Consistency with the comprehensive plan and the purposes to be served by zoning; and
- (11) Availability of suitable existing towers and other structures.

**EXISTING CONDITIONS & BACKGROUND**

The subject property is located off of Penn Hollow Road in a remote area surrounded by Agricultural (A-1) and Agricultural Rural (AR) zoned properties that are comprised of fields with heavily wooded buffers. There are two structures currently located on the property.

**PROPOSED DEVELOPMENT**

The applicant proposes a 199' monopole telecommunications tower in a 5,625 sq. ft. lease area to be accessed by a 20' ingress/egress and utility easement. The access road will be gravel.

The proposed Verizon tower will be designed to support up to three (3) additional wireless carriers, and will provide space for Botetourt County E911 Emergency Services communications equipment, if necessary.

**ADJACENT AND SURROUNDING USES / ZONING**

This property is surrounded by Agricultural (A-1) properties and Agricultural Rural (AR) properties, many with homes. The James River abuts the northern edge of the property, but the site is outside of the floodplain. The railroad also runs along the northern edge of the property. The onsite residential structure is approximately 630 feet from the proposed tower, while the nearest offsite residential structure is approximately 750 feet away, based on the county's GIS maps.

	Zoning	Owner (Land Use)
North	Agricultural (A-1)	Single family dwelling/Agricultural
South	Agricultural (A-1)	Single family dwelling/Agricultural
East	Agricultural (A-1), Agricultural Residential (AR)	Single family dwelling/Agricultural
West	Agricultural (A-1), Agricultural Residential (AR)	Single family dwelling/Agricultural

**2004 COMPREHENSIVE PLAN**

The 2010 Comprehensive Plan Future Land Use Map designates this area as *Agricultural*.

*Agricultural:* This category includes land areas in the rural portions of the County where agricultural and forestal uses are the dominant land use. Large lot single family development may now exist within some of these areas. Future development of these properties at densities higher than allowed by the current agricultural zoning is not encouraged.

**TRAFFIC**

2012 VDOT traffic data for Penn Hollow Road (State Route 631) indicates that there is an Annual Average Daily Traffic (AADT) of 40 vehicles on the 1.18 mile stretch. No major traffic impacts are foreseen.

**FIRE AND RESCUE**

The Buchanan Fire and Rescue Squad, located approximately 3.5 miles from this site, provides rescue services to this area.

## **SCHOOLS**

The school system will not be directly impacted by this request.

## **PUBLIC COMMENT**

To date, no comments from the public or any of the adjoining neighbors have been received. Additional comments may be forthcoming at the public hearings.

## **INDEPENDENT REVIEW**

CityScapes provided a review of this application, stating that there was currently little to no coverage in the area, and that the requested height of 199' was necessary. The consultant found that there was a definite need for telecommunications services in this area of the county and that the new site complied with the Telecommunications Act of 1996 as well as the Botetourt County Ordinance.

## **SUGGESTED CONDITIONS**

If approved, CityScapes suggests the following conditions:

1. All feed lines shall be installed within the spine of the support structure and all antenna ports shall be sealed in a manner to prevent access by birds and any other wildlife; and,
2. The facility shall be constructed so that access is only attainable by qualified personnel; and,
3. The emergency power backup generator noise level shall not exceed 65 dBa at the property edge. Testing shall be limited to the hours between 9:00 A.M. and 4:00 P.M., (Monday through Friday).

## **DRAFT MOTIONS**

### **Approval (Commission Permit):**

I move that the commission permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be forwarded to the Board of Supervisors with a recommendation of approval.

### **Denial (Commission Permit):**

I move that the commission permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be forwarded to the Board of Supervisors with a recommendation of denial. Based upon Zoning Ordinance Section 25-576 the following items have not been satisfied:

- 1.
2. (List findings/reasons for denial)

### **Approval (Special Exception Permit):**

I move that the special exception permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be forwarded to the Board of Supervisors with a recommendation of (approval, or approval with the conditions mentioned in the background report and

by staff, or approval subject to the following conditions):

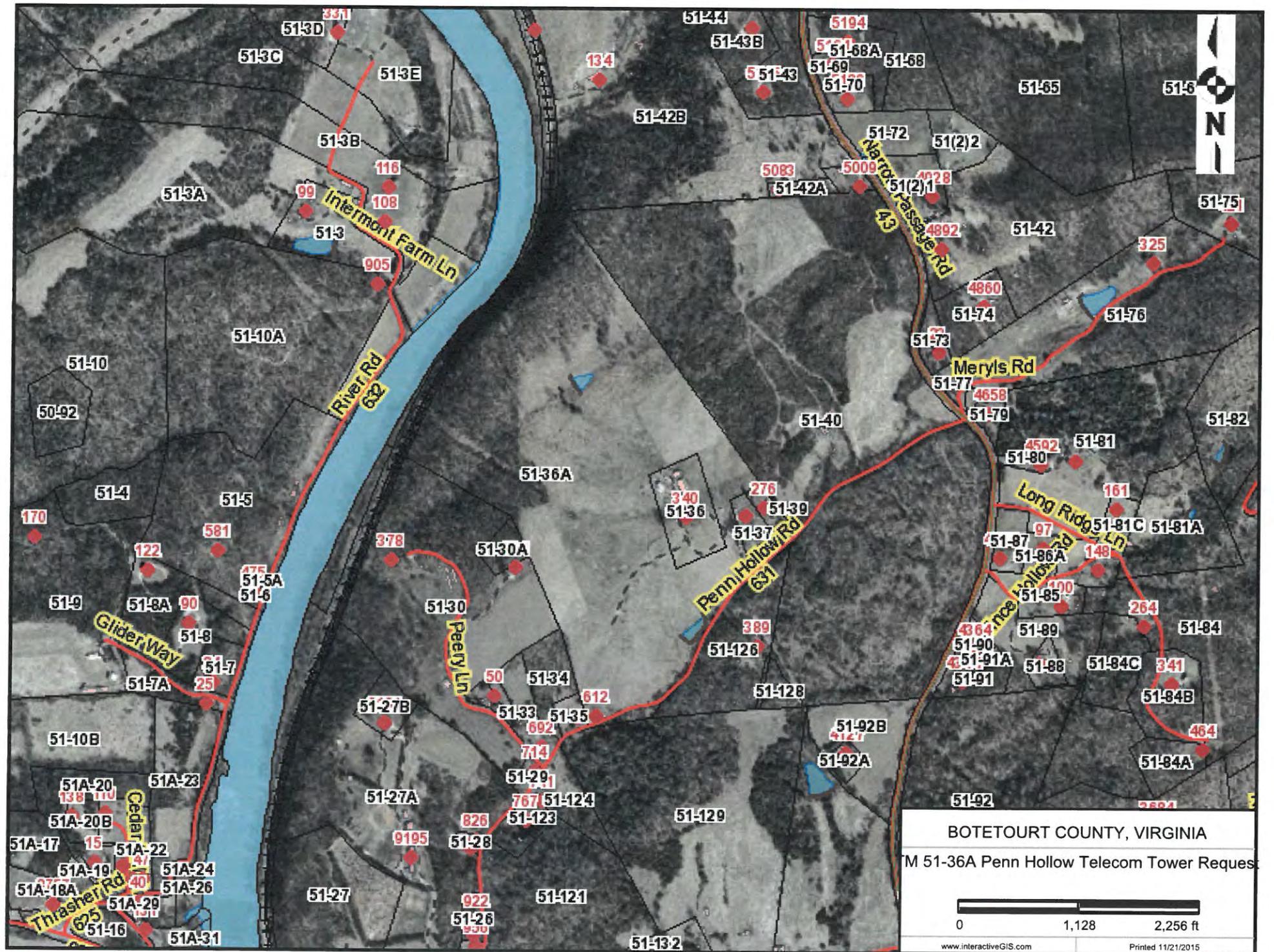
- 1.
2. (List any conditions)

And on the basis that the requirements of Section 25-583 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare and is good zoning practice.

Denial (Special Exception Permit):

I move that the special exception permit for a telecommunications tower on the property of Julie H. Simmons for Verizon Wireless be forwarded to the Board of Supervisors with a recommendation of denial. Based upon Zoning Ordinance Section 25-583 the following items have not been satisfied:

- 1.
2. (List findings/reasons for denial)



BOTETOURT COUNTY, VIRGINIA

M 51-36A Penn Hollow Telecom Tower Request



**Botetourt County, Virginia**  
**Telecommunications Site Review**  
**New Structure**



Consultants, Inc.

7050 W. Palmetto Park Road #15-652  
Boca Raton, FL 33433-3483  
Tel: 877.438.2851 Fax: 877.220.4593

November 13, 2015

Ms. Nicole Pendleton, AICP, CFM  
Planning Manager/Zoning Administrator  
Botetourt County  
5 West Main Street  
Fincastle, Virginia 24090

**RE: Verizon Wireless "Penn Hollow"**

Dear Ms. Pendleton,

At your request, on behalf of the County of Botetourt, Virginia ("County"), CityScape Consultants, Inc. ("CityScape"), in its capacity as telecommunications consultant for the County, has considered the merits of an application provided by GDN Sites on behalf of Verizon Wireless ("Applicant"), to construct a new wireless telecommunications support structure at 340 Penn Hollow Road, Buchanan, *see Figure 1*.

This application is proposed to improve the in-building service to residents, businesses and vehicle traffic along State Routes 631, 632 and 43 as well as other local roads. Currently, many of the areas near the search ring have poor or no coverage at all. The terrain in the area severely limits the extent of the signal from other cell sites. The Applicant proposes to install twelve (12) antennas which will provide service for Cellular (850 MHz), PCS (1900 MHz), LTE (700 MHz) and AWS (2100 MHz).

The Applicant has submitted the relevant State Historical Preservation Officer (SHPO) and National Environmental Policy Act (NEPA) documentation and found that no issues will exist.

The proposal has been evaluated from the following perspectives:

- The proposed facility, as specified, is justified and required due to technological reasons and is essential for the Applicant to provide its telecommunications service; and,
  - The proposed new site will follow the guidelines of the Telecommunications Act of 1996 and the Botetourt County Ordinance.
-

In order for the wireless communications facility ("WCF") to be justified, its need, location and height have to be addressed. The application proposes to construct a one hundred ninety nine (199) foot 'monopole' tower, *see Appendix, Exhibit A*. With the Applicant taking the top position on the tower, their antennas will be mounted at the one hundred ninety four (194) foot level. This antenna height is needed in order to provide a sufficient send and return signal level for service to existing and future subscribers and is beneficial to overcome the terrain differences in the area. Furthermore, as this site will be used more for fill in service than capacity, a larger coverage area is desired which further justifies the height.

The general area has poor service from all carriers. The current service gap is shown in *Appendix, Exhibit B*. The gray circle [CityScape] approximates the desired coverage area. The projected improvement is shown in *Appendix, Exhibit C*. These before and after maps justify the Applicant's need.

The Applicant provided documentation listing two structures within 3 miles, *see Appendix, Exhibit D*. These sites are well outside of the Applicant's provided Search Ring. While the Ordinance specifies towers out to 5 miles, 3 miles is more than adequate for a WCF. Therefore, the support structure, as located, appears to meet the Ordinance and its location is justified.

CityScape carefully researches tower heights and an Applicant has to prove their need for additional elevation. CityScape also reviews the needs of other carriers in the general vicinity as part of our Botetourt County process to limit the total number of towers. The lack of personal wireless services in the area indicates there is a need for multiple collocation opportunities, therefore further justifying the height.

As the subscriber service area become denser, wireless carriers will eventually reduce their antenna heights to avoid capacity issues overall. However, with this site being more rural than most such a reduction will be further out, if at all. The tower height is just below the minimum height that the FAA requires for registration, *see Appendix, Exhibit E*. Based on this it is not expected that the structure will require marking or lighting by the FAA.

The Applicant has provided a statement indicating they don't object to collocations on the support structure, *see Appendix, Exhibit F*. These future carriers can mount their antennas below the proposed Verizon antennas. With the lowest carrier being at the 164 foot level (10 foot separation between carriers), the structure will allow for improved service to future collocations.

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The Applicant proposes to install a 75' X 75' fenced compound for its ground equipment and, emergency power backup generator, and future carrier equipment, *see Appendix, Exhibit G.*

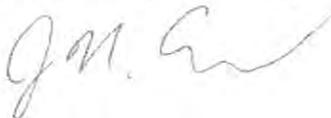
The proposed facility will operate on frequencies near the Public Safety communications band but no adverse effect is expected with regards to interference to such operations. All designs and plans for the proposed new facilities were developed according to accepted practices of RF propagation engineering and the persons completing all work are sufficiently qualified within their disciplines. The proposal, if built as designed, should be sufficient to provide improved service to Verizon customers and other wireless collocations in the foreseeable future.

In conclusion, it is the opinion of the undersigned that the Applicant has justified the need for a new wireless facility in the immediate area and has complied with Federal guidelines for personal wireless facility deployment. CityScape Consultants, as the wireless expert for the County, recommends the application be approved with the following conditions:

1. All feed lines shall be installed within the spine of the support structure and all antenna ports shall be sealed in a manner to prevent access by birds and any other wildlife; and,
2. The facility shall be constructed so that access is only attainable by qualified personnel; and,
3. The emergency power backup generator noise level shall not exceed 65dBa at the property edge. Testing shall be limited to the hours between 9:00 A.M. and 4:00 P.M., (Monday through Friday).

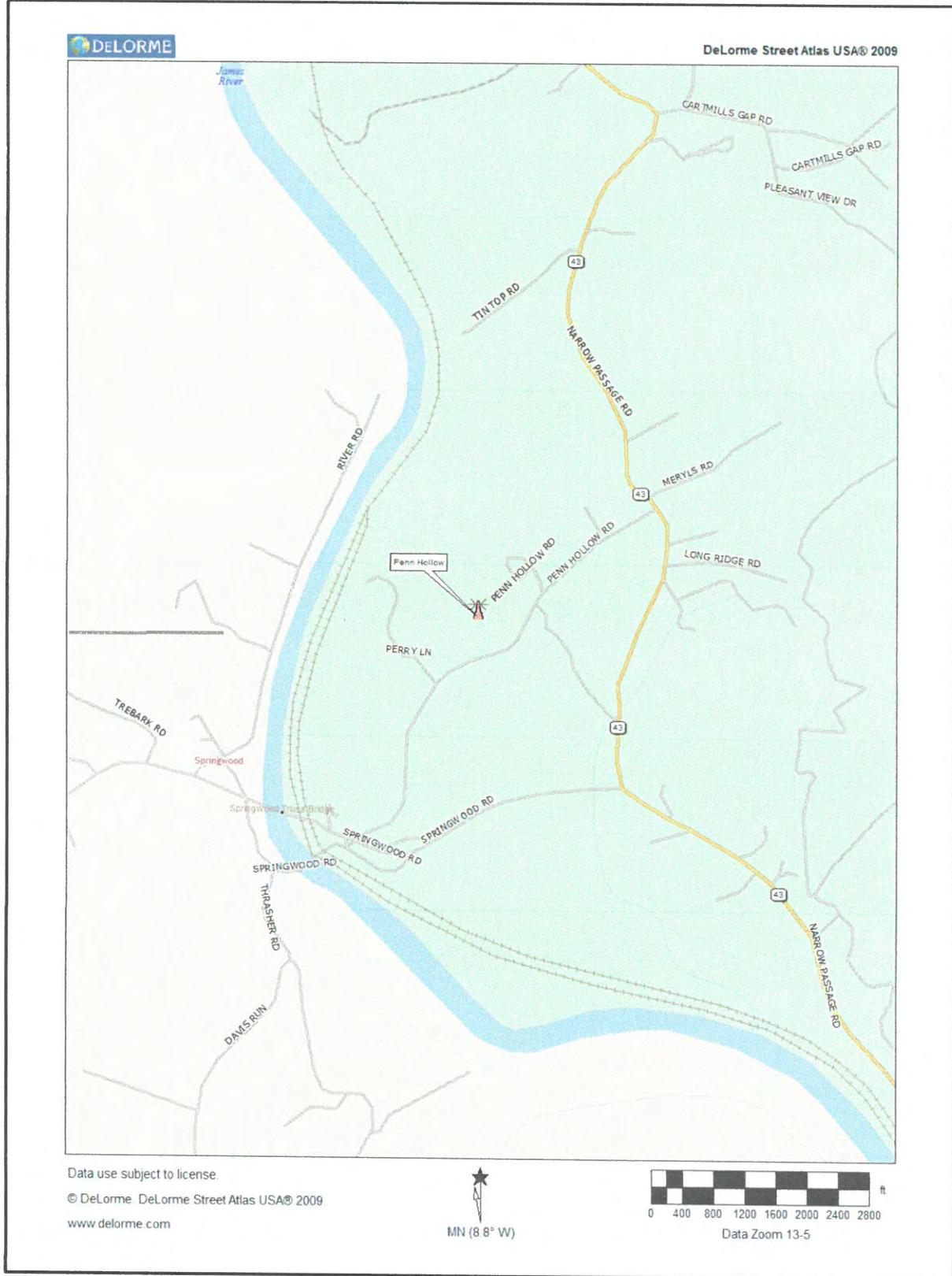
I certify that to the best of my knowledge all of the information included herein is accurate at the time of this report. CityScape only works for local governments and has an unbiased opinion, all recommendations are based on technical merits without prejudice and according to prevailing laws and codes.

Respectfully submitted,



Jonathan N. Edwards, P.E.  
CityScape Consultants, Inc.

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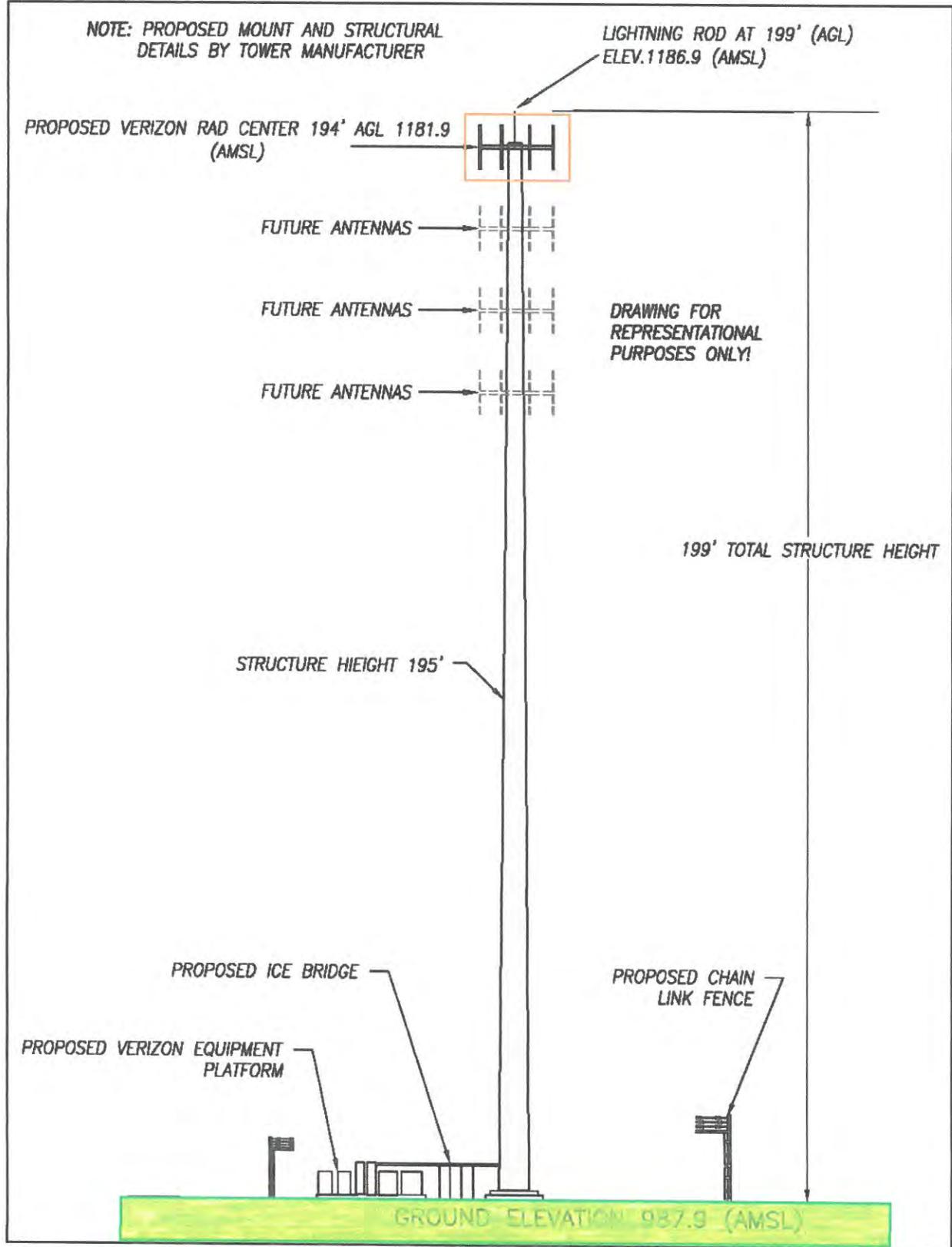


**Figure 1 – Site Location**

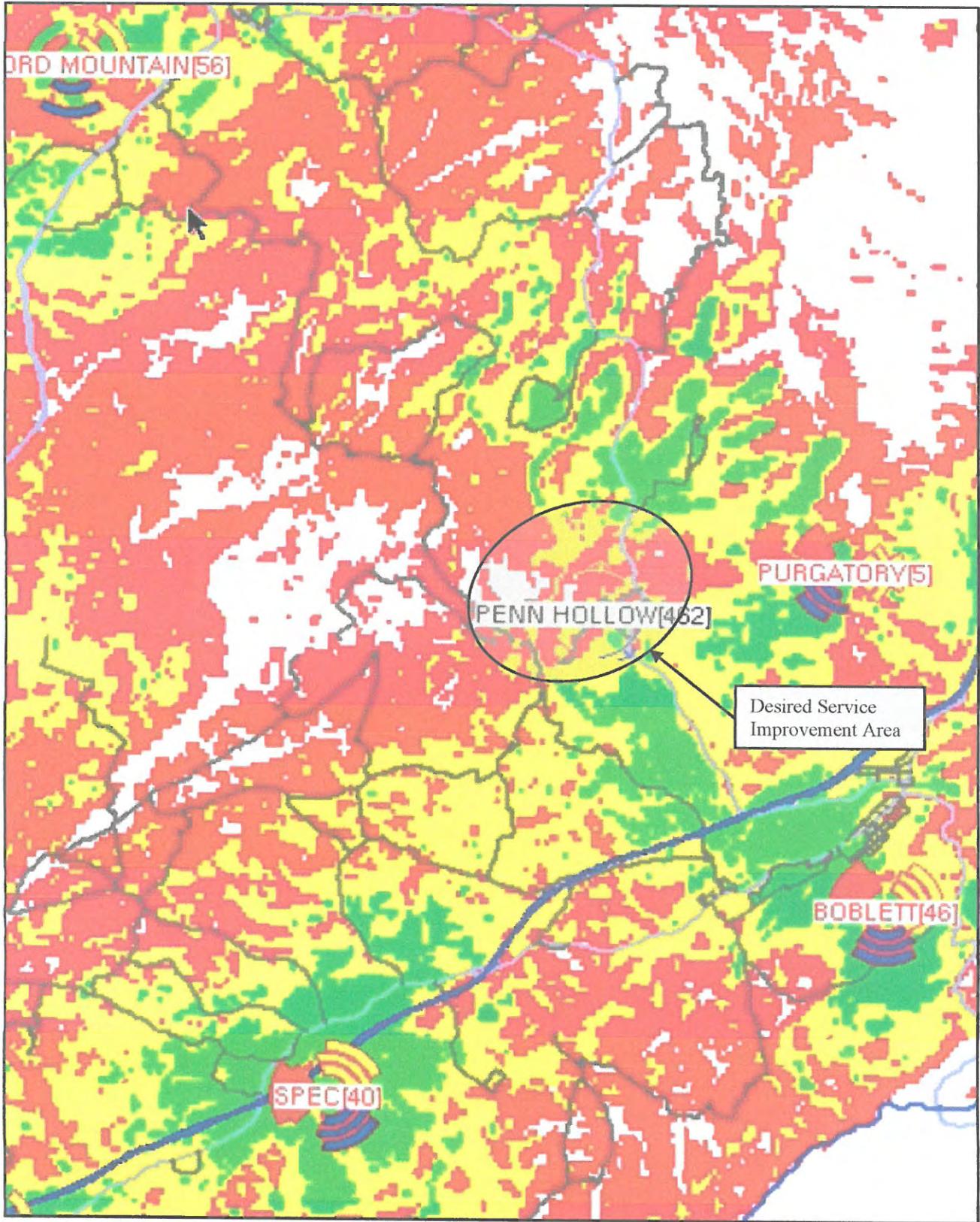
## Appendix

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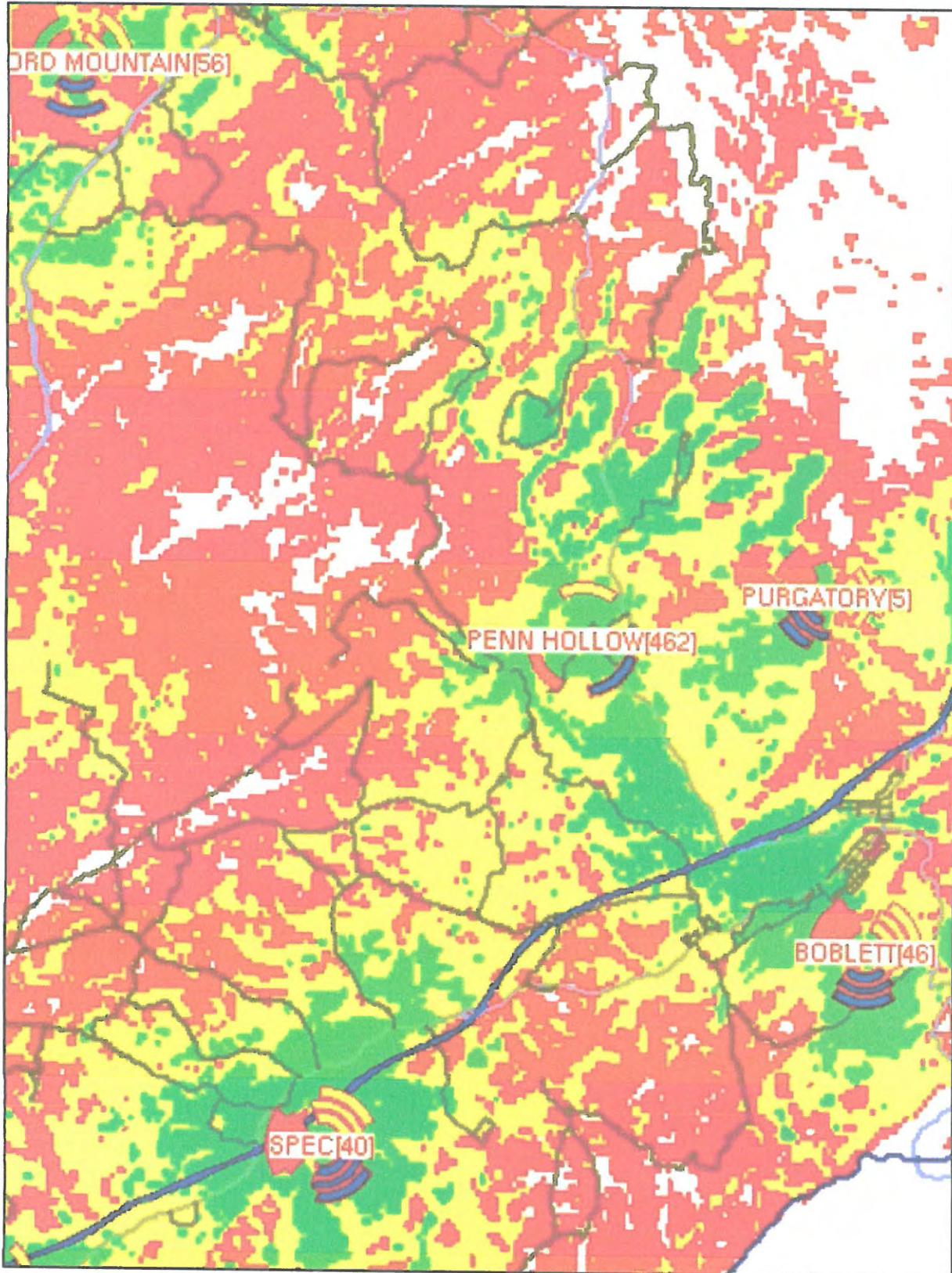
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**Exhibit A - Proposed Support Structure**



**Exhibit B – Predicted Service Without Proposal**



**Exhibit C – Predicted Service With Proposal**

8/25/2015

ASR Registration Search Results

ASR Registration Search

## Registration Search Results

Verizon Wireless - Penn Hollow Site

### Displayed Results

**PA** = Pending Application(s)

### Specified Search

Latitude='37-33-15.4 N', Longitude='79-44-0.3 W', Radius=4.8 Kilometers

Registration Number	Status	File Number	Owner Name	Latitude/Longitude	Structure City/State	Overall Height Above Ground (AGL)
1 1016378	Terminated	A0289240	CROWN CASTLE GT COMPANY LLC	37-33-44.0N 079-41-22.0W	BUCHANAN, VA	34.7
2 1017103	Constructed	A0972461	UNITED STATES CELLULAR CORPORATION	37-33-56.0N 079-41-21.0W	BUCHANAN, VA	32.3

A 3-mile (4.8 kilometers) radius search for existing structures that might be available for the collocation of Verizon Wireless's antennas turned up the two registration filings that are listed above. Verizon Wireless will address those findings below:

**Tower #1:** Although the registration request for this tower is listed as being terminated, the coordinates listed for this tower match with Verizon Wireless's "Purgatory" site, which is currently collocated and operating on-air at a tower owned by Crown Castle that is located on Tax Map and Parcel ID# 52-1A. This existing site is located approximately 2-1/2 miles to the east and service from the facility does not extend far enough west to provide adequate levels of good and acceptable coverage to the targeted area to be served by proposed "Penn Hollow" site.

**Tower #2:** This tower, which is located on Tax Map and Parcel ID# 52-1B is also located approximately 2-1/2 miles to the east of the proposed Penn Hollow site. It is also less than 1/4-mile north of the Verizon Wireless's Purgatory collocation site identified in the discussion of Tower #1. Therefore, any proposed use of this structure would likely result in redundant coverage for the services already being provided in that surrounding area, without improving service or adequately addressing the needs for coverage in the targeted area for Penn Hollow.

### Exhibit D – Registered Towers Within 3 Miles

8/25/2015	TOWAIR Search Results
<b>TOWAIR Determination Results</b>	<b>Verizon Wireless - Penn Hollow Site</b>
<b>*** NOTICE ***</b>	
<p>TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.</p>	
<b>DETERMINATION Results</b>	
<b>Structure does not require registration. There are no airports within 8 kilometers (5 miles) of the coordinates you provided.</b>	
<b>Your Specifications</b>	
<b>NAD83 Coordinates</b>	
Latitude	37-33-15.4 north
Longitude	079-44-00.3 west
<b>Measurements (Meters)</b>	
Overall Structure Height (AGL)	60.7
Support Structure Height (AGL)	59.4
Site Elevation (AMSL)	301.1
<b>Structure Type</b>	
MTOWER - Monopole	

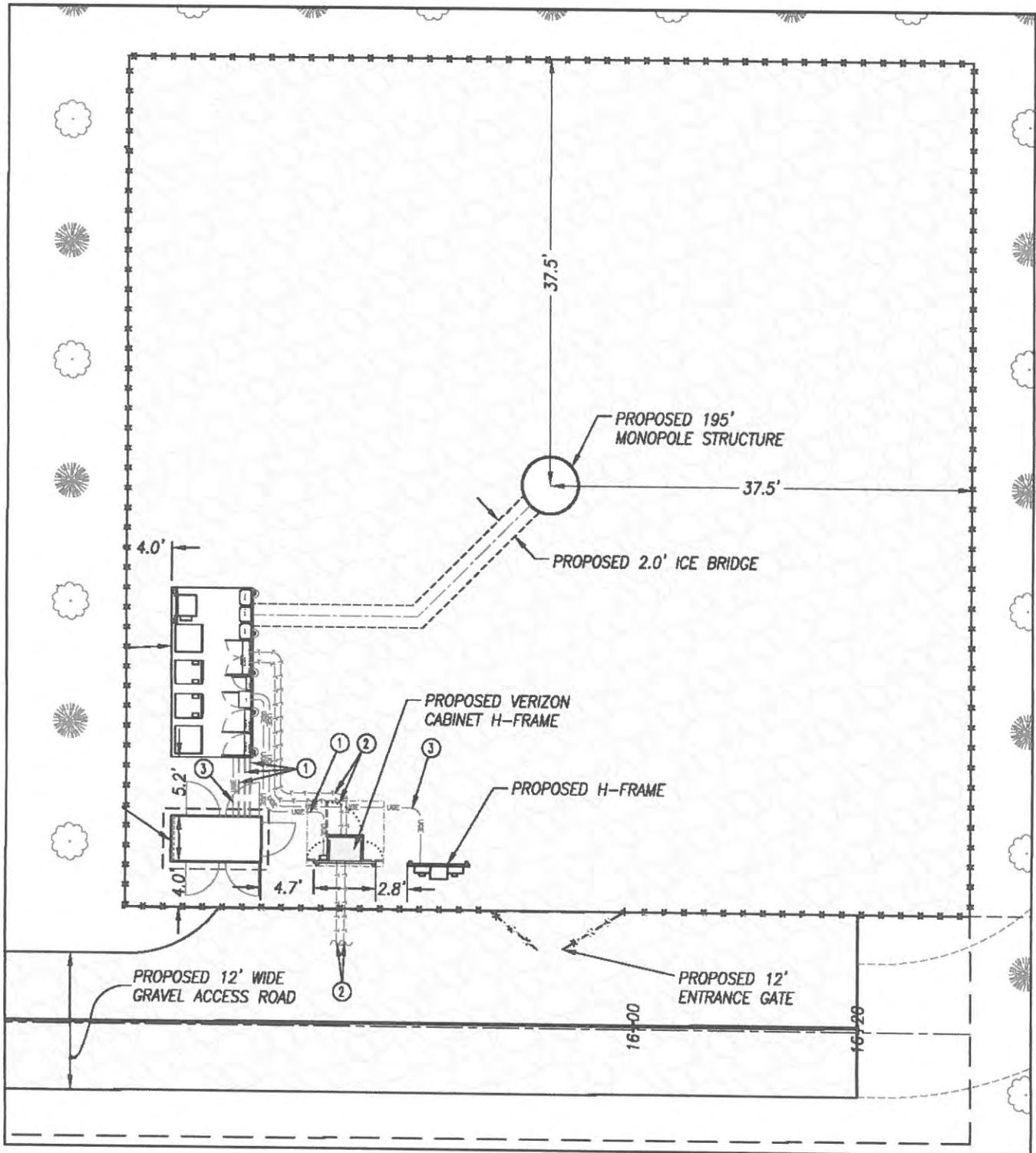
**Exhibit E – FAA TOWAIR Results**

**Co-location policy:**  
 A tower with the proposed height of 199' serving this facility should accommodate the antennas to be mounted by any future carriers at heights that will also allow them to provide reliable coverage that serves the nearby residences, businesses and roads in the area. This height will also allow the vertical space that is necessary to separate antennas arrays belonging to the different providers of compatible services, reducing any possibilities of interference.

Although Verizon Wireless does not have a set of general policies regarding co-locations, it is a standard practice for the company to allow the co-location of antennas and supporting equipment by government for public safety communications, wireless communications companies and other types of users that might find a use for their structures. In fact, Verizon Wireless already has specific Master (or Standard) License Agreements set in place with most of the companies that provide competing wireless services. These agreements have been used to set guidelines for how the companies are to share and lease tower and compound space to one another whenever it is available and feasible. However, because they are legally binding documents that vary from company to company particularly for the purposes of setting fair-market pricing and licensing guidelines at regional and/or national levels, these agreements are not made available to the public.

A copy of the lease that has been executed to secure the ground space for this facility is also attached to demonstrate that there have been no restrictions placed on future co-locations.

**Exhibit F – Collocation Allowance**



**Exhibit G – Proposed Ground Compound**



Botetourt County, Virginia  
*Development Services*

5 W. Main Street, Suite 100  
Fincastle, Virginia 24090  
Phone (540) 473-8248  
or (540) 473-8320  
Fax (540) 473-2018

**Planning Commission Extract  
Land Use Related Request**

**Board of Supervisors Action Needed**

**December 17, 2015**

**Request**

Construction Compliance  
Erosion & Sediment Control  
Inspections & Enforcement  
Permit Applications &  
Plan Reviews

Planning  
Subdivisions  
Zoning  
Site Plans  
Land Conservation

**Amsterdam District: Layman Family LLC requests to rezone, with possible proffered conditions, a 13.42-acre parcel from a Business (B-2) Use District to a Planned Office Park (POP) Use District for business use located at 147 Daleville Centre Drive, Daleville, VA at its intersection with Valley Road (State Route 779) with additional access via the Roanoke Road (U. S. Route 220) intersection with Layman Lane (as shown on Tax Map 101-93) identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcel 109A.**

**This land use change request involves the following:**

- Land rezoning (conditions must be proffered, or offered by the applicant).
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permit (the Board has authority to assign conditions).

**Planning Commission Recommendation:**

On a vote of 5:0:0:0, the Planning Commission recommended approval regarding the rezoning from a Business (B-2) Use District to a Planned Office Park (POP) Use District for business use.

**Action requested of the Board of Supervisors:**

The Board of Supervisors may approve, approve with proffered conditions, or deny the request.

**Staff Comments:**

No public comments were received regarding this request. Planning Commission concerns pertained to road maintenance after the sale of the new lots, and the stormwater pond located on Lot 2.

The county does not have involvement with property owner agreements, and, as such, the county would not be liable for future road maintenance on this private road. The applicant stated that lending institutions would require maintenance agreements to protect their investments and noted that the property lines go to the center of the right-of-way.

Regarding stormwater, the applicant stated that the stormwater pond was located on the projected Lot 2, and could be enlarged or modified as needed for future development. The applicant stated that Lot 6 could be utilized in part for an additional stormwater pond, but it was unlikely that it would be needed.

**DRAFT MOTIONS**

**Approval for Rezoning:**

I move that the zoning map amendment for **Layman Family LLC** be approved with the proffered conditions as submitted by the applicant and included in the background report prepared by staff.

And on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Approval, with revisions, Rezoning:**

I move that the zoning map amendment for **Layman Family LLC** be approved, subject to the following revisions to the concept plan and/or proffers [*list any recommended changes*], on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Denial, Rezoning:**

I move that the zoning map amendment for the property of **Layman Family LLC** be denied on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have not been satisfied due to the following reasons: _____

**BOTETOURT COUNTY DEVELOPMENT SERVICES**  
**Planning Commission Application**

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

TO THE BOARD OF SUPERVISORS AND PLANNING COMMISSION OF BOTETOURT COUNTY:

*Please type or print information below*

Date: 10-1-15	Current zoning: B2		
Please check request(s) below:	Please briefly describe request below (indicate zoning change, SEP request, changes, etc.):		
<input checked="" type="checkbox"/> Request rezoning to (From zoning ordinance permitted uses list)	POP		
<input type="checkbox"/> Special Exceptions Permit request for (from zoning ordinance SEP list)			
<input type="checkbox"/> Text Amendment (proposed use)			
<input type="checkbox"/> Change in proffers/Conditions			
Describe proposed use: PLANNED office PARK:			
Property owner name(s): LAYMAN FAMILY LLC			
Mailing address: 467 LAYMAN LN			
Town, State, Zip Code: DALEVILLE VA 24083			
Phone number: 293-2200		FAX:	_____
Email: JOHN.ALLEN.LAYMAN@GMAIL.COM			
Property location (physical address): 147 DALEVILLE CENTRE DR DALEVILLE VA			
Subdivision: LAYMAN FAMILY, LLC			
State Route Number: 779/220		Magisterial District:	AMSTERDAM
Tax map number(s): 101-109A			
Deed Book: 558		Page number(s):	1807
Total area of property: 13.42 AC			
Total area included in this request: 13.42 AC			

Certified plat prepared by a Licensed Land Surveyor of entire property include metes and bounds. Requests for rezoning of a portion of a parcel of land requires a legal metes and bounds description of that particular portion. Show: Lengths of all property lines, existing and proposed building(s) for existing and proposed uses, and distance of buildings from all property lines, including distance from any street/highway right-of-way adjoining the parcel. (See attached concept plan checklist and information sheet.)

**BOTETOURT COUNTY DEVELOPMENT SERVICES**  
**Planning Commission Application**

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

Appropriate application fee payable to the *Treasurer of Botetourt County* is hereby submitted for advertising.

All applicants must have notarized signatures by the current property owners. By signing below, signature(s) indicate consent [§25-521(9)(1)(c)] for county officials to conduct site reviews on this property.

J. Allen Layman, Managing Member  
Signature and printed name of property owners

10-1-15  
Date

Sandra Layman Bolton  
Signature and printed name of property owners

10/1/15  
Date

Sam Layman  
Signature and printed name of property owners

10/1/15  
Date

_____  
Signature and printed name of property owners

_____  
Date

State of Virginia  
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this 1st day of October 2015 by  
J ALLEN LAYMAN, JAMISS D LAYMAN, SANDRA SUE LAYMAN BOLTON  
Printed name of property owners

My commission expires: 1-31-2019

Date

_____  
Notary Public printed name and registration number

Christina King  
Notary Public signature

State of Virginia  
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this _____ day of _____ 20__ by

_____  
Printed name of property owners(s)

My commission expires: _____ Date

_____  
Notary Public printed name and registration number

_____  
Notary Public signature

**Note: Signature(s) of property owner(s) must be notarized.**

## STATEMENT OF INTENT

The intent of the development is to provide sites for business which would offer goods and services to the citizens of Botetourt County which are consistent with those described in the Botetourt County Code, Zoning Ordinance, Article II Division 13, Sec 25-302: (Planned Office Park/POP)

1. Offices.
2. Bank or financial institution.
3. Health and fitness center.
4. Accessory uses in the same building as the permitted principal uses primarily served, and occupying not more than twenty (20) percent of the floor area of such building:
  - a. Central reproduction and mailing services, and the like.
  - b. Restaurant, including carryout, but excluding drive-through.
  - c. Establishments for sale of office supplies and service of office equipment.
  - d. Establishments for sale of concessions and print media.
  - e. Pharmacies, laboratories, testing, engineering, research and developmental offices, and establishments for the production, fitting or sale of optical or prosthetic appliances.
  - f. Personal service establishments.
5. Educational institution.
6. Printing service.
7. Conference or training center.
8. Library.
9. Public utilities, ground-mounted or underground, such as lines, distribution transformers, pipes, meters and other facilities necessary for provision or maintenance of on-site utility services, including water, sewerage, and communications facilities.
10. Day care center.

The development will be compatible with the uses permitted on other property in the immediate vicinity and will meet the following as described in the Botetourt County Code, Special Development Approvals, Zoning Amendment:

Sec 25-581(K)(4):

Zoning map amendments. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the applicant shall address all the following in its statement of justification or plat unless not applicable. The planning commission shall give reasonable consideration to the following matters:

- a. Whether the proposed zoning district classification is consistent with the comprehensive plan.  
*Area is shown on Map 9 of Botetourt County Comprehensive Plat Future Land Use 2011 as Commercial.*
- b. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning appropriate.  
*This site has been commercial since 2001.*

- c. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity.  
*Business in the immediate vicinity include Orchard Market Center (Carillion/Food Lion/CVS/Dentist), Daleville Town Center (Restaurant: Tap House, Tisane, 1000 Hills Coffee Shop; Retail Sales: Willow Pod), Botetourt Commons (Kroger/3 Little Pigs/Cost Cutter)*
- d. Whether adequate utility, sewer and water, transportation, school and other facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned.  
*Public water and sewer and utilities are already in place or available for proposed lots.*
- e. The effect of the proposed rezoning on the county's ground water supply.  
*The effect should be minimal. The site has been connected since 2001 and is currently serviced by Western Virginia Water Authority.*
- f. The effect of uses allowed by the proposed rezoning on the structural capacity of the soils.  
*Existing structures indicate that the soils are structurally capable.*
- g. The impact that the uses that would be permitted if the property were rezoned will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity and whether the proposed rezoning uses sufficient measures to mitigate the impact of through construction traffic on existing neighborhoods and school areas.  
*There are 2 entrances to the site which connect to Valley Road and Roanoke Road. (See attached Map for existing traffic patterns)*
- h. Whether a reasonably viable economic use of the subject property exists under the current zoning.  
*Property current zoned B2. Existing structure formerly used by Lumos as offices. Now vacant.*
- i. The effect of the proposed rezoning on environmentally sensitive land or natural features, wildlife habitat, vegetation, water quality and air quality.  
*Landscaping to be consistent with that which is currently in place (see attached pictures)*
- j. Whether the proposed rezoning encourages economic development activities in areas designated by the comprehensive plan and provides desirable employment and enlarges the tax base.  
*The proposed rezoning will allow for greater flexibility in creating a viable market for sale and development of property creating increase in tax revenue.*
- k. Whether the proposed rezoning considers the needs of agriculture, industry, and businesses in future growth.  
*The proposed Planned Office Park is consistent with the Botetourt County Comprehensive Plan/Future Land Use (see Map #9)*
- l. Whether the proposed rezoning considers the current and future requirements of the community as to land for various purposes as determined by population and economic studies.

*The proposal will create services and employment in Daleville/Botetourt County. For the community this will reduce its need to travel into Roanoke for goods and services saving transportation costs and reducing traffic use of the 150 I81 interchange and increasing tax revenue base in Botetourt by allowing citizens to buy and work in their own community.*

- m. Whether the proposed rezoning encourages the conservation of properties and their values and the encouragement of the most appropriate use of land throughout the county.

*The proposed Planned Office Park is consistent with the Botetourt County Comprehensive Plan/Future Land Use (see Map #9)*

- n. Whether the proposed rezoning considers trends of growth or changes, employment, and economic factors, the need for housing, probable future economic and population growth of the county.

*Past and future growth in Botetourt County requires a need for increased availability of goods and services for its citizens.*

- o. The effect of the proposed rezoning to provide moderate housing by enhancing opportunities for all qualified residents of Botetourt County.

*n/a*

- p. The effect of the rezoning on natural, scenic, archaeological, or historic features of significant importance.

*The development will be consistent with the aesthetics of the existing site (see attached pictures)*

The development meets or will meet the following use limitations as stated in Botetourt County Code, Zoning Ordinance, Article II Division 13, Sec 25-307:

- a) Public water and sewer service. All development within the POP district is required to be served by public, community or private water and sewer facilities which comply with current county and state health department standards.

*The site is currently served by public water and sewer (Western Virginia Water Authority)*

- b) All utilities installed within the planned office park district POP shall be installed underground except where not technically feasible.

*Utilities are currently underground*

- c) Outdoor storage areas, areas for collection of refuse, loading areas, and parking areas shall be substantially screened from adjacent structures, roads and traffic arteries with hedges, dense planting, earth berms, changes in grade and/or wall. Wall materials shall be of compatible material and colors used on the exterior of the primary building.

*The site currently meets these requirements and any additional structures and their adjacent structures will be consistent with what is already in place.*

- d) Road access. All development within the POP district is required to:

•Be served by direct access to a collector roadway which shall be a road within the VDOT system.

*A private 50' roadway (Daleville Center Drive) is currently in place and has been used by the current structure on the site. It has 2 existing entrances/exits to roads in VDOT system, Valley Road and Roanoke Road. The current geometric design of Daleville Center Drive does not permit its acceptance into the VDOT system. Extensive changes would need to be made in order for it to meet the VDOT requirements. The current roadway is paved with curb & gutter.*

*Each business will maintain road frontage on Daleville Center Drive.*

*Road Maintenance and access will be addressed through a Covenants and Restrictions Document.*

- Have a minimum frontage of one hundred fifty (150) feet on a VDOT road.

*The site has 150' of road frontage on Roanoke Road.*

Additional information:

Existing stormwater management pond is or can be modified to handle existing and future runoff.

All new landscaping, lighting and signage will be county approved. It will be similar in style to the signage currently in place to enhance and preserve the aesthetics of the site.

## Proffers For

Amsterdam Magisterial District: Layman Family LLC, owner of 13.420 acres for the construction of 5 office/retail sales buildings with one existing structure, with lots ranging in size from 1.167 acres to 3.781 acres. These parcels are located on Daleville Center Drive (Private Road) between Valley Road and Layman Lane, at the intersection of Catawba Road (St Rt 779) and Roanoke Road (US Rt 220) identified on the Real Property Identification Maps of Botetourt County as Parcel 101-109A.

Proffers (subject to governmental review process):

- 1) Development will be in substantial conformance to concept plan shown on plat by McMurry Surveyors, Inc. dated August 27, 2015.
- 2) Building material for new structures will be brick, concrete, tacit, stone and/or earth tone metal.
- 3) Common areas, which includes but are not limited to the 50' private access easement (Daleville Center Drive), parking areas, drive aisles or roadways and sidewalks, will be maintained by property owners through a property owners association. Property owners will be assessed a prorated annual fee to be managed by the property owners association and used for maintenance and repairs of such areas. The property owners association will be governed by Covenants and Restrictions.
- 4) All lots will be served by existing public water, sewer and utilities. Easements will be granted to each lot.
- 5) All sidewalks will be concrete.
- 6) All driveways will be paved with curb and gutter.
- 7) Existing and proposed parking will be shared between lots through cross access easements established in Covenants & Restrictions document. The Covenants & Restrictions document will be recorded simultaneously with subdivision plat.
- 8) Access will be from Valley Road (SR779) and Roanoke Road (US220) by existing and proposed 50' right-of-ways.

We, J. Allen Layman, James D. Layman & Sandra Sue Bolton hereby proffer the preceding conditions as a part of the above-referenced request.

J. Allen Layman Nov. 4, 2015  
Name Date

Sandra L. Bolton Nov. 4, 2015  
Name Date

James D. Layman Nov 4, 2015  
Name Date

State of Virginia  
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this 4th day of  
November 2015 by Christopher N. McMurtry

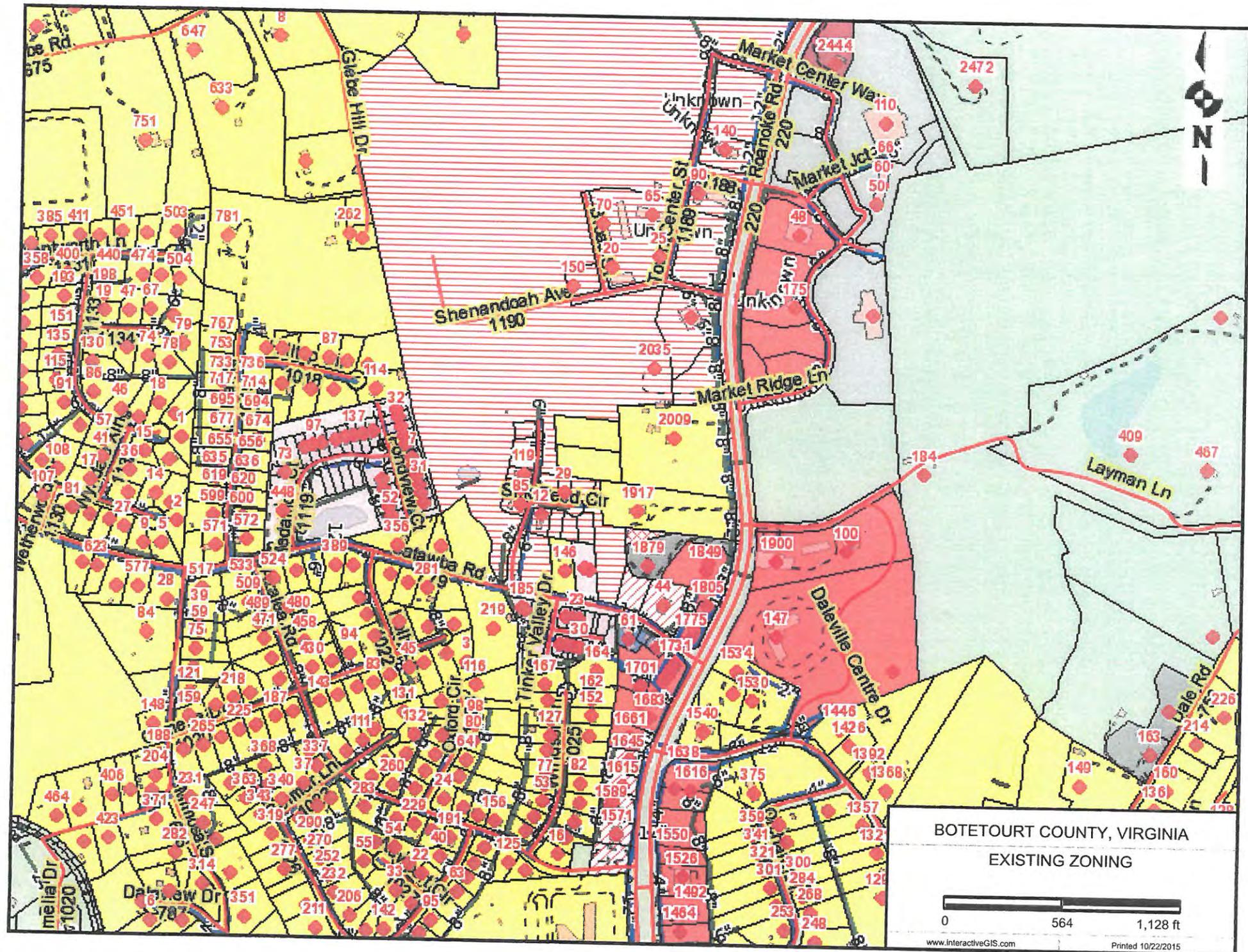
My commission expires:

Date 1-31-2019

Christopher N. McMurtry  
Notary Public







**BOTETOURT COUNTY, VIRGINIA**  
**EXISTING ZONING**



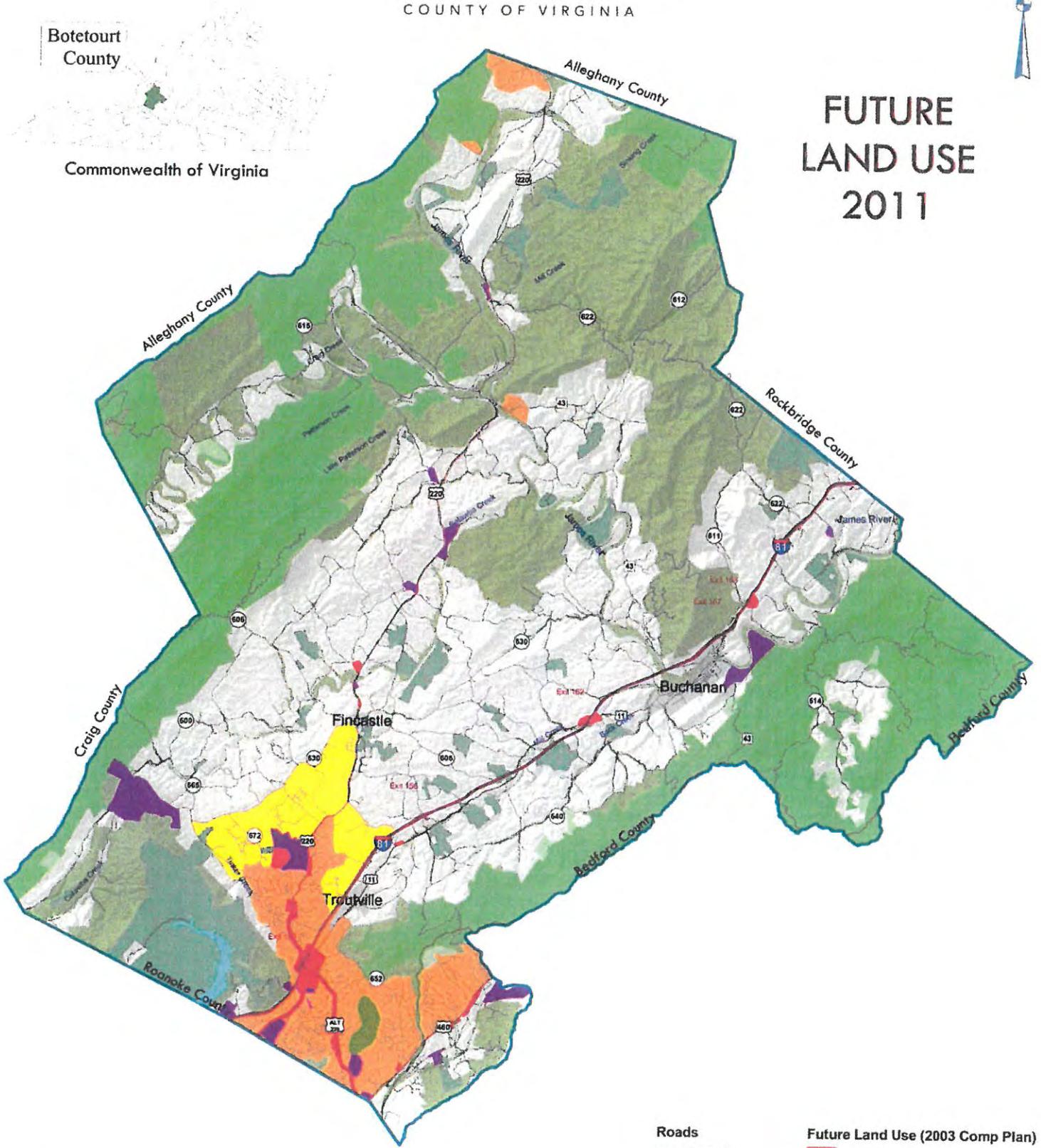
# MAP 9

# BOTETOURT

COUNTY OF VIRGINIA



## FUTURE LAND USE 2011



Botetourt  
County

Commonwealth of Virginia

### Roads

- Interstate
- Primary Rd
- Secondary Rd
- Streams/Water

### Future Land Use (2003 Comp Plan)

- Commercial
- Conservation / 100 Year Floodplain
- Industrial
- Rural Low Density Residential
- Medium Density Residential
- Incorporated Towns
- Commercial (Added 2010)

Source: Botetourt County GIS Department  
2010 Comprehensive Plan Update, February 2011



RENAISSANCE PLANNING GROUP

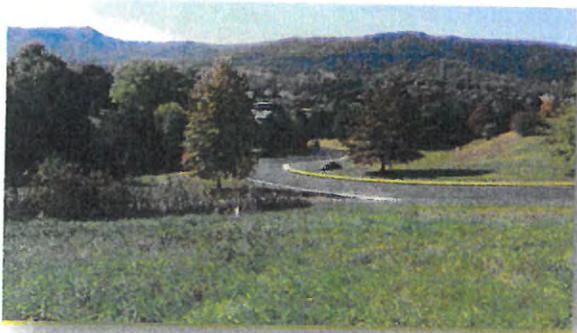
0 1 2 3 4  
Miles



Existing structures: building style/materials



Existing private road: Daleville Center Drive



P.B 23 pg 94

L/W

LINE	BEARING	DISTANCE
L1	N 81°19'20" E	70.87'
L2	S 32°34'36" E	121.15'
L3	S 01°01'31" E	81.13'
L4	N 06°15'23" W	71.15'

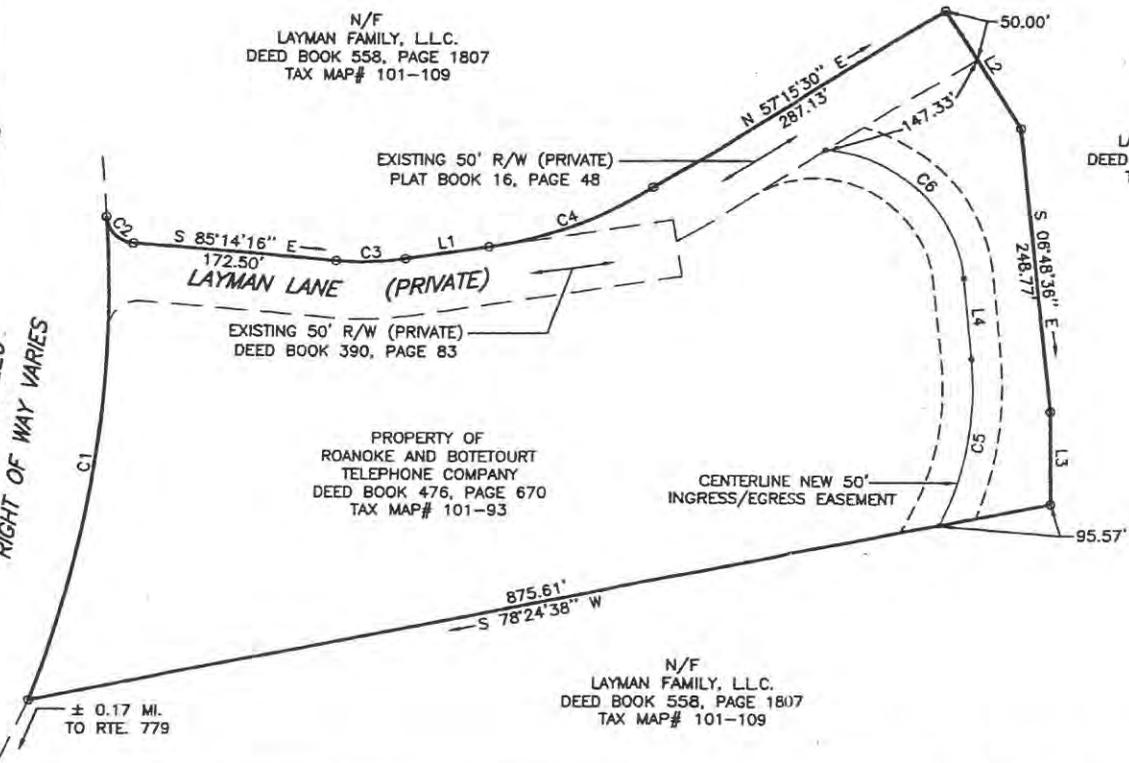
CURVE	DELTA	RAD'	TAN'	ARC'	CHORD'	BEARING
C1	25°04'47"	984.93	219.07	431.13	427.69	N 08°00'19" E
C2	80°41'30"	25.00	21.24	35.21	32.37	S 44°53'14" E
C3	13°26'21"	250.00	29.46	58.64	58.51	N 88°02'31" E
C4	24°03'50"	351.88	75.00	147.79	146.70	N 69°17'25" E
C5	31°09'54"	275.00	76.69	149.58	147.74	N 09°19'34" E
C6	79°50'24"	125.00	104.59	174.18	160.43	N 46°10'35" W

NOTES:

- OWNER OF RECORD: ROANOKE AND BOTETOURT TELEPHONE COMPANY
- LEGAL REFERENCE: DEED BOOK 476, PAGE 670
- TAX MAP NUMBER: 101-93
- NO TITLE REPORT FURNISHED, THEREFORE ENCUMBRANCES MAY EXIST OTHER THAN THOSE SHOWN HEREON.
- PROPERTY LINES AS SHOWN ARE BASED ON DEEDS/PLATS OF RECORD AND MAY VARY IF RETRACED BY A CURRENT FIELD SURVEY.

DEED BOOK 476, PAGE 670

U.S. ROUTE 220  
RIGHT OF WAY VARIES



N/F  
LAYMAN FAMILY, L.L.C.  
DEED BOOK 558, PAGE 1807  
TAX MAP# 101-109

EASEMENT PLAT FROM RECORDS  
FOR  
LAYMAN FAMILY, L.L.C.  
SHOWING NEW 50'  
INGRESS/EGRESS EASEMENT  
CROSSING TAX PARCEL 101-93  
PROPERTY OF  
ROANOKE AND BOTETOURT TELEPHONE COMPANY  
AMSTERDAM DISTRICT  
BOTETOURT COUNTY, VIRGINIA  
NOVEMBER 1, 2000  
E.C.I. PROJECT NUMBER 00052



**ENGINEERING CONCEPTS, INC.**  
20 S. ROANOKE ST., PO BOX 619  
FINCASTLE, VIRGINIA 24090  
540.473.1253 FAX: 540.473.1254

Drawn	S.B.	<p>Scale 1" = 100'</p>	1"=100'
Designed			11-01-2000
Checked			PROJECT: 00052
Approved	S.B.		1 of 1

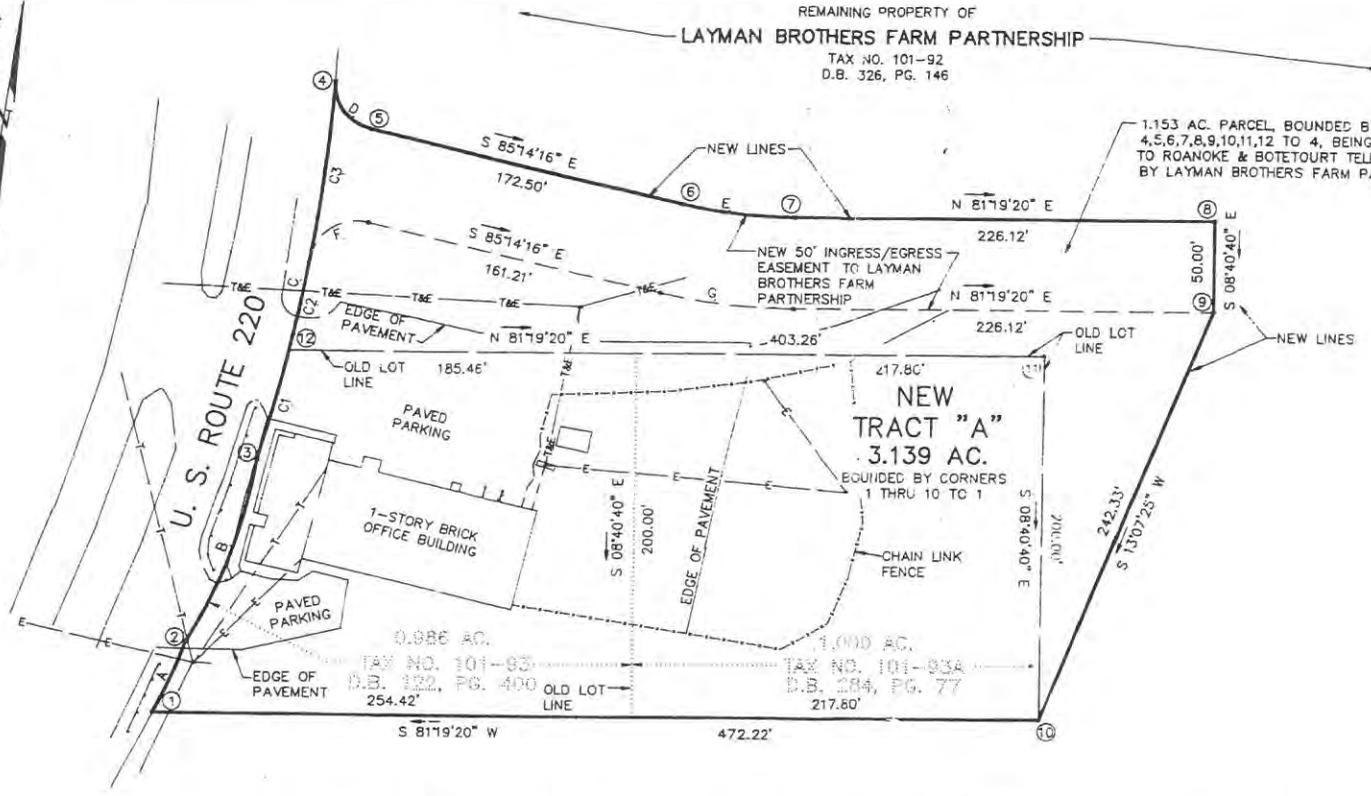
VIRGINIA: IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF BOTETOURT COUNTY  
February 16, 2001

The foregoing plat of property was this day received and admitted to record at 12:58 p.m. recorded with deed of Easement Between R/B Telephone Co and Layman Family LLC.  
Attest: Tommy L. Moore, Clerk  
By: Shannon Redford D.C.

R/w

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
A	984.93'	43.47'	21.74'	43.47'	N 15°14'47" E	02°31'44"
B	288.88'	106.75'	53.99'	106.14'	N 10°53'37" E	21°10'18"
C	984.93'	212.14'	106.48'	211.73'	N 01°38'10" E	12°20'26"
C1	984.93'	62.30'	31.16'	62.29'	N 05°59'40" E	03°37'27"
C2	984.93'	51.66'	25.83'	51.65'	N 02°41'06" E	03°00'18"
C3	984.93'	98.18'	49.13'	98.14'	N 01°40'52" W	05°42'41"
D	25.00'	35.21'	21.24'	32.37'	S 44°53'14" E	80°41'30"
F	250.00'	58.64'	29.46'	58.51'	N 88°02'32" E	13°26'25"
F	25.00'	40.83'	26.61'	36.44'	S 47°58'07" W	93°34'18"
G	300.00'	70.37'	35.35'	70.21'	N 88°02'32" E	13°26'24"

MERIDIAN OF D.B. 284, PG. 77



1.153 AC. PARCEL, BOUNDED BY CORNERS 4,5,6,7,8,9,10,11,12 TO 4, BEING CONVEYED TO ROANOKE & BOTETOURT TELEPHONE CO. BY LAYMAN BROTHERS FARM PARTNERSHIP

VIRGINIA: In the Clerk's Office of the Circuit Court of Botetourt County - June 12, 1991

The foregoing plat attached to deed from Ira D. Layman, aka to: Roanoke & Botetourt Telephone Company w.e. this day received and admitted to record at 3:1 p.m. Deed Book 390 page 83.

Attest: George E. Holt, Jr., Clerk  
By: *George E. Holt, Jr.* D.C.

REMAINING PROPERTY OF  
LAYMAN BROTHERS FARM PARTNERSHIP  
TAX NO. 101-92  
D.B. 326, PG. 146

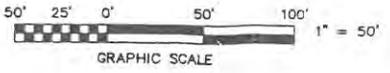


SUBDIVISION FOR  
**ROANOKE & BOTETOURT TELEPHONE CO.**

SHOWING A 1.153 AC. PARCEL BEING CONVEYED TO ROANOKE & BOTETOURT TELEPHONE CO. AND COMBINING SAID 1.153 AC. PARCEL WITH A 1.000 AC. PARCEL AND A 0.986 AC. PARCEL TO CREATE NEW TRACT "A" (3.139 AC.) SITUATE ON U. S. ROUTE 220

AMSTERDAM MAGISTERIAL DISTRICT  
BOTETOURT COUNTY, VIRGINIA

T. P. PARKER & SON  
ENGINEERS - SURVEYORS - PLANNERS



TAX NO. 101-93,93A,92  
DRAWN: DAP/CADD  
CALC.: CLW  
N.B.: G-84

SCALE: 1" = 50'  
MARCH 27, 1991  
W.O. 90-1545

Recorded ABAs

010230

2000-01-19

KNOW ALL MEN BY THESE PRESENTS, TO WHOM THESE PRESENTS SHALL COME, THAT

THE LAYMAN FAMILY, L.L.C., J. ALLEN LAYMAN, JAMES D. LAYMAN, & SANDRA SUE LAYMAN BOLTON ARE THE FEE SIMPLE OWNERS OF THE LAND SHOWN HEREON, AND IS A PART OF THE LAND CONVEYED TO SAID OWNERS BY DEEDS RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE COUNTY OF BOTETOURT, VIRGINIA, IN DEED BOOK 558, PAGE 1807 AND DEED BOOK 551, PAGE 850.

THE PLATTING AND DIVISION OF THE LAND SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS AS REQUIRED BY SECTION 15.2-2284 OF THE CODE OF VIRGINIA AS AMENDED TO DATE, AND THE SUBDIVISION ORDINANCE OF THE COUNTY OF BOTETOURT, VIRGINIA.

IN WITNESS WHEREOF IS HEREBY PLACED THE FOLLOWING SIGNATURES AND SEALS.

Signatures of J. Allen Layman, J. Allen Layman, James D. Layman, and Sandra Sue Layman Bolton.

STATE OF VIRGINIA COMMONWEALTH AT LARGE. Notary Public for Patricia Johnson, January 12, 2000.

Notary Public for Patricia Johnson, My Commission Expires 8-31-07.

STATE OF VIRGINIA COMMONWEALTH AT LARGE. Notary Public for Doreen Johnson, January 12, 2000.

Notary Public for Doreen Johnson, My Commission Expires 8-31-07.

STATE OF VIRGINIA COMMONWEALTH AT LARGE. Notary Public for Doreen Johnson, January 12, 2000.

Notary Public for Doreen Johnson, My Commission Expires 8-31-07.

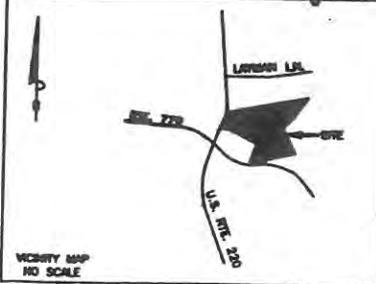
APPROVED: [Signature] DATE [Blank] CLERK SUPERVISORS, BOTETOURT COUNTY, VIRGINIA

IN THE CLERK'S OFFICE FOR THE CIRCUIT COURT OF THE COUNTY OF BOTETOURT, VIRGINIA, THIS PLAT WAS PRESENTED AND WITH THE CERTIFICATE OF ACKNOWLEDGEMENT THEREON APPROVED, ADMITTED TO RECORD AT 2:29 O'CLOCK P.M. ON THIS 17th DAY OF JANUARY, 2000, IN PLAT BOOK 250, PAGE 74.

BY: [Signature] CLERK [Signature] DEPUTY CLERK

Table with columns: CURVE, BECA, HDB, BDI, ALC, CHORD, BEINGS. Rows C1, C2.

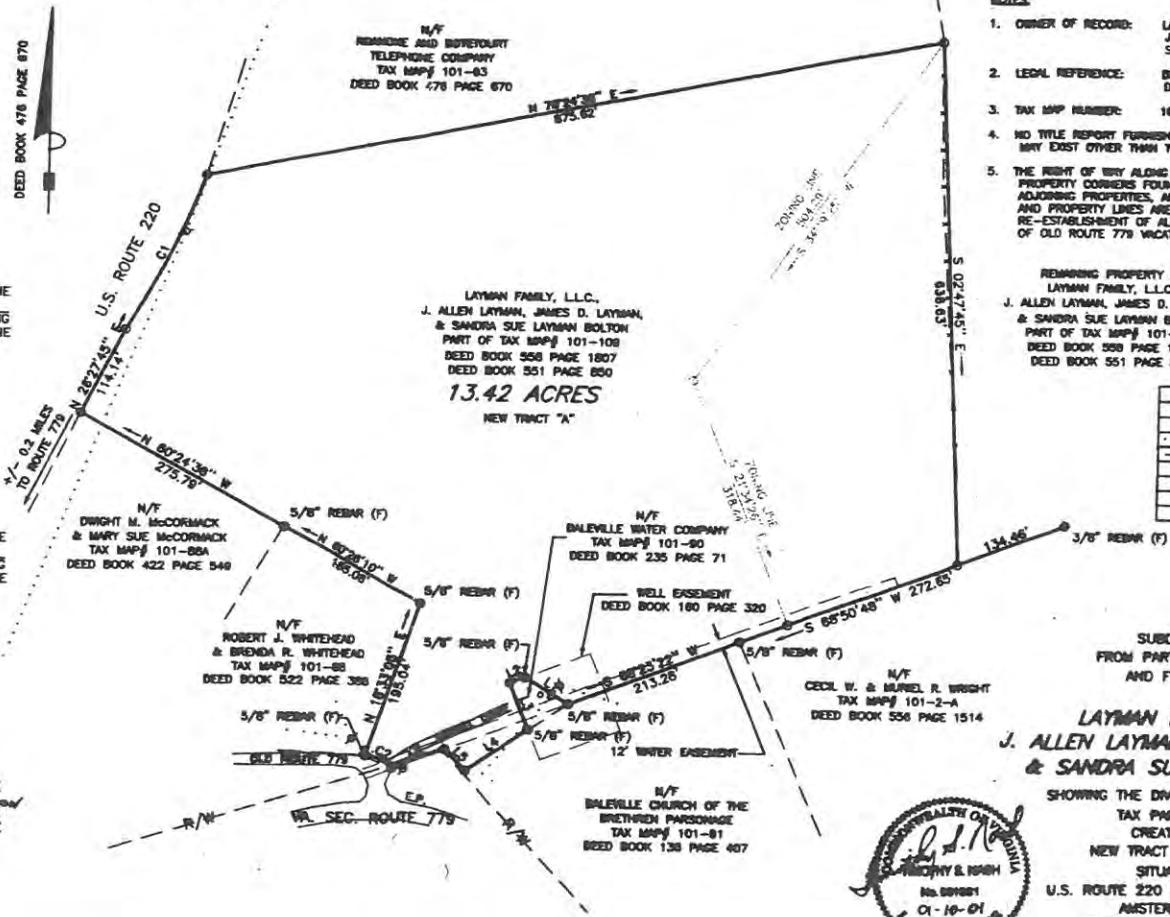
Table with columns: LINE, BEING, BEINGS. Rows L1, L2, L3, L4, L5, L6.



- NOTES: 1. OWNER OF RECORD: LAYMAN FAMILY, L.L.C., J. ALLEN LAYMAN, JAMES D. LAYMAN, & SANDRA SUE LAYMAN BOLTON. 2. LEGAL REFERENCE: DEED BOOK 558, PAGE 1807 & DEED BOOK 551, PAGE 850. 3. TAX MAP NUMBER: 101-100. 4. NO TITLE REPORT FURNISHED, THEREFORE ENCUMBRANCES MAY EXIST OTHER THAN THOSE SHOWN HEREON. 5. THE RIGHT OF WAY ALONG ROUTE 779 WAS ESTABLISHED BY PROPERTY CORNERS FOUND OF THE SUBJECT PROPERTY, ADJOINING PROPERTIES, AND PAST SURVEYS. THIS RIGHT OF WAY AND PROPERTY LINES ARE SUBJECT TO CHANGE UPON RE-ESTABLISHMENT OF ALIGNMENT BY VDOT AND VERIFICATION OF OLD ROUTE 779 VELOCATIONS AND WILL YIELD TO THE STATE.

REMAINING PROPERTY OF LAYMAN FAMILY, L.L.C., J. ALLEN LAYMAN, JAMES D. LAYMAN, & SANDRA SUE LAYMAN BOLTON PART OF TAX MAP# 101-100 DEED BOOK 558 PAGE 1807 DEED BOOK 551 PAGE 850

LEGEND table with symbols for 1/2" REBAR SET, UTILITY POLE, OVERHEAD UTILITIES, FENCE, NOW OR FORMERLY, RIGHT OF WAY, FOLDED, EDGE OF PAVEMENT.



LAYMAN FAMILY, L.L.C., J. ALLEN LAYMAN, JAMES D. LAYMAN, & SANDRA SUE LAYMAN BOLTON PART OF TAX MAP# 101-100 DEED BOOK 558 PAGE 1807 DEED BOOK 551 PAGE 850 13.42 ACRES NEW TRACT "A"

SUBDIVISION PLAT FROM PARTIAL FIELD SURVEY AND FROM RECORDS FOR LAYMAN FAMILY, L.L.C., J. ALLEN LAYMAN, JAMES D. LAYMAN, & SANDRA SUE LAYMAN BOLTON

SHOWING THE DIVISION OF A PORTION OF TAX PARCEL 101-100 CREATING HEREON NEW TRACT A (13.42 ACRES) SITUATED ALONG U.S. ROUTE 220 & VA. SEC. ROUTE 779 AMSTERDAM DISTRICT BOTETOURT COUNTY, VIRGINIA NOVEMBER 22, 2000 E.C.I. PROJECT NUMBER 00140/3



ENGINEER'S CONCEPTS, INC. 200 S. BRIDGESIDE BL., PO BOX 610 CHARLOTTE, VIRGINIA 22909 TEL: 541.550 FAX: 541.551.5284

Scale 1" = 100'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	42.50'	37.02'	35.86'	S 63°29'13" E	49°54'25"	19.78'
C2	984.93'	208.89'	208.50'	S 25°35'30" W	12°09'06"	104.84'

LINE	BEARING	DISTANCE
L1	S 68°23'22" W	213.28'
L2	N 57°47'49" W	60.08'
L3	S 68°23'23" W	18.84'
L4	S 21°36'38" E	60.92'
L5	S 55°29'47" W	89.28'
L6	N 44°01'51" W	35.00'
L7	S 68°23'22" W	67.24'
L8	N 18°33'05" E	195.04'

- PROPOSED DIVISIONS
- ① PROPOSED NEW PARCELS
- BP BUILDING PROPOSED
- ∇ ES EXISTING MONUMENT SIGN

ROANOKE RD  
RT 220 NB LANE  
R/W VARIES

114.14'  
N 26°27'45" E  
N 60°24'38" W  
275.79'

DM & MS  
MCCORMICK  
TM #101~88A  
ZONED R1

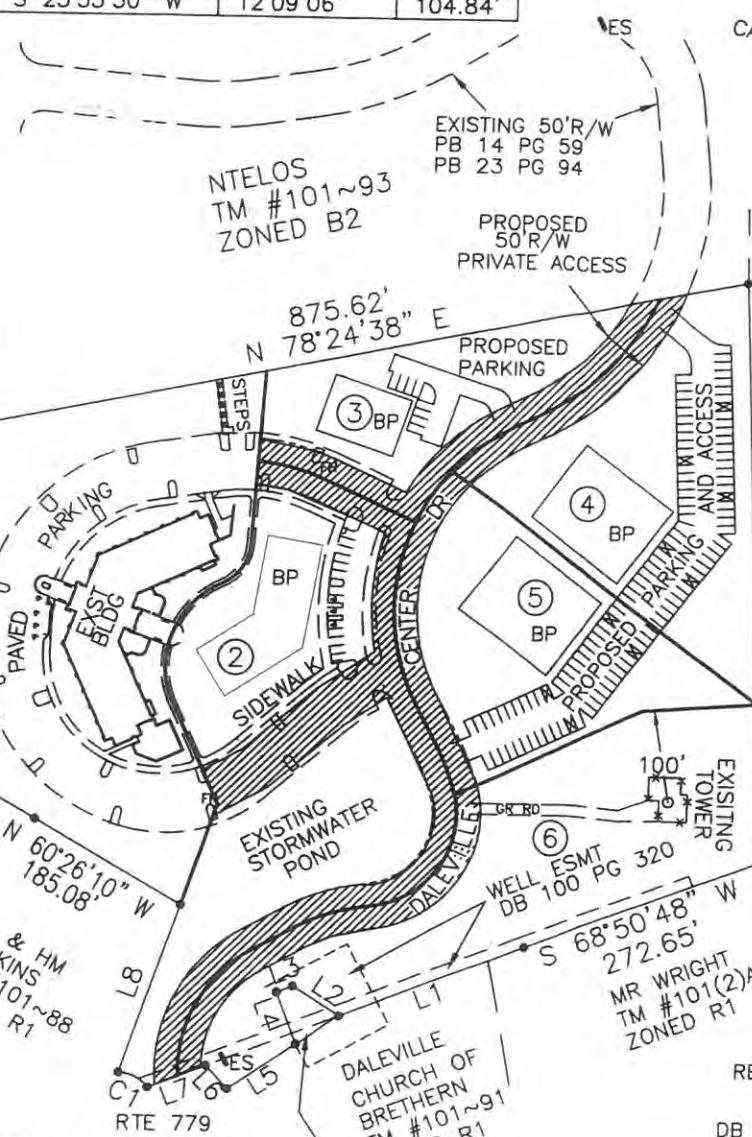
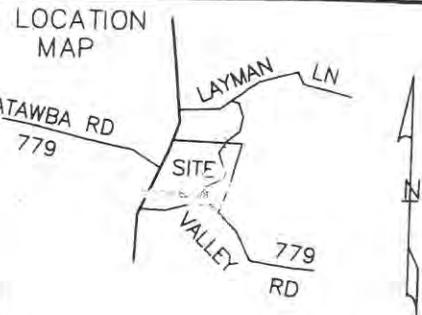
DS & HM  
PERKINS  
TM #101~88  
ZONED R1

DALEVILLE  
CHURCH OF  
BRETHERN  
TM #101~91  
ZONED R1

DALEVILLE  
WATER CO  
TM #101~90  
ZONED B2

MR WRIGHT  
TM #101(2)A  
ZONED R1

LAYMAN FAMILY LLC  
TM #101~109  
ZONED A1

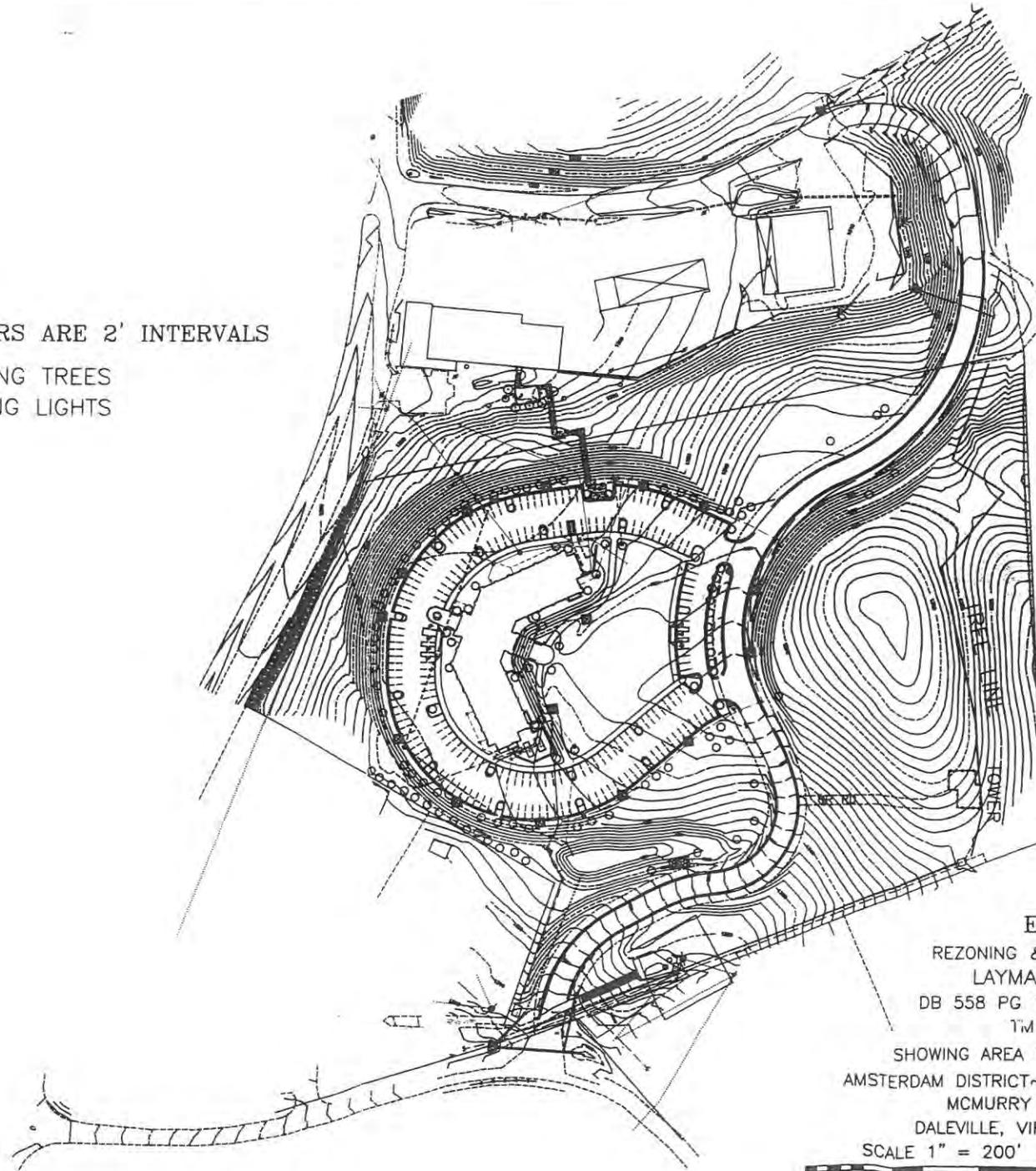


LOT	ACRE	BLDG SQFT	IMPRV ACRES	EX ACRES	IMPRV PROP ACRES	PARKING SPACES	DALEVILLE WATER CO
LOT 1	3.781	34090	1.663(44%)	NA	207 SHARED (1&2&3)		TM #101~90
LOT 2	2.857	11268	0.961(34%)	0.259(9%)	207 SHARED (1&2&3)		ZONED B2
LOT 3	1.167	5694	0.222(19%)	0.259(22%)	8+18 SHARED (4)		
LOT 4	1.805	12000	0.110(6%)	0.715(39%)	107 SHARED (4&5)		
LOT 5	1.556	12000	0.134(9%)	0.567(38%)	107 SHARED (4&5)		
LOT 6	2.254	NA	0.209(9%)	NA	NA		

PROPOSED  
REZONING & CONCEPT PLAT FOR  
LAYMAN FAMILY LLC  
DB 558 PG 1807, DB 551 PG 850  
TM #101~109A, ZONED B2  
SHOWING 13.42 ACRES TO BE REZONED TO POP  
AMSTERDAM DISTRICT~BOTETOURT COUNTY~VIRGINIA  
MCMURRY SURVEYORS, INC.  
DALEVILLE, VIRGINIA 24083~0250  
SCALE 1" = 200'  
AUGUST 27, 2015  
LAYMAN\REZONE\REZONER  
SHEET 2 OF 2

CONTOURS ARE 2' INTERVALS

- EXISTING TREES
- EXISTING LIGHTS



EXISTING

REZONING & CONCEPT PLAT FOR  
LAYMAN FAMILY LLC  
DB 558 PG 1807, DB 551 PG 850  
TM #101~103A

SHOWING AREA TO BE REZONED TO POP  
AMSTERDAM DISTRICT~BOTETOURT COUNTY~VIRGINIA  
MCMURRY SURVEYORS, INC.

DALEVILLE, VIRGINIA 24083~0250

SCALE 1" = 200'

AUGUST 27, 2015

LAYMAN\REZONE\REZONE  
SHEET 1 OF 2



## **PROJECT SUMMARY**

Layman Family LLC requests to rezone, with possible proffered conditions, a 13.42-acre parcel from a Business (B-2) Use District to a Planned Office Park (POP) Use District, in order to expand the existing commercial activities onsite without re-engineering the existing access road.

## **PLANNING COMMISSION ACTION**

The Planning Commission must make a recommendation to the Board of Supervisors as to the approval, approval with conditions, or denial of this request.

## **STAFF COMMENTS**

The applicant requests to rezone this property in order to subdivide lots, which would be sold in order to facilitate development of this 13 acres. The applicant has been unable to subdivide the lot under the current zoning, which requires all lots to have frontage and access from a state-maintained road. As this property was developed, the road that was constructed cannot be accepted by VDOT as constructed. Therefore, the subdivided lots would not have the access required by the B-2, Business Use District. Staff met with the applicant and provided options, such as variance requests as well as text amendments to the B-2, Business Use District which would allow for private roads or other means of access. Currently, R-3 and TND are the only zoning districts which permit private roads; however, Shopping Center (SC) and Planned Office Park (POP) Use Districts do not specifically require access from frontage on a state-maintained public road. In addition, the applicant feels that the development would be conducive to the uses that are permitted in POP, which reflects a decrease in the types and intensity of uses from what is currently allowed in B-2, Business Use District. That table is attached to this report.

In regards to the issue of access, the development challenges for this property are general and recurring in nature in that there are other properties in Botetourt County which have challenging terrain or steep slopes, and recent inquiries for development for business use have raised concerns regarding the access requirements in the zoning ordinance.

The applicant has submitted proffers which are intended to ensure that the development would be subdivided as proposed, and that shared areas, such as the private road as well as the parking areas and sidewalks, will be maintained by a property owners' association. The applicant has proffered that covenants and restrictions would govern this property owners' association, and that those covenants and restrictions would be recorded with the subdivision plat. In addition, the included proffers also provide that building materials will be brick, concrete, tacit, stone, and/or earth tone metal.

## APPLICATION INFORMATION

Applicant: Layman Family LLC  
Request: Rezone 13.42 acres from Business, B-2, to Planned Office Park, POP  
Tax Map Number: 101-109A  
Magisterial District: Amsterdam  
Report Prepared By: A. McGee and N. Pendleton  
PC Meeting: December 7, 2015  
BOS Meeting: December 17, 2015

## LEGAL ADVERTISEMENT

Amsterdam District: Layman Family LLC requests to rezone, with possible proffered conditions, a 13.42-acre parcel from a Business (B-2) Use District to a Planned Office Park (POP) Use District for business use located at 147 Daleville Centre Drive, Daleville, VA at its intersection with Valley Road (State Route 779) with additional access via the Roanoke Road (U. S. Route 220) intersection with Layman Lane (as shown on Tax Map 101-93) identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcel 109A.

## EXISTING CONDITIONS & BACKGROUND

This property is currently zoned Business (B-2) and has been a commercial location since 2001, according to the applicant. The following is an overview of the history of the land use for this property:

1. **March 16, 1999:** Rezoned 10.398 acres of a 194.54-acre tract from Agricultural (A-1) to Business (B-2) with conditions for office and retail use. The subject private roadway was built at this time for access to the offices. The following conditions were proffered:
  - a. The project will be constructed in substantial conformity with the restrictive covenants dated Feb. 1, 1999 and concept plan dated January 1999, prepared by Engineering Concepts, Inc. Any substantial changes to this plan must be approved by the Botetourt County Board of Supervisors.
  - b. Access road and parking areas will be paved with asphalt pavement and maintained by the property owner.
  - c. Buffering and screening will be provided along the southern and eastern property lines adjacent to the residential uses. A landscape and buffering/screening plan will be submitted to the planning office for review and approval prior to issuance of a building permit.
  - d. Layman Lane will remain open for public use from US Route 220 to the proposed access easement (to be known as R&B Lane). The access easement (R&B Lane) will be shown on the final subdivision plat.

2. **November 14, 2005:** An application was submitted to the Planning Commission for a two-lot subdivision with an exception for the lots to be accessed by a private road instead of a public, VDOT road. The road was already in place at the time of this request. This request was denied due to the Planning Commission's opposition to the private road. Some issues mentioned were that the county had "*private road problems*", the Planning Commission did not want to set a precedent of approving private roads, and that the private roads "*put the county in a bind*".
3. **February 28, 2006:** Rezoned an adjoining three acres from Agricultural (A-1) to Business (B-2) for office use with the following proffered condition:
  1. The project will be constructed in substantial conformity drawn by Engineering Concepts, Inc., dated December 19, 2005.
4. **November 27, 2007:** A special exception permit was granted for a telecommunications tower. All SEP conditions have been completed.

This applicant is requesting the rezoning in order to subdivide the property into five lots in order to sell those lots. This request stems from an issue the applicant has with bringing the existing private access road up to VDOT standards for acceptance into the state highway system. The access road in question does not meet VDOT standards because of a curve in the road which exceeds the acuteness allowable per regulations. The applicant does not wish to re-engineer the existing access road in order to straighten it to an acceptable curvature.

A rezoning to Planned Office Park, POP, would allow the applicant to maintain the current access road and to subdivide the property as proposed. A rezoning would somewhat change the uses available to the applicant. Further, a rezoning would eliminate the existing proffers which govern the development of the site. The POP district is similar to Business (B-2) in terms of office use, but is more restrictive in terms of retail uses. That table is attached for your review.

#### ADJACENT PROPERTIES AND SURROUNDING AREA

The property is located adjacent to Roanoke Road (U.S. Route 220) in an area which has already seen commercial development. The adjoining uses are listed below.

	<u>Zoning</u>	<u>Owner (Land Use)</u>
<b>North</b>	Business, B-2	NTELOS; Office building and storage
<b>East</b>	Agricultural, A-1	Layman Family, LLC et als; Agricultural
<b>West</b>	Business, B-2	Pentagon Properties LLC; Salon, bakery, restaurants
<b>South</b>	Residential, R-1	Several single family dwellings; one church

#### PROPOSED DEVELOPMENT

The applicant proposes a rezoning to Planned Office Park, POP, in order to subdivide and continue developing the land in question into an office park. The attached concept plan shows six parcels. One parcel will contain the existing building on the property; four new parcels will contain new commercial buildings. The fifth new parcel will be kept as a telecommunications tower site.

## PROPOSED PROFFERS

The following proffers were submitted with the application:

1. Development will be in substantial conformance to concept plan shown on plat by McMurry Surveyors, Inc. dated August 27, 2015.
2. Building materials for new structures will be brick, concrete, tacit, stone and/or earth tone metal.
3. Common areas, which includes but are not limited to the 50' private access easement (Daleville Center Drive), parking areas, drive aisles or roadways and sidewalks, will be maintained by property owners through a property owners association. Property owners will be assessed a prorated annual fee to be managed by the property owners association and used for maintenance and repairs of such areas. The property owners association will be governed by Covenants and Restrictions.
4. All lots will be served by existing public water, sewer and utilities. Easements will be granted to each lot.
5. All sidewalks will be concrete.
6. All driveways will be paved with curb and gutter.
7. Existing and proposed parking will be shared between lots through cross access easements established in Covenants and Restrictions document. The Covenants and Restrictions document will be recorded simultaneously with the subdivision plat.
8. Access will be from Valley Road (SR779) and Roanoke Road (US220) by existing and proposed 50' right-of-ways.

## 2010 COMPREHENSIVE PLAN

The 2010 Comprehensive Plan identifies future land uses in this area as Commercial.

### *Commercial*

This category designates areas where commercial developments have occurred and where future commercial developments are encouraged. Public water and sewer is generally available or planned for these areas.

## UTILITIES

The site is currently served by public water and sewer, provided and managed by the Western Virginia Water Authority. All utilities onsite are currently underground, per the requirements for a Planned Office Park.

## TRAFFIC

2014 VDOT traffic data indicates there is an Annual Average Daily Traffic (AADT) of 27,000 vehicles per day along this section of US Route 220, measured from the I-81 interchange to Catawba Road (State Route 779), a distance of 1.67 miles, and an Annual Average Daily Traffic (AADT) of 15,000 vehicles per day from Catawba Road (State Route 779) to Trinity Road (State Route 670).

## VDOT

A letter from VDOT is attached; however, they had no comments on this request.

**FIRE AND RESCUE**

This property is served by Troutville Fire and Rescue, located approximately 2.7 miles from the site according to Google Maps.

**SCHOOLS**

The school system will not be impacted by this request.

**PUBLIC COMMENT**

No public comments have been submitted at this time. Additional comments may be forthcoming at the public hearings.

**DRAFT MOTIONS**

**Approval for Rezoning:**

I move that the zoning map amendment for **Layman Family LLC** be forwarded to the Board of Supervisors with recommendation for approval with the proffered conditions as submitted by the applicant and included in the background report prepared by staff.

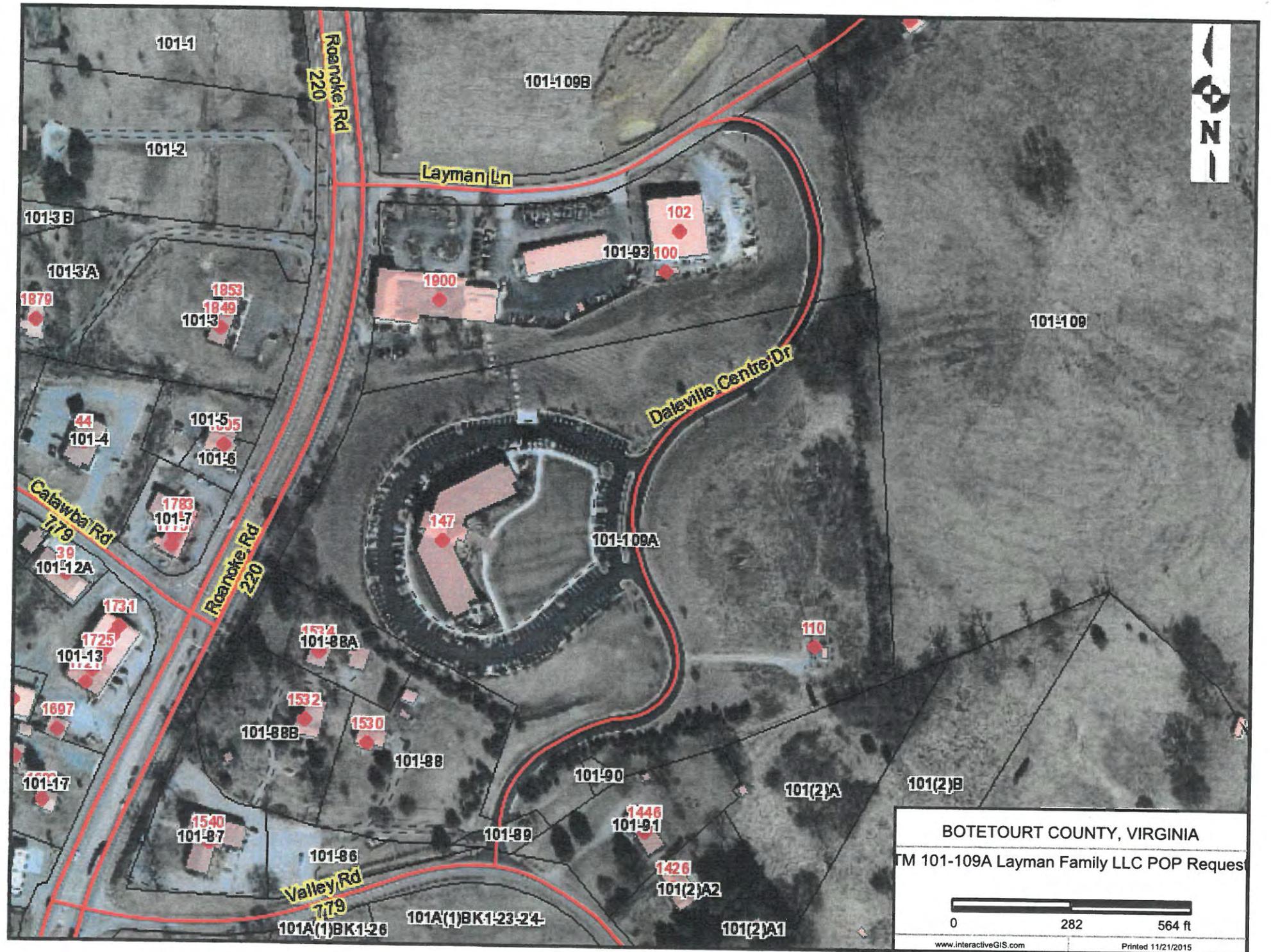
And on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Approval, with revisions, Rezoning:**

I move that the zoning map amendment for **Layman Family LLC** be forwarded to the Board of Supervisors with recommendation for approval subject to the following revisions to the concept plan and/or proffers [*list any recommended changes*], on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Denial, Rezoning:**

I move that the zoning map amendment for the property of **Layman Family LLC** be forwarded to the Board of Supervisors with recommendation for denial on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have not been satisfied due to the following reasons: _____



BOTETOURT COUNTY, VIRGINIA  
 TM 101-109A Layman Family LLC POP Request  
 0 282 564 ft  
 www.interactiveGIS.com Printed 11/21/2015



# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF TRANSPORTATION

714 South Broad Street  
Salem, VA 24153

CHARLES A. KILPATRICK, P.E.  
COMMISSIONER

November 23, 2015

Ms. Nicole Pendleton  
Planning and Zoning Administrator  
County Of Botetourt  
5 West Main Street, Suite 100  
Fincastle, VA 24090

RE: Planning Commission Request  
Rezoning B-2 to POP  
Botetourt County  
Route 220, Roanoke Road, Daleville, VA

Dear Ms. Pendleton,

We have reviewed the above mentioned rezoning request. The Department has no comments on this request. It appears from the information provided the rezoning will not adversely impact VDOT right-of-way over the existing condition. Any future expansions or development of the proposed subdivided parcels may require VDOT review and approval of a Traffic Impact Analysis and development plans along with any necessary permitting.

Should you have any questions, please do not hesitate to call. Thank you.  
Sincerely,

A handwritten signature in black ink, appearing to read 'B. Blevins'.

Brian K. Blevins, P.E.  
Salem Area Land Use Engineer  
VDOT, Transportation and Land Use

acs/

Planned Office Park (POP)	Business (B-2)	Planned Office Park (POP)	Business (B-2)	Planned Office Park (POP)	Business (B-2)
Permitted Uses		Permitted Uses, Accessory to primary use		Uses permitted by Special Exception	
Offices	Offices	Central reproduction/mailing services	Accessory buildings in conjunction with permitted uses	Medical care facility, outpatient	Medical care facility
Bank or financial institution	Banks	Restaurant, excluding drive-thru		Radio, radar, television, and telecommunication tower	Telecommunication tower, freestanding
Daycare Center	Daycare Center	Establishments for sale of office supplies/equipment		Hospital	Dance halls, assembly halls, clubs and lodges
Public utilities, ground mounted or underground	Public utilities, all	Establishments for sale of concessions/print media		Fire, police, and rescue station	Public billiards parlors and poolrooms
Health and fitness center	General stores	Pharmacies, laboratories, testing, engineering, research and development		Public utility service center	Bowling alleys
Educational Institution	Retail stores and shops (personal services)	Establishments for the production/sale of optical/prosthetic appliances		Radio and television broadcasting or recording studio	Golf driving ranges
Printing Services	Restaurants	Personal service establishments		Public utilities, above ground	Outdoor/Drive-in theaters
Conference or training center	General food and beverage stores			Heliport	Flea markets
Library	Drug stores			Hotel/motel	Video game rooms/arcades
	Bakeries				Service stations
	Dry cleaning/Laundry				Convenience stores
	Clothing and dry goods stores				Veterinary hospital, exterior animal run
	Commercial uses serving the needs of the community				Commercial recreation uses, indoor and outdoor
	Meat and poultry shops (no slaughtering on premises)				Car washes
	Hospitals and nursing homes				Vehicle repair, light
	Funeral home/crematorium				
	Cemeteries				
	Veterinary or animal clinic, no exterior animal facilities				
	Upholstery shops				
	Tourist houses/boardinghouses				

 Green squares show same use  
 Blue squares show similar use

**Planning Commission Extract  
Land Use Related Request**

**Board of Supervisors Action Needed**

**December 17, 2015**

**Request**

**Valley Magisterial District: RYT, LLC requests the following: a text amendment to Section 25-284. District Requirements, of Chapter 25. Zoning of the Botetourt County Code to increase the maximum district size of the Neighborhood-type Shopping Center from nine to twelve acres; to rezone, with possible proffered conditions, a 1.781-acre lot from a Business (B-3) Use District and Industrial (M-1) Use District to a Shopping Center (SC) Use District; and requests a Special Exception Permit on 0.833 acres, with possible conditions, for a convenience store, to include fuel sales, located at 2780 Lee Highway (U.S. Route 11), Troutville, VA. The property is located in the southern corner of the intersection of Lee Highway and Cloverdale Road (ALT U. S. Route 220), identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcel 176.**

**This land use change request involves the following:**

- Land rezoning (conditions must be proffered, or offered by the applicant).
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permit (the Board has authority to assign conditions).

**Planning Commission Recommendation:**

On a vote of 5:0:0:0, the Planning Commission recommended approval of the text amendment to increase the maximum district size of the Neighborhood-type shopping center from nine to twelve acres.

On a vote of 4:1:0:0, (Mr. Kidd voted to deny) the Planning Commission recommended approval to rezone the 1.781-acre lot from a Business (B-3) Use District and Industrial (M-1) Use District to a Shopping Center (SC) Use District with the following proffered conditions:

1. The property will be developed in substantial conformance with the "Rezoning Concept Plan and Special Exception Permit Plan for 7-Eleven, Lee Highway and Cloverdale Road, Troutville, Botetourt County, Virginia" prepared by Bohler Engineering dated October 28, 2015.
2. The Developer shall install any and all turn lanes, tapers, traffic lights, pavement, widening, curbing, sidewalks and other road improvements required by VDOT for this project.
3. No more than five inoperative motor vehicles per lot will be stored on that portion of the property not subject to the special exception application.

On a vote of 5:0:0:0, the Planning Commission recommended approval of the convenience store Special Exception Permit with the following conditions:

1. Prior to submittal of any site plans for review by the Department of Community Development, the property will be subdivided into two parcels as shown on the "Rezoning Concept Plan and Special Exception Permit Plan for 7-Eleven, Lee Highway and Cloverdale Road, Troutville, Botetourt County, Virginia" prepared by Bohler Engineering dated October 28, 2015 and described by the metes and bounds description on the concept plan.
2. There shall be no more than 270 square footage of signage on the lot.
3. Other than one monument sign not to exceed 150 square feet in size, and ten feet in height, no free-standing signs shall be permitted. Pole signs, ground-mounted signs, and electronic message board signs are prohibited. The allowed monument sign should be set back from the right-of-way at least ten feet from the property line.
4. No temporary window signs are permitted.
5. The dumpster shall be gated and enclosed with a solid brick wall in color to match the building.
6. With the exception of the movie kiosk, the CO2 tank and propane cage, no outdoor vending machines or display of merchandise shall be permitted.
7. Any vacuum or air pump machines shall be screened with evergreen plant material if adjacent to the right-of-way, and shall be depicted on the final site plan.
8. The proposed building shall be constructed in substantial conformance with the elevations provided in the 7-Eleven signage plan submitted by Cummings Signs and dated November 5, 2015.
9. The gas canopy pillars shall be encased in brick in the same color of the building to a height of ten feet.
10. A bike rack will be provided on premises.
11. The special exception permit shall be valid for a period of no longer than 24 months, unless, during such 24-month period: (1) a site plan is approved; (2) a building permit is obtained and the erection or alteration of a structure is started and diligently pursued, or (2) an occupancy permit is obtained and a use commenced. Such period of validity may be extended for good cause shown, by application to the body that approved the special exception permit.
12. Construction of the building shall be limited to the materials as shown on material board MSB 2, dated December 4, 2015.

**Action requested of the Board of Supervisors:**

The Board of Supervisors may approve, or deny the request to text amendment to increase the maximum district size of the Neighborhood-type shopping center from nine to twelve acres.

The Board of Supervisors may approve, approve with proffered conditions, deny or table the rezone the 1.781-acre lot from a Business (B-3) Use District and Industrial (M-1) Use District to a Shopping Center (SC) Use District.

The Board of Supervisors may approve, approve with conditions, deny or table the request for a convenience store Special Exception Permit.

**Staff Comments:**

Staff received one comment prior to the hearing regarding crime at “7-11 stores and convenience stores.” No public comments were received prior to or during the public hearing.

Members of the Planning Commission discussed the following:

- existing and proposed signage on the site
- the request to continue to store inoperable vehicles on the site
- the condition of the existing retaining wall
- the orientation of the proposed store
- the building and construction materials
- the “tower” and other architectural detail; and
- the hours of operation.

If approved, 7-Eleven anticipates a late summer or spring 2016 opening.

Staff does not have proffers signed and notarized by the property owner. In addition, the Planning Commission requested that the materials board exhibit MSB 2, dated December 4, 2015 be provided to staff.

## **DRAFT MOTIONS**

### **Text Amendment**

#### **Approval:**

I move to approve the text amendment to revise Section 25-284. District Requirements of the Botetourt County Zoning Ordinance to increase the maximum district size of the “neighborhood” type Shopping Center (SC) Use District from 9 acres to 12 acres, on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

#### **Denial:**

I move to deny the text amendment to revise Section 25-284. District Requirements of the Botetourt County Zoning Ordinance to increase the maximum district size of the “neighborhood” type Shopping Center (SC) Use District from 9 acres to 12 acres, for the following reasons...

...and on the basis that the proposed text amendment is NOT consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

#### **Approval for Rezoning:**

I move to approve the zoning map amendment for **RYT LLC** with the following proffered conditions as submitted by the applicant and included in the staff report;

And on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

#### **Approval, with revisions, Rezoning:**

I move to approve the zoning map amendment for **RYT LLC** subject to the following revisions to the concept plan and/or proffers [*list any recommended changes that are agreeable to the applicant*], on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

#### **Denial, Rezoning:**

I move to deny the zoning map amendment for the property of **RYT LLC** on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have not been satisfied due to the following reasons: _____

### **Approval, SEP:**

I move to approve the special exception permit for a **Convenience Store with fuel for RYT LLC** (approval or approval with the following conditions)

- 1.
2. ....

And on the basis that the applicant has satisfactorily demonstrated that the proposed use will have little to no adverse effects upon the community or other properties in the vicinity of the proposed use or structures according to the Zoning Ordinance Section 25-583 and that the proposal would serve the public necessity, convenience, general welfare and is good zoning practice.

**Denial, SEP:**

I move to deny the special exception permit for a **Convenience Store with fuel for RYT LLC.** Based upon Zoning Ordinance Section 25-583 the following items have not been satisfied

- 1.
2. (list findings/reasons for denial)

2300 WILSON BOULEVARD  
7TH FLOOR  
ARLINGTON, VA 22201  
PHONE 703.525.4000  
FAX 703.525.2207

Zachary G. Williams, Esq.  
Admitted VA, MD, and DC  
zwilliams@beankinney.com

November 19, 2015

**VIA FEDERAL EXPRESS**

Nicole Pendleton  
Zoning Administrator  
Botetourt County Development Services  
5 W. Main Street, Suite 100  
Fincastle, VA 24090

Re: Project Name: 7-Eleven  
Applicant: RYT LLC  
Application: Rezoning and Special Exception  
Address: 2780 Lee Highway, Troutville, VA 24175  
Tax Map #: 101-176 (the "Property")

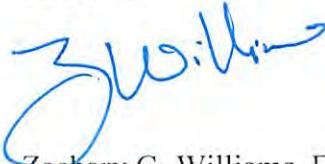
Dear Ms. Pendleton:

In response to your request that we provide 15 copies of our application materials, please see the enclosed package, which includes:

1. November 6, 2015 Response Letter to Staff Comments (15 copies)
2. Signed Application Form (15 copies)
3. Statement of Intent (15 Copies)
4. Proposed Proffers (15 copies)
5. 7-Eleven Sign Package (15 copies)
6. Lighting Specification Sheets (15 copies)
7. Text Amendment Letter Request (15 Copies)
8. Revised Concept Plan and ALTA Survey (15 copies)
9. Traffic Impact Analysis (15 copies)
10. CD including a PDF of all application materials

If you have any questions or require any further information, please do not hesitate to contact Mark Viani or Zach Williams at 703-525-4000 or at mviani@beankinney.com and zwilliams@beankinney.com.

Sincerely,



Zachary G. Williams, Esq.



2300 WILSON BOULEVARD  
7TH FLOOR  
ARLINGTON, VA 22201  
PHONE 703 525 4000  
FAX 703 525 2207

Zachary G. Williams, Esq.  
Admitted VA, MD, and DC  
zwilliams@beankinney.com

November 6, 2015

**VIA FEDERAL EXPRESS**

Nicole Pendleton  
Zoning Administrator  
Botetourt County Development Services  
5 W. Main Street, Suite 100  
Fincastle, VA 24090

Re: Project Name: 7-Eleven  
Applicant: RYT LLC  
Application: Rezoning and Special Exception  
Address: 2780 Lee Highway, Troutville, VA 24175  
Tax Map #: 101-176 (the "Property")

Dear Ms. Pendleton:

In response to your letter of November 2, 2015, enclosed is a revised application package for a rezoning and special exception for the above-reference property.

This revised application package includes the following:

1. Revised Statement of Intent (5 copies)
2. Revised Proposed Proffers (5 copies)
3. Revised Concept Plan (5 hard copies and digital copy included)
4. Revised 7-Eleven Sign Package (5 copies)
5. Lighting Specification Sheets (5 copies)
6. Traffic Impact Analysis (5 copies)
7. Text Amendment Letter Request (5 Copies)

Point by point responses to the issues raised in your letter of November 2, 2015 are set forth below.

1. **Please provide a written response to my preliminary comment letter dated July 8, 2015 and emailed July 17, 2015.**

**Response:** The points raised in the July 8, 2015 letter are addressed below:

1. Please clarify property acreages shown on the concept plan, application, survey, and letter of intent.



**Response:** We have now clarified the acreage of the property in the concept plan, ALTA survey, and letter of intent. The revised application form submitted on October 29, 2015 states the correct acreage. The total acreage of the Subject Property to be rezoned is 1.781 acres. The total acreage of the special exception portion of the property is 0.833 acres.

2. As proposed, this application seeks to subdivide the subject property. In accordance with the Botetourt County Zoning Ordinance, the subject property cannot be subdivided as proposed. Zoning regulations limit the minimum district size of a Business, B-3 lot to seven acres or reduced to four acres by SEP approval, and the minimum lot size requirements is 40,000 square feet. Further, the section of the property that is shown as being zoned B-3 on the concept plan is zoned B-3 and M-1 and should be shown as such on the concept plan. In addition, if this property were to be subdivided, the lot would also require 100 feet of road frontage and access from a state-maintained street.

**Response:** This comment is no longer applicable. We now seek to rezone the entire property to the SC zone and then subdivide the property as depicted on the revised concept plan.

3. Does the concept plan show the current or the future configurations of VDOT's access management project?

**Response:** The concept plan depicts future/ultimate conditions of the VDOT access management project.

4. Staff suggests including "sidewalks" as part of Proffer #2.

**Response:** Sidewalks have been included as part of the proposed Proffer #2.

5. On the signature page for the Statement of Proffers, please insert "TM 101-176" in the heading.

**Response:** This change has been made.

6. Please have proffers signed and notarized.

**Response:** The proposed proffers will be signed and notarized prior to the public hearing.

7. What are the external fixtures adjacent to the building along U.S. Route 11? What are the sketches indicating? Is an outside bathroom proposed?



**Response:** Labels have been added to the concept plan depicting and identifying each of the external features. These include the Redbox DVD rental machine, propane cage, CO2 tank, and an electrical panel.

8. Concerning signage, please submit plans including calculations for all proposed signs, and a proposed sketch of the proposed monument sign. Note that directional signs may be placed on subject property only and not within the VDOT right-of-way but may not have any advertising regarding 7-Eleven on them unless they are counted as part of the total signage allowed on the property. The Planning Commission may suggest that a monument sign and other proposed signage be in conformance with a proposed sketch be a condition for approval.

**Response:** We have included a sign plan package with this Application identifying all signs to be provided, along with their locations and dimensions.

9. Regarding landscaping, please show the landscaping strip as mentioned in note 15.

**Response:** Per e-mail correspondence from Nicole Pendleton on 10/12/15, a waiver can be requested with the final site plan to place the plantings required in the landscape strip elsewhere on-site.

10. Staff has concerns about the building location and orientation on the site, and the lack of windows and design along the property facing Route 11. In addition, what is the purpose of the blackout window and empty space above this window (See Review Board Elevations, Sheet RBE-1)?

**Response:** After internal coordination and review, we have confirmed that the current building location provides the best use of the site taking into account existing site constraints, as well as optimal circulation and access from the surrounding public road network. 7-Eleven only locates windows at the front of its stores due to security concerns. The blackout window is a faux window and this is an architectural feature to enhance the look of the building.

11. Are there plans for the large sign currently located on this property to be removed? The Planning Commission may propose that the sign be removed as a condition for approval.

**Response:** There are currently no plans by 7-Eleven or the property owner to use the large sign referenced on the property.

12. Regarding lighting, please provide a sketch of the proposed lighting fixtures. The Planning Commission may propose certain types of light fixtures as a condition for approval.



**Response:** We are providing specifications of the proposed lighting fixtures to be used by 7-Eleven at this location. Enclosed with this submission are specification sheets describing the types of light fixtures typically used at 7-Eleven facilities. Additional details will be provided upon final engineering, along with a photometric plan. The lighting fixtures will conform to all applicable Botetourt County codes and ordinances.

13. The space for the loading area appears to cross the property line and is located in the parking setback. How is new merchandise processed from the delivery truck to the store? Please indicate where delivery trucks will park and unload stock.

**Response:** As discussed during our meeting with County staff, the loading space is not required to be shown and will be removed. Deliveries are taken through the store front. Only one tractor trailer delivery truck per week will service the 7-Eleven store. The majority of merchandise is delivered by a box truck on a daily basis.

14. Staff has concerns about the building materials, such as the fiber cement panel the prefinished metal canopy and anodized aluminum.

**Response:** 7-Eleven is using an attractive and upscale prototype for this location. This prototype is commonly utilized in upscale, high traffic locations in the Mid-Atlantic region. In addition, the 7-Eleven site will be buffered and landscaped to provide an attractive and well-maintained development at this location.

15. Please advise of any potential changes to the existing retaining wall.

**Response:** No changes are proposed to the existing retaining wall. Future maintenance and upgrades to the retaining wall will remain under the control of the existing property owner, RYT LLC, following subdivision.

16. What are the hours of operation? What are the hours of loading and refueling?

**Response:** The hours of operation are 24/7. There will be no no set hours of loading and refueling at this location.

17. Please include a PDF of the signed application, in addition to a PDF of the Traffic Impact Analysis.

**Response:** PDFs of the signed application and TIA shall be provided.

18. Please address stormwater management for the site and clarify the statement regarding stormwater management in relation to the VDOT access management project.



**Response:** See revised note #14 on the concept plan, which addresses stormwater management for the site.

2. **Future application packages must be collated and assembled into individual sets.**

**Response:** This shall be done with all future submissions.

3. **The applicant is the property owner. However, Vertical Construction Management, LLC is shown as the property owner on the Statements of Intent. Vertical Construction Management, LLC may apply on behalf of the applicant. Please update your Statement of Intent accordingly.**

**Response:** This change has been made to the Statement of Intent.

4. **Your revised application package did not include the previously submitted Traffic Impact Analysis. Please include the appropriate amount of copies as part of your resubmittal and include an electronic copy. Please submit the Traffic Impact Analysis as part of this package and to Mr. Brian Blevins of the Virginia Department of Transportation.**

**Response:** Five copies of the Traffic Impact Analysis are included in this submission package. We will also send a copy of the TIA to Mr. Blevins at VDOT.

5. **Prior to the public hearing, proffers must be signed and notarized by the current property owner.**

**Response:** The proposed proffers will be signed and notarized prior to the public hearing.

6. **Proposed signage does not meet the Botetourt County Sign Ordinance. Please address and include details on the following:**

- a. **Please provide more detail regarding the proposed signage package and include total sign calculations, particularly on Page 10.**

**Response:** The requested detail has been provided in the signage package. Sign calculations, including the dimensions and square footage of each sign, are now provided on page 10 of the sign package.

- b. **The total calculations should account for the proposed window signage.**

**Response:** The calculations provided on page 10 of the signage package now account for the window signs.

- c. **The Concept Plan 1 shows a monument style sign. The signage package shows a Pylon sign. Please explain this discrepancy.**



Nicole Pendleton  
Page 6 of 6

**Response:** The revised signage package now shows a monument sign. The pylon sign previously shown was an error.

**d. The Concept Plan shows directional signs within the setbacks.**

**Response:** All directional signs have been removed from the concept plan.

**e. Only one free-standing sign is permitted per lot.**

**Response:** The only free-standing sign now proposed for this project is the monument sign depicted on the concept plan and in the revised signage package.

**f. Please clarify exterior promotional signs and include them in sign calculations.**

**Response:** The exterior promotional signs previously identified on the concept plan have been removed for clarity. Please refer to the signage package for all sign locations.

**7. Please account for stacking spaces for the gas pumps.**

**Response:** Per discussions with Nicole Pendleton on 11/5/2015, the concept plan now accounts for stacking as indicated.

**8. Please provide application materials for the proposed text amendment.**

**Response:** A copy of our letter requesting the text amendment has been included in this submission package.

If you have any questions or require any further information, please do not hesitate to contact Mark Viani or Zach Williams at 703-525-4000 or at [mviani@beankinney.com](mailto:mviani@beankinney.com) and [zwilliams@beankinney.com](mailto:zwilliams@beankinney.com).

Sincerely,

A handwritten signature in black ink that reads 'Z Williams'. The signature is stylized with a large, looped 'Z' and a cursive 'Williams'.

Zachary G. Williams, Esq.

**BOTETOURT COUNTY DEVELOPMENT SERVICES**

**Planning Commission Application**

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

**TO THE BOARD OF SUPERVISORS AND PLANNING COMMISSION OF BOTETOURT COUNTY:**

*Please type or print information below*

<b>Date:</b> October 28, 2015		<b>Current zoning:</b> B-3/M-1	
<b>Please check request(s) below:</b>		<b>Please briefly describe request below (indicate zoning change, SEP request, changes, etc.):</b>	
<input type="checkbox"/>	<b>Request rezoning to (From zoning ordinance permitted uses list)</b>	Shopping Center (SC) (neighborhood)	
<input type="checkbox"/>	<b>Special Exceptions Permit request for (from zoning ordinance SEP list)</b>	Special Exception request for convenience store and gasoline station in an SC zone.	
<input type="checkbox"/>	<b>Text Amendment (proposed use)</b>	A text amendment has been requested to increase the district size for the "neighborhood" SC district from 9 acres to 12 acres.	
<input type="checkbox"/>	<b>Change in proffers/Conditions</b>	N/A	
<b>Describe proposed use:</b>		7-Eleven convenience store and gasoline station	
<b>Property owner name(s)</b>		RYT, LLC	
<b>Mailing address</b>		210 Carver Avenue	
<b>Town, State, Zip Code</b>		Roanoke, VA 24012	
<b>Phone number</b>		540-982-3809	FAX 540-982-3855
<b>Email</b>		robertyoung6581@yahoo.com	
<b>Property location (physical address):</b>		2780 Lee Highway, Troutville, VA 24175	
<b>Subdivision:</b>			
<b>State Route Number:</b>		<b>Magisterial District:</b>	Valley
<b>Tax map number(s):</b>		101-176	
<b>Deed Book:</b>		0707243	<b>Page number(s):</b> 000047
<b>Total area of property</b>		1.781 acres	
<b>Total area included in this request:</b>		Rezoning: 1.781 acres; Special Exception: 0.833 acres	

Certified plat prepared by a Licensed Land Surveyor of entire property to include metes and bounds. Requests for rezoning of a portion of a parcel of land requires a legal metes and bounds description of that particular portion. Show: Lengths of all property lines, existing and proposed building(s) for existing and proposed uses, and distance of buildings from all property lines, including distance from any street/highway right-of-way adjoining the parcel. (See attached concept plan checklist and information sheet.)

**BOTETOURT COUNTY DEVELOPMENT SERVICES**

**Planning Commission Application**

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

Appropriate application fee payable to the *Treasurer of Botetourt County* is hereby submitted for advertising.

All applicants must have notarized signatures by the current property owners. By signing below, signature(s) indicate consent [§25-521(9)(1)(c)] for county officials to conduct site reviews on this property.

_____  
Signature and printed name of property owners

6-25-15  
_____  
Date

_____  
Signature and printed name of property owners

_____  
Date

_____  
Signature and printed name of property owners

_____  
Date

_____  
Signature and printed name of property owners

_____  
Date

State of Virginia

County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this 26 day of June 2015 by

Robert Young  
_____  
Printed name of property owners

My commission expires: August 31, 2016 Date

Brenda M Williams #7533961  
_____  
Notary Public printed name and registration number

Brenda M Williams  
_____  
Notary Public signature



State of Virginia

County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this _____ day of _____ 20__ by

_____  
Printed name of property owners(s)

My commission expires: _____ Date

_____  
Notary Public printed name and registration number

_____  
Notary Public signature

**Note: Signature(s) of property owner(s) must be notarized.**

## STATEMENT OF INTENT

### Project Overview

Project Name: 7-Eleven  
Applicant: RYT LLC  
Subject Property Address: 2780 Lee Highway, Troutville, VA 24175  
Tax map number: 101-176  
Request: Rezoning from B-3/M-1 to SC; Special Exception for Convenience Store and Gasoline Service Station in the SC District

### Introduction

On behalf of RYT LLC, the “Applicant,” please accept this Statement of Intent in support of the Applicant’s Application (the “Application”) requesting a rezoning and special exception for the above-referenced property. In this Application, the Applicant requests a rezoning from the B-3 and M-1 zones to the Shopping Center (SC) neighborhood district and a special exception in the SC district to allow a convenience store and gasoline service station use on this site. The Applicant proposes to construct a new 7-Eleven convenience store and gasoline service station on a portion of the Subject Property. The convenience store is proposed to consist of 3,062 square feet and eight fueling stations with a canopy.

### Rezoning Request

The Subject Property is currently zoned B-3 and M-1. The Applicant is requesting a rezoning of the Subject Property to the Shopping Center (SC) neighborhood district. The total acreage of the Subject Property is 1.781 acres. The total acreage of the special exception portion of the property is 0.833 acres. The enclosed Concept Plan depicts the Subject Property on which the Applicant requests the rezoning and special exception.

The applicable rezoning standards set forth in Section 25-581(k)(4) of the Botetourt County Zoning Ordinance (“ZO”) are addressed below:

**a. Whether the proposed zoning district classification is consistent with the comprehensive plan.**

Rezoning the Subject Property to the Shopping Center (SC) neighborhood district is consistent with the Comprehensive Plan’s recommendation that this area remain commercial. The SC district is “created to permit the development of neighborhood, community and regional shopping centers in scale with surrounding market areas, as recommended in the county land use plan.” See ZO § 25-281. The Comprehensive Plan states that commercial uses are recommended where the wholesale and retail sale of goods and services is the primary activity.

The Subject Property is located approximately 500 feet from the Exit 150 interchange of I-81 and Cloverdale Road. This location is particularly suitable for commercial uses given that, as the Comprehensive Plan states, “[c]ommercial and office development in the County has historically occurred at Interstate 81 interchanges....” The surrounding and adjacent properties contain uses appropriate for a busy I-81 interchange, including fast food restaurants, gasoline stations, and hotels. Therefore, the SC district is an appropriate zone to accomplish the goals in the Comprehensive Plan for commercial uses at this location. Moreover, the proposed SC zoning on the Subject Property will be consistent with the SC-zoned properties directly adjacent and to the south of the Subject Property.

**b. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning appropriate.**

VDOT is planning to make roadway improvements to the intersection of Cloverdale Road and Lee Highway (Route 11) as part of an Exit 150 improvement project. This VDOT project will improve the performance of this intersection and the accessibility to the Subject Property, which is located on the southeast corner of the intersection. The Concept Plan depicts future/ultimate conditions of the VDOT access management project.

In addition, the Exxon gasoline station on the Subject Property and the former gasoline station on the property directly to the west across Route 11 are no longer in operation. As noted above, the Comprehensive Plan recommends commercial uses for this area.

**c. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity.**

Nearby and surrounding properties are already zoned SC, including the properties directly adjacent and to the south of the Subject Property. The range of commercial uses permitted in the SC zone are compatible with the existing uses on surrounding properties, including fast food restaurants, gasoline stations, and hotels.

**d. Whether adequate utility, sewer and water, transportation, school and other facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned.**

Uses in the SC zone are generally less intensive than uses permitted in the current B-3 and M-1 zones for the Subject Property, which allow heavy commercial and industrial business. The Subject Property is currently being used as a towing facility.

VDOT is planning to make roadway improvements to the intersection of Cloverdale Road and Lee Highway (Route 11) as part of an Exit 150 improvement project. This VDOT project will improve the performance of this intersection and the accessibility to the Subject Property, which is located on the southeast corner of the intersection. In addition, the Applicant has completed a Traffic Impact Analysis, which is enclosed, and indicates that after all VDOT improvements are completed, if the proposed 7-Eleven convenience store and gasoline station is

built, this intersection will continue to operate at an overall LOS D during both peak hours with all intersection approaches operating at LOS E or better.

The water, sewer, and utilities serving the Subject Property will continue to remain adequate for the proposed use and the SC zone, which is consistent with the existing uses permitted on the Subject Property.

There are no existing neighborhoods or school areas in the immediate vicinity of the Subject Property. Furthermore, SC commercial uses are not expected to have an impact on County schools.

**e. The effect of the proposed rezoning on the county's ground water supply.**

It is not expected that the proposed rezoning will have an adverse impact on the County's ground water supply. The Subject Property will utilize public water and sewer service. Development of the Subject Property and operation of the proposed improvements, to include the gasoline station, will comply with all applicable environmental and usage regulations.

**f. The effect of uses allowed by the proposed rezoning on the structural capacity of the soils.**

It is not expected that the proposed rezoning will have an adverse impact on the structural capacity of the soils. Above ground structures proposed with this Application consist of a single-story 3,062 square foot convenience store and eight fuel pumps with a canopy.

**g. The impact that the uses that would be permitted if the property were rezoned will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity and whether the proposed rezoning uses sufficient measures to mitigate the impact of through construction traffic on existing neighborhoods and school areas.**

The proposed rezoning and associated special exception use will not have an adverse impact on vehicular or pedestrian traffic and traffic safety in the vicinity of the Subject Property. VDOT is planning to make roadway improvements to the intersection of Cloverdale Road and Lee Highway (Route 11) as part of an Exit 150 improvement project. This VDOT project will improve the performance of this intersection and the accessibility to the Subject Property, which is located on the southeast corner of the intersection. In addition, the Applicant has completed a Traffic Impact Analysis, which is enclosed, and indicates that after all VDOT improvements are completed, if the proposed 7-Eleven convenience store and gasoline station is built, this intersection will continue to operate at an overall LOS D during both peak hours with all intersection approaches operating at LOS E or better.

There are no existing neighborhoods or school areas in the immediate vicinity of the Subject Property.

**h. Whether a reasonably viable economic use of the subject property exists under the current zoning.**

While the current B-3 and M-1 zones permit viable economic use of the Subject Property, the proposed SC zone (which is consistent with the zoning on adjacent properties) would permit a more desirable and economically viable use of the property consistent with the Comprehensive Plan and the County's strategic economic goals for this area.

The current B-3 and M-1 zones on the Subject Property allow for heavy commercial and industrial business and would not permit commercial retail uses such as the 7-Eleven convenience store proposed under this Application. The Subject Property is currently being used as a towing facility. The Subject Property is located on the southeast corner of the intersection of Lee Highway (Route 11) and Cloverdale Road, less than 500 feet from the I-81 Exit 150 interchange. The Subject Property is therefore an appropriate location for less intensive commercial uses in the SC zone serving vehicles traveling on I-81, such as the proposed convenience store and gasoline station. The Subject Property is not well-situated for the types of passive heavy commercial and industrial uses currently permitted in the B-3 and M-1 zones.

The proposed convenience store and gasoline station will present an attractive landscaped and well-managed property consistent with the County's interest in creating an aesthetically-pleasing gateway to the Troutville commercial core from Exit 150 off I-81.

**i. The effect of the proposed rezoning on environmentally sensitive land or natural features, wildlife habitat, vegetation, water quality and air quality.**

It is not expected that the proposed rezoning will have an adverse impact on environmentally sensitive land or natural features, wildlife habitat, vegetation, water quality and air quality. There is no environmentally sensitive land or natural resources, wildlife habitat, or vegetation in the immediate vicinity of the Subject Property. Furthermore, uses in the SC zone are generally less intensive than uses permitted in the current B-3 and M-1 zones for the Subject Property, which allow heavy commercial and industrial business. The Subject Property is currently being used as a towing facility. Thus, the proposed rezoning is expected to result in lesser future impacts on water quality and air quality.

**j. Whether the proposed rezoning encourages economic development activities in areas designated by the comprehensive plan and provides desirable employment and enlarges the tax base.**

The proposed rezoning will encourage commercial uses, as recommended by the Comprehensive Plan. The 7-Eleven convenience store and gasoline station will activate this site and provide retail employment at this location. The Subject Property is currently being used as a passive towing facility.

- k. Whether the proposed rezoning considers the needs of agriculture, industry, and businesses in future growth.**

The proposed rezoning will encourage commercial uses, as recommended by the Comprehensive Plan.

- l. Whether the proposed rezoning considers the current and future requirements of the community as to land for various purposes as determined by population and economic studies.**

The “current and future requirements of the community as to land for various purposes” is expressed in the Comprehensive Plan. The proposed rezoning and associated special exception use will maintain and upgrade the commercial use on the Subject Property, as recommended by the Comprehensive Plan.

- m. Whether the proposed rezoning encourages the conservation of properties and their values and the encouragement of the most appropriate use of land throughout the county.**

The proposed rezoning and associated special exception use will upgrade and improve the commercial use of the Subject Property and will contribute to the viability of the commercial core, as recommended by the Comprehensive Plan.

- n. Whether the proposed rezoning considers trends of growth or changes, employment, and economic factors, the need for housing, probable future economic and population growth of the county.**

The proposed rezoning and associated special exception use will upgrade and improve the commercial use of the Subject Property and will contribute to the viability of the commercial core, as recommended by the Comprehensive Plan.

- o. The effect of the proposed rezoning to provide moderate housing by enhancing opportunities for all qualified residents of Botetourt County.**

Not applicable.

- p. The effect of the rezoning on natural, scenic, archaeological, or historic features of significant importance.**

The rezoning will not have an effect on natural, scenic, archaeological, or historic features of significant importance in the County. According to the Comprehensive Plan, there are no historic features in the proximity of the Subject Property. In addition, there are no known natural, scenic, or archeological features of significant importance in the proximity of the Subject Property.

### Special Exception Request

The Applicant is requesting a special exception to construct a 7-Eleven convenience store and gasoline station on the Subject Property. In the SC district, convenience stores are permitted by special exception. *See* ZO § 25-283. The Zoning Ordinance defines a “convenience store” as follows: “Any retail establishment offering for sale a relatively limited section of prepackaged food products, household items, and other related goods, including fuel sales, characterized by a rapid turnover of customers and high-traffic generation.”

The applicable special exception standards set forth in Zoning Ordinance Section 25-583(f)(1) are addressed below:

**a. Whether the proposed special exception permit is consistent with the comprehensive plan.**

As noted above, the Comprehensive Plan recommends commercial uses for this area. The 7-Eleven convenience store and gasoline station is a commercial use that is well-situated adjacent to the I-81 interchange at this location. The Subject Property is currently being used as a towing facility. An Exxon gasoline station formerly existed on this site.

**b. Whether the proposed special exception permit will adequately provide for safety from fire hazards and have effective measures of fire control.**

All required fire safety and fire control measures will be provided for this use.

**c. The level and impact of any noise emanating from the site, including that generated by the proposed use, in relation to the uses in the immediate area.**

The level and impact of noise emanating from the site and the proposed use will be minimal and will be consistent with other uses in the surrounding commercial core. The Subject Property is located on the southeast corner of the busy intersection of Lee Highway (Route 11) and Cloverdale Road, just off of Exit 150 of I-81. The immediate area includes fast food restaurants, a Kangaroo Express gasoline station, hotels, and a truck sales business.

**d. The glare or light that may be generated by the proposed use in relation to uses in the immediate area.**

See above response. The glare or light that may be generated by the proposed will be minimal and will be consistent with other uses in the immediate area of this busy intersection. All lights shall be aimed and shielded so as to not present a significant glare on neighboring commercial properties. In this Application, we are providing specifications of the proposed lighting fixtures to be used by 7-Eleven at this location. Enclosed with this submission are specification sheets describing the types of light fixtures typically used at 7-Eleven facilities. Additional details will be provided upon final engineering, along with a photometric plan. The lighting fixtures will conform to all applicable Botetourt County codes and ordinances.

- e. The proposed location, lighting and type of signs in relation to the proposed use, uses in the area, and the sign requirements of this chapter.**

We have included a sign plan package with this Application identifying all signs to be provided, along with their locations and dimensions. All signs will comply with County Requirements. As reflected in the Concept Plan and elevations enclosed with this Application, 7-Eleven expects to construct a monument sign on the northwest corner of the site with additional signage located on the gasoline pump canopy and the convenience store.

- f. The compatibility of the proposed use with other existing or proposed uses in the neighborhood, and adjacent parcels.**

The proposed use will be compatible with other existing uses in the neighborhood and adjacent parcels. The Subject Property is located on the southeast corner of the busy intersection of Lee Highway and Cloverdale Road, just off of Exit 150 of I-81. The immediate surrounding area includes fast food restaurants, a Kangaroo Express gasoline station, hotels, and a truck sales business.

- g. The location and area footprint with dimensions (all drawn to scale), nature and height of existing or proposed buildings, structures, walls, and fences on the site and in the neighborhood.**

See enclosed Concept Plan.

- h. The nature and extent of existing or proposed landscaping, screening and buffering on the site and in the neighborhood.**

See enclosed Concept Plan.

- i. The timing and phasing of the proposed development and the duration of the proposed use.**

The construction for the proposed use is expected to be completed in 2016.

- j. Whether the proposed special exception permit will result in the preservation or destruction, loss or damage of any topographic or physical, natural, scenic, archaeological or historic feature of significant importance.**

The proposed use will not have an effect on natural, scenic, archaeological, or historic features of significant importance in the County. According to the Comprehensive Plan, there are no historic features in the proximity of the Subject Property. In addition, there are no known natural, scenic, or archeological features of significant importance in the proximity of the Subject Property.

**k. Whether the proposed special exception permit at the specified location will contribute to or promote the welfare or convenience of the public.**

As discussed above, the proposed special exception permit will contribute to and promote the welfare and convenience of the public. The Subject Property is located off the Exit 150 interchange of I-81 and Cloverdale Road. This location is particularly suitable for commercial uses serving I-81 traffic, such as a convenience store and gasoline service station. The proposed convenience store and gasoline station will present an attractive landscaped and well-managed property consistent with the County's interest in creating an aesthetically-pleasing gateway to the Troutville commercial core from Exit 150 off I-81.

**l. The traffic expected to be generated by the proposed use, the adequacy of access roads and the vehicular and pedestrian circulation elements (on and off-site) of the proposed use, all in relation to the public's interest in pedestrian and vehicular safety, efficient traffic movement and access in case of fire or catastrophe.**

The proposed rezoning and associated special exception use will not have an adverse impact on vehicular or pedestrian traffic and traffic safety in the vicinity of the Subject Property. VDOT is planning to make roadway improvements to the intersection of Cloverdale Road and Lee Highway (Route 11) as part of an Exit 150 improvement project. This VDOT project will improve the performance of this intersection and the accessibility to the Subject Property, which is located on the southeast corner of the intersection. In addition, the Applicant has completed a Traffic Impact Analysis, which is enclosed, and indicates that after all VDOT improvements are completed, if the proposed 7-Eleven convenience store and gasoline station is built, this intersection will continue to operate at an overall LOS D during both peak hours with all intersection approaches operating at LOS E or better.

**m. Whether, in the case of existing structures proposed to be converted to uses requiring a special exception permit, the structures meet all code requirements of Botetourt County.**

All existing structures on the rezoned portion of the Subject Property will be razed and replaced with new structures. All new structures will meet all applicable code requirements of Botetourt County.

**n. Whether the proposed special exception permit will be served adequately by essential public facilities and services.**

The proposed use will be served adequately by existing essential public facilities and services available on the Subject Property.

VDOT is planning to make roadway improvements to the intersection of Cloverdale Road and Lee Highway (Route 11) as part of an Exit 150 improvement project. This VDOT project will improve the performance of this intersection and the accessibility to the Subject Property, which is located on the southeast corner of the intersection. In addition, the Applicant

has completed a Traffic Impact Analysis, which is enclosed, and indicates that after all VDOT improvements are completed, if the proposed 7-Eleven convenience store and gasoline station is built, this intersection will continue to operate at an overall LOS D during both peak hours with all intersection approaches operating at LOS E or better.

The water, sewer, and utilities serving the Subject Property will continue to remain adequate for the proposed use and the SC zone, which is consistent with the existing uses permitted on the Subject Property.

There are no existing neighborhoods or school areas in the immediate vicinity of the Subject Property. Furthermore, the proposed use will not have an impact on County schools.

**o. The effect of the proposed special exception permit on groundwater supply.**

It is not expected that the proposed rezoning will have an adverse impact on the County's ground water supply. The Subject Property will utilize public water and sewer service. Development of the Subject Property and operation of the proposed improvements, to include the gasoline station, will comply with all applicable environmental and usage regulations.

**p. The effect of the proposed special exception permit on the structural capacity of the soils.**

It is not expected that the proposed rezoning will have an adverse impact on the structural capacity of the soils. Above ground structures for the proposed use will consist of a single-story 3,062 square foot convenience store and eight fuel pumps with a canopy.

**q. Whether the proposed use will facilitate orderly and safe road development and transportation.**

It is not expected that the proposed use will have an adverse impact on vehicular and pedestrian traffic and traffic safety in the vicinity of the Subject Property, particularly when taking into account expected VDOT improvements for this intersection, which will improve accessibility to the Subject Property. The Applicant has completed a Traffic Impact Analysis for the proposed use, which is included with this Application.

**r. The effect of the proposed special exception permit on environmentally sensitive land or natural features, wildlife habitat and vegetation, water quality and air quality.**

It is not expected that the proposed rezoning will have an adverse impact on environmentally sensitive land or natural features, wildlife habitat, vegetation, water quality and air quality. There is no environmentally sensitive land or natural resources, wildlife habitat, or vegetation in the immediate vicinity of the Subject Property. Furthermore, uses in the SC zone are generally less intensive than uses permitted in the current B-3 and M-1 zones for the Subject Property, which allow heavy commercial and industrial business. The Subject Property is currently being used as a towing facility. Thus, the proposed rezoning and proposed use is

expected to result in lesser future impacts on water quality and air quality than currently exist on site.

- s. Whether the proposed special exception permit use will provide desirable employment and enlarge the tax base by encouraging economic development activities consistent with the comprehensive plan.**

The proposed rezoning will encourage commercial uses, as recommended by the Comprehensive Plan. The 7-Eleven convenience store and gasoline station will activate this site and provide retail employment at this location. The Subject Property is currently being used as a passive towing facility.

- t. Whether the proposed special exception permit considers the needs of agriculture, industry, and businesses in future growth.**

As discussed above, the 7-Eleven convenience store and gasoline station will activate this site and provide retail employment at this location, which is particularly suitable given the proximity of the Subject Property to the Exit 150 I-81 interchange. The Subject Property is currently being used as a passive towing facility.

- u. The effect of the proposed special exception permit use in enhancing affordable shelter opportunities for residents of the county.**

Not applicable.

- v. The location, character, and size of any outdoor storage.**

Not applicable.

- w. The proposed use of open space.**

See the enclosed Concept Plan, which depicts proposed open space and landscaping on the Subject Property.

- x. The location of any major floodplain and steep slopes.**

There are no floodplains or steep slopes on the portion of the Subject Property for which the special exception is requested.

- y. The location and use of any existing non-conforming uses and structures.**

Not applicable. The existing structures on the rezoned portion of the Subject Property will be razed and replaced with new structures.

- z. The location and type of any fuel and fuel storage.**

See enclosed Concept Plan. The proposed use will include a gasoline service station with eight fueling stations and two underground fuel storage tanks.

**aa. The location and use of any anticipated accessory uses and structures.**

There are no accessory uses or structures proposed in this Application.

**bb. The area of each use, if appropriate.**

Not applicable.

**cc. The proposed days/hours of operation.**

The proposed use will operate 24 hours per day, 7 days per week.

**dd. The location and screening of parking and loading spaces and/or areas.**

See enclosed Concept Plan.

**ee. The location and nature of any proposed security features and provisions.**

See enclosed Concept Plan.

**ff. The number of employees.**

The proposed convenience store will have eight to twelve employees.

**gg. The location of any existing and/or proposed adequate on and off-site infrastructure.**

See enclosed Concept Plan.

**hh. Any anticipated odors which may be generated by the uses on site.**

None other than are typical for a gasoline service station and convenience store.

**ii. Whether the proposed special exception permit uses sufficient measure to mitigate the impact of construction traffic on existing neighborhoods and school areas.**

Development of the 7-Eleven convenience store and gasoline station will not have an adverse impact on schools and other neighborhoods as neither are in the general vicinity of the Subject Property.

**jj. Refuse and service areas, with particular reference to the items in (a) and (b) of this subsection.**

Not applicable.

**kk. Utilities, with reference to location, availability and compatibility.**

See enclosed Concept Plan and ALTA Survey.

## STATEMENT OF PROFFERS AND SPECIAL EXCEPTION CONDITIONS

**TM 101-176  
7-ELEVEN/2780 LEE HIGHWAY  
BOTETOURT COUNTY VIRGINIA  
VALLEY MAGISTERIAL DISTRICT**

The undersigned Owner and Developer each hereby voluntarily proffers and agrees that if the property that is the subject of this rezoning request is approved, the rezoning will be subject to, and the Owner and Developer will abide by, the following conditions:

1. The property will be developed in substantial conformance with the “Rezoning Concept Plan and Special Exception Permit Plan for 7-Eleven, Lee Highway and Cloverdale Road, Troutville, Botetourt County, Virginia prepared by Bohler Engineering dated October 28, 2015.”
2. The Developer shall install any and all turn lanes, tapers, traffic lights, pavement, widening, curbing, sidewalks and other road improvements required by VDOT for this project.
3. No more than five inoperative motor vehicles per lot will be stored on that portion of the property not subject to the special exception application.

Respectfully submitted and consented to by:

OWNER:  
RYT, LLC

By: _____

Its: Managing Member

The foregoing instrument was acknowledged before me this ____ day of _____, 2015  
by Robert Young, Managing Member, on behalf of RYT, LLC.

My Commission Expires: _____

_____  
Notary Public

DEVELOPER:  
7-Eleven, Inc., a Texas Corporation

By: _____

Its: _____

The foregoing instrument was acknowledged before me this ____ day of _____, 2015  
by _____ on behalf of 7-Eleven, Inc.

My Commission Expires: _____

_____  
Notary Public

**STATEMENT OF PROFFERS  
7-ELEVEN, TROUTVILLE  
BOTETOURT COUNTY VIRGINIA  
TM 101-176  
Page 3**

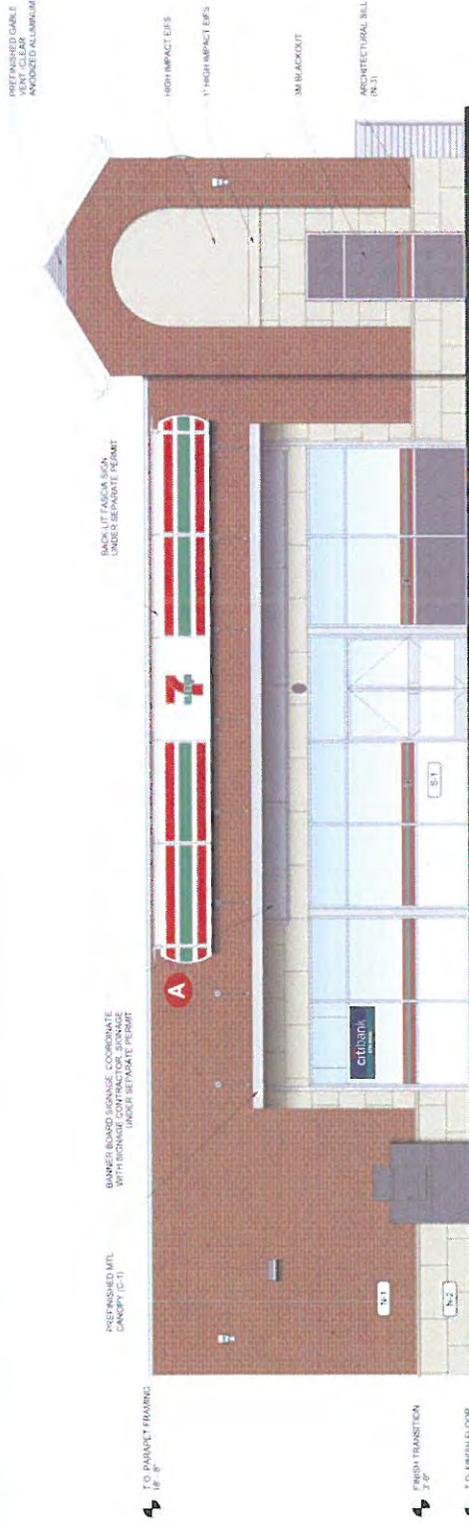


Approved By: _____  
Signed: _____  
Date: _____

**Job Location:** 37276  
2780 Lee Highway  
Troutville, VA  
**Date:** 11-5-2015



**D-ORDER # 78434.10** S. Hawke  
**Project Mgr.:** Terri Holt  
Terri.Holt@cummingsigns.com



**FRONT ELEVATION**

Single Face Wall Sign Square Footage: 47.7  
 Interior Window Sign Square Footage: 3.2  
 Allowed Square Footage (Cabinet): 70

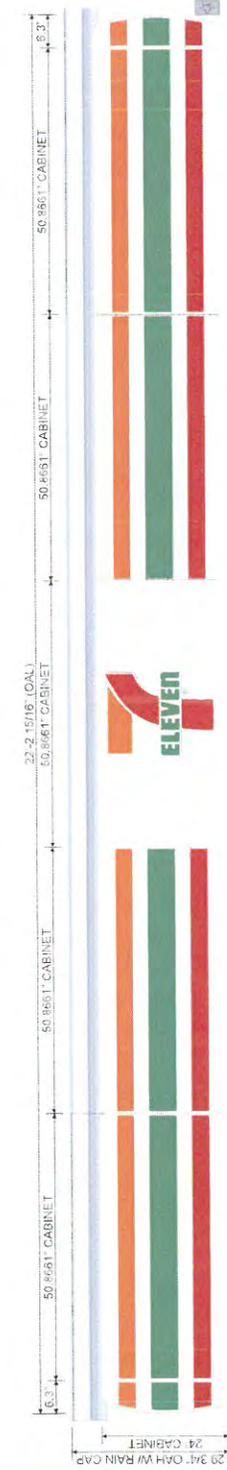


**RIGHT ELEVATION**

Single Face Wall Sign Square Footage (Cabinet): 27.5  
 Allowed Square Footage (Cabinet): 44



FASCIA SIGNAGE MANUFACTURED BY TATEYAMA.  
THIS ARTWORK NOT TO BE USED FOR PRODUCTION.



Display Square Footage (Cabinet): 44.5

A1



Display Square Footage (Cabinet): 27.5

**Job Location:** 37276  
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Troutville, VA  
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**D-ORDER #** 78434.10 S. Hawke  
**Project Mgr.:** Terri Holt  
Terri.Holt@cummingsigns.com

**B**



**INTERIOR WINDOW SIGN**

INSTALL ONE (1) STANDARD INTERIOR INTERNALLY ILLUMINATED S/F HANGING SIGN. 3/16" THICK FLAT WHITE ACRYLIC FACE W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ T-8 H.O. FLUORESCENT LAMPS. 5 1/8" DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED BLACK. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: 3M 3630-157 BLUE, 3M 3630-33 RED, 3M 3630-126 GREEN

**NOTE: EXACT INSTALL LOCATION TBD**

SHOWN FOR PERMITTING PURPOSES ONLY.  
SIGN PROVIDED BY CARDTRONICS.  
SIGN COMPANY WILL INVOICE CARDTRONICS  
FOR INSTALLATION SEPARATELY.

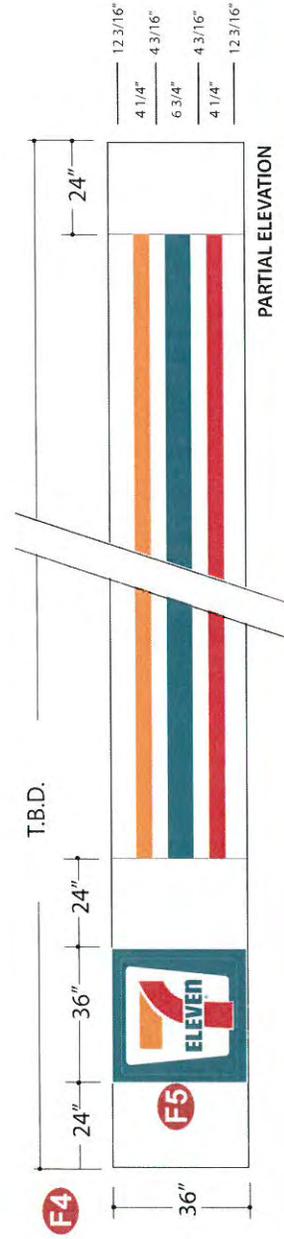
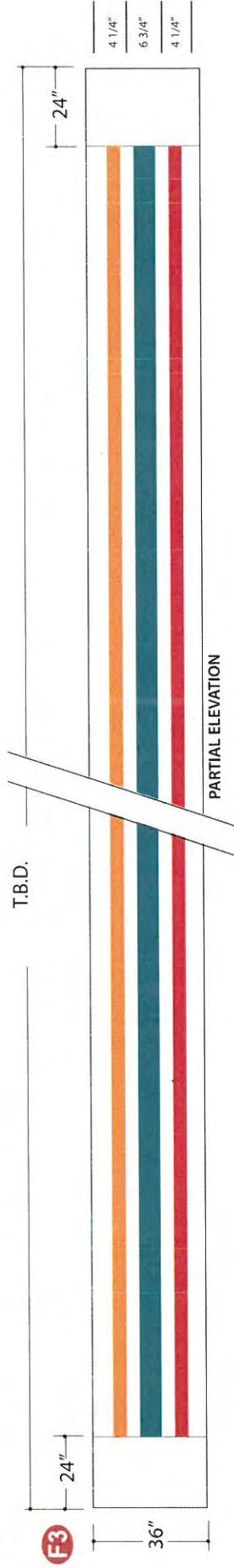
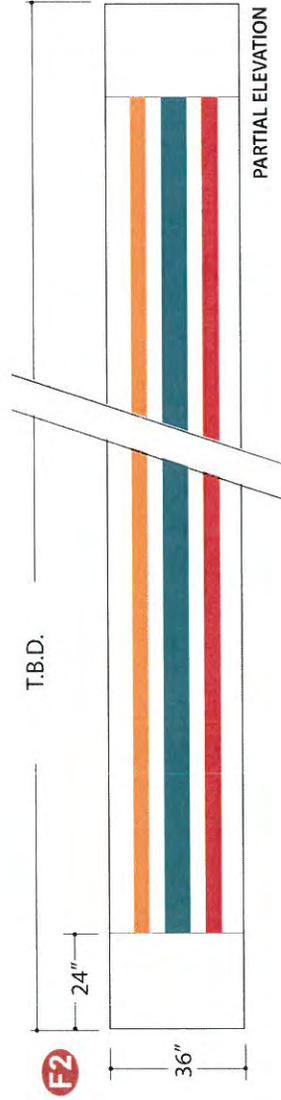
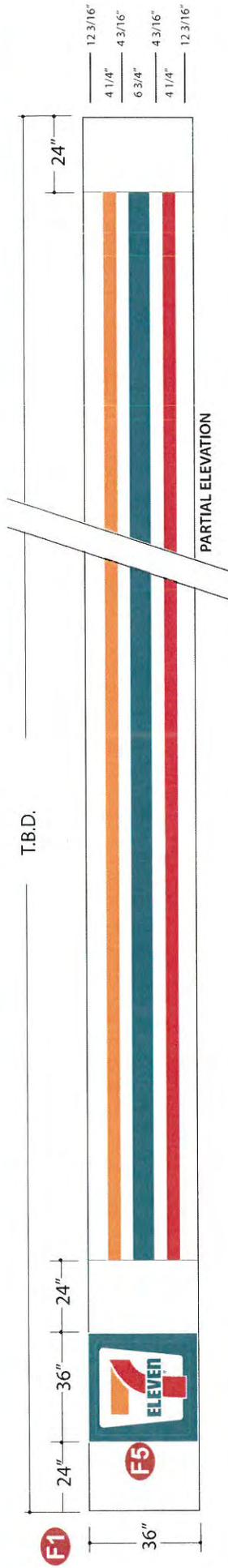
**ELECTRICAL INFORMATION:**  
1.10 AMPS  
120 VOLT A/C  
36" T8 LAMPS

**Display Square Footage (Cabinet): 3.2**

**Job Location:** 37276  
2780 Lee Highway  
Troutville, VA  
**Date:** 11-5-2015



**D-ORDER # 78434.10** S. Hawke  
**Project Mgr.:** Terri Holt  
Terri.Holt@cummingsigns.com

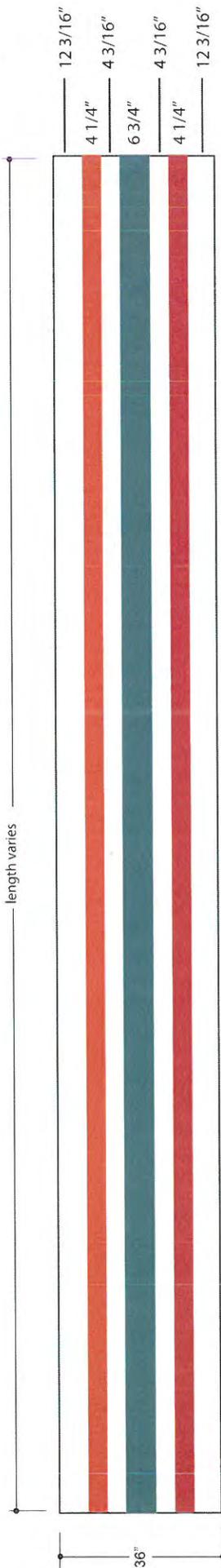


# FUEL CANOPY ACM STRIPE



- WHITE ACM PANEL DECORATED WITH TRI-STRIPE GRAPHICS.

	PMS 349C
	PMS 485C
	PMS 165
	WHITE

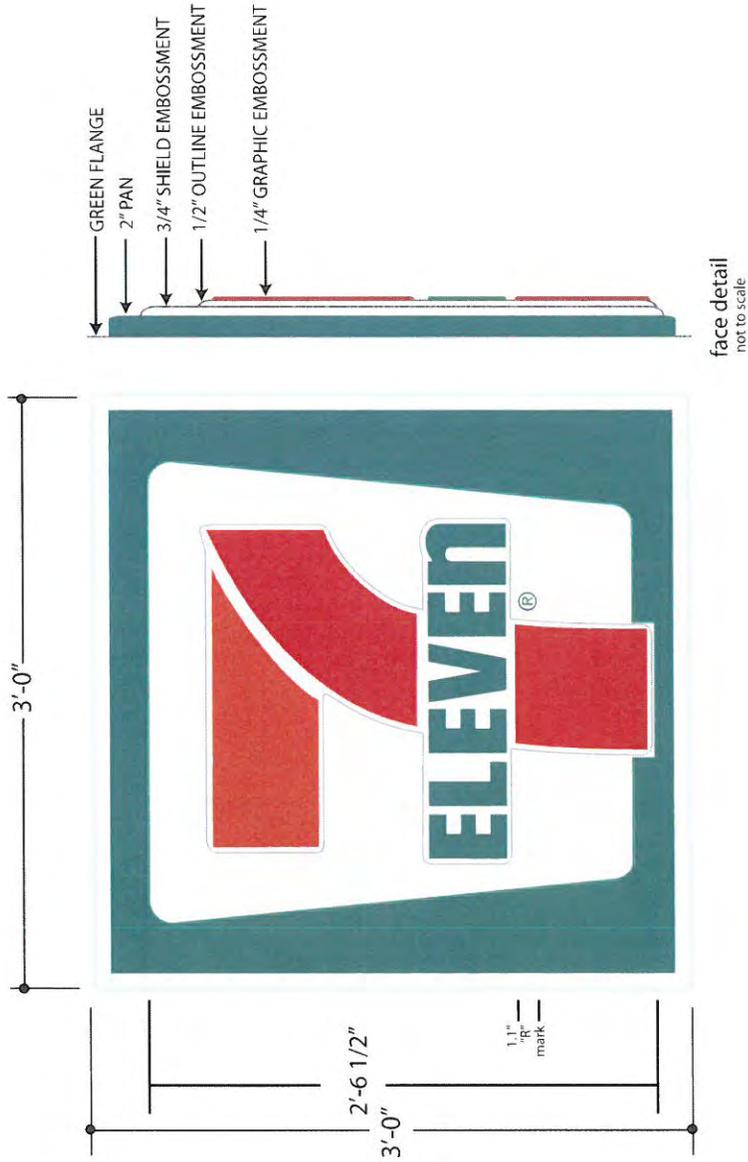


**PLACEMENT GUIDELINES:**  
 When used with 2x2 Keystone, Keystone to be placed 2' from left edge.  
 ACM with striping to begin 2' from right edge of Keystone running length of canopy and stopping 2' short of right edge.

**Job Location:** 37276  
 2780 Lee Highway  
 Troutville, VA  
**Date:** 11-5-2015



**D-ORDER # 78434.10** S. Hawke  
**Project Mgr.:** Terri Holt  
 Terri.Holt@cummingsigns.com



- SINGLE FACE INTERNALLY ILLUMINATED CANOPY SIGNS.
  - LED ILLUMINATION.
  - ALUMINUM CABINET PAINTED WHITE.
  - 1" ALUMINUM RETAINERS PAINTED WHITE.
  - FORMED ACRYLIC FACES WITH EMBOSSED GRAPHICS.
- |  |          |
|--|----------|
|  | PMS 341C |
|  | PMS 485C |
|  | PMS 165C |
|  | WHITE    |

Display Square Footage (Cabinet): 9

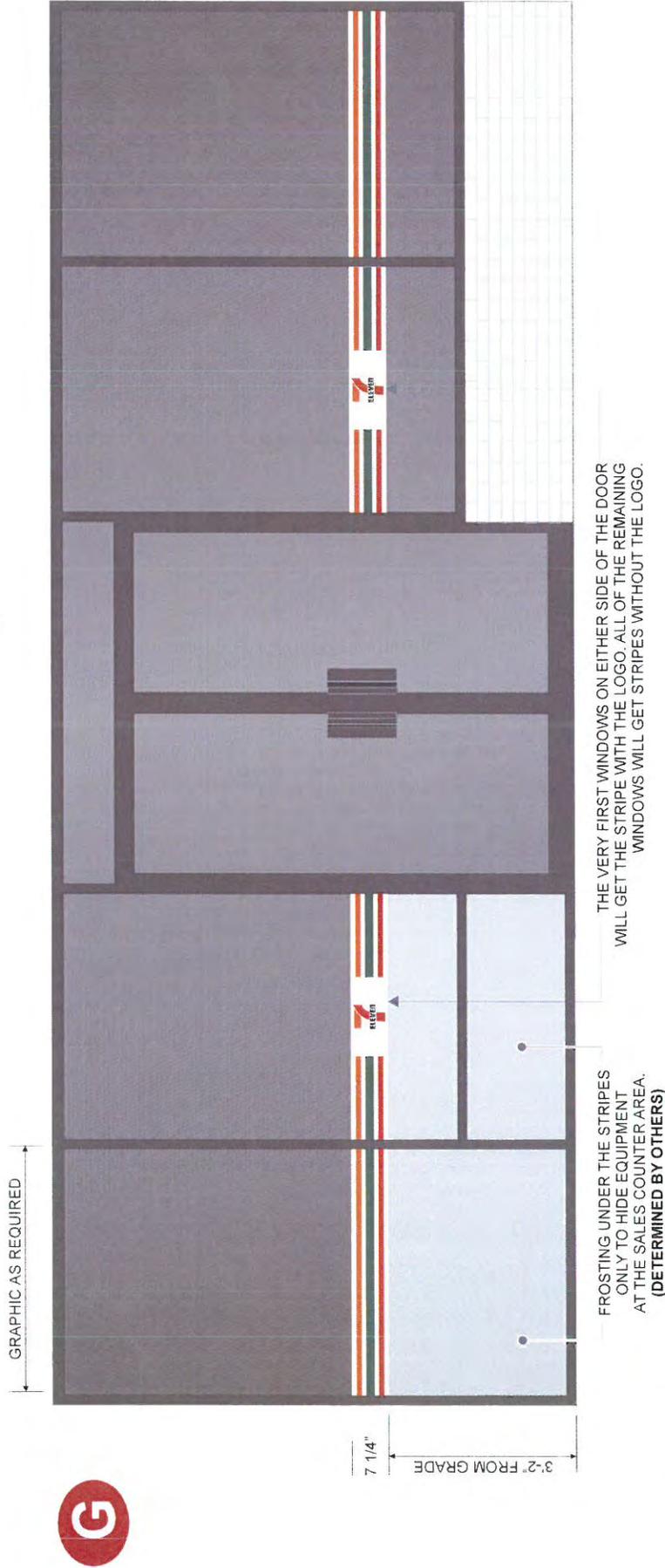
**Job Location:** 37276  
2780 Lee Highway  
Troutville, VA

**Date:** 11-5-2015



**GUMMING**  
Customer creation through brand innovation.

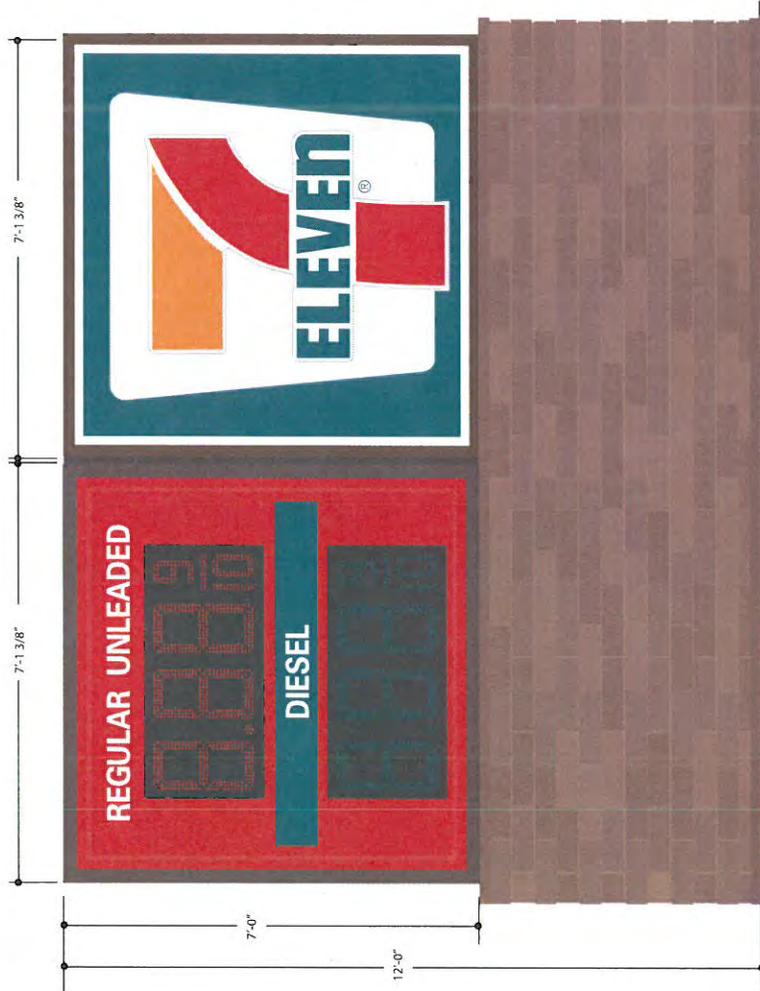
**D-ORDER # 78434.10** S. Hawke  
**Project Mgr.:** Terri Holt  
Terri.Holt@cummingsigns.com



WINDOW VINYL GRAPHICS.  
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

**NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS.**  
**NOTE : FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.**

**NOT PART OF CUMMINGS RESOURCES SCOPE OF WORK.**



**M50 FUEL MONUMENT**  
 2 PRICE LED GAS PRICE SIGN  
 MAIN IDENTITY LOGO

**DOUBLE FACE M50 MONUMENT SIGN**

**MAIN ID SIGN:**

- LED ILLUMINATION.
- EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED BRONZE.
- FORMED ACRYLIC FACES WITH EMBOSSED GRAPHICS.
- TRAPLINE PROPORTIONAL TO LOGO FIELD.

**LED PRICE SIGN:**

- EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED BRONZE.
- FORMED ACRYLIC FACES PAINTED PMS 485 RED.
- WHITE GRADE COPY.
- 20" RED AND GREEN LED PRICE DIGITS.
- INTERNALLY FACE ILLUMINATION - WHITE LED



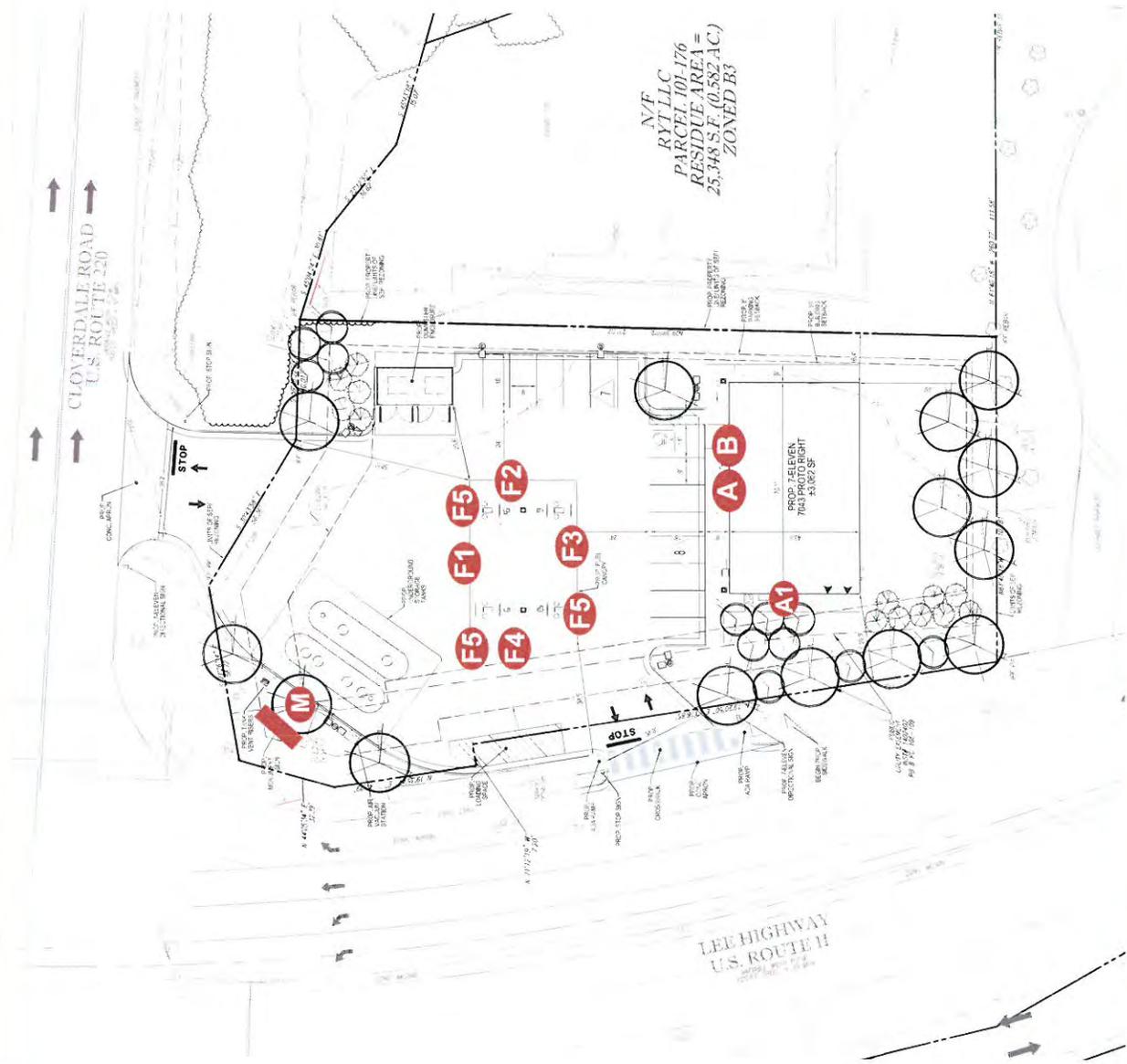
**Display Square Footage (Cabinet): 99.6**

**Job Location:** 37276  
 2780 Lee Highway  
 Troutville, VA  
**Date:** 11-5-2015



**D-ORDER # 78434.10** S. Hawke  
**Project Mgr.:** Terri Holt  
 Terri.Holt@cummingsigns.com

- A** Tareyama Wall Sign - 29'-3/4" X 22'-2 15/16" single face wall sign 44.5 sq. ft.
- A1** Tareyama Wall Sign - 29'-3/4" x 13'-9 3/16" single face wall sign 27.5 sq. ft.
- B** Citibank Window Sign - 1'-0 1/2" x 3'-9 3/4" single face interior hanging window sign 3.2 sq. ft.
- M** Monument Sign - M50 monument sign @ 12' oak Birch by others.
- F** Fuel Canopy ACM
- F5** 3x3 Fuel Canopy Sign - Single face gas canopy signage 9 sq. ft. (ea.)



**Job Location:** 37276  
 2780 Lee Highway  
 Troutville, VA  
 11-5-2015

**Date:**

**CUMMINGS**  
 Customer creation through brand innovation.

**D-ORDER # 78434.10** S. Hawke  
**Project Mgr.:** Terri Holt  
 Terri.Holt@cummingsigns.com

		<p align="center"><b>CODE RESEARCH FOR 7 ELEVEN</b></p>	
A.) Location # <u>37276</u>		Date Completed: <u>12.29.2014</u>	
B.) Location Address: <u>Cloverdale &amp; Lee</u>			
C.) Town / City / State / Zip: <u>Troutville, VA</u>			
D.) City/County contact name: _____			
E.) Contact Telephone: _____			
F.) Jurisdiction: City/Town: _____		Address: _____	
or, County of: _____		City, ST Zip: _____	
G.) Zoning Classification for property: <u>B-2</u>			
H.) Permit application fee if known: _____			
I.) Permitting Process time frame: _____			
J.) Is a permit required if only refacing? Yes <input type="checkbox"/> No <input type="checkbox"/>		Will re-zoning be required? Yes <input type="checkbox"/> No <input type="checkbox"/>	
K.) Is there a Variance/Appeals Process? Yes <input type="checkbox"/> No <input type="checkbox"/>		If new zone required, what would it be? _____	
L.) What type of hardship would be considered? _____			
M.) Application procedure/timing? _____			
N.) Meeting date schedule: _____		Approximate Fee? _____	
O.) Chance % of variance? _____		Application on line? Yes <input type="checkbox"/> No <input type="checkbox"/>	
P.) Permit Documents required:			
Plot plan <input type="checkbox"/>		Building elevations <input type="checkbox"/>	
Installation drawings <input type="checkbox"/>		Sealed engineering drawings FS <input type="checkbox"/>	
Graphic drawings <input type="checkbox"/>		Legal description <input type="checkbox"/>	
Photo of existing <input type="checkbox"/>		Other Req _____ <input type="checkbox"/>	
Q.) Will signage require Design Review Board? Yes <input type="checkbox"/> No <input type="checkbox"/>			
If Yes, what are requirements? _____			
<b>BUILDING SIGNS</b>			
1.) Formula for calculating wall sign square footage (Max. Sq. Footage - Primary & Secondary signs): <u>1 SF per linear foot of storefront on which the sign is attached up to 100 SF</u>			
2.) Sq Ft allowance for bldg sides / rear: _____			
3.) Are allowances Transferrable? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
4.) Total # Wall Signs allowed: See above			
Are Projecting signs allowed? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		NTE 2' from face of building	
5.) What is the Maximum height of Letters or wall sign? _____			
6.) May Signs be illuminated? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Internal <input type="checkbox"/> Indirect <input type="checkbox"/>		Color requirements _____	
7.) If multiple signs, does airspace between count in formula? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Roof mounted allowed? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Maximum height from top of building sign to ground? _____	
8.) What type of letters are allowed by code? Channel <input checked="" type="checkbox"/> Raceway <input checked="" type="checkbox"/> Halo/Reverse Channel <input checked="" type="checkbox"/> Other <input type="checkbox"/>			
<b>FUEL CANOPY</b>			
1.) Formula for calculating fuel canopy sign square footage (Max. Sq.) _____			
2.) Sq Ft allowance for canopy for all sides: <input type="checkbox"/>			
3.) Are logos allowed on all sides? Yes <input type="checkbox"/> No <input type="checkbox"/>			
4.) Total # Canopy Signs allowed: _____			
5.) What is the Max height of Letters or sf canopy sign? _____			
6.) May Signs be illuminated? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Internal <input type="checkbox"/> Indirect <input type="checkbox"/>		Color requirements _____	
7.) Do stripes count as signage? Yes <input type="checkbox"/> No <input type="checkbox"/>			
<b>FREESTANDING SIGNS</b>			
Formula for calculating freestanding sign sq. footage (Max Sq Footage - Primary & Secondary signs): <u>150 SF</u>			
2.) # F/S Signs allowed: <u>Pylon (1)</u>			
Wind Load requirement? _____		Clearance from grade to sign: _____	
3.) Height Maximum: <u>35</u>			
4.) Set-back of sign from right-of-way or property line: _____			
Triangular setback from corner? _____		Dist setback from powerlines? _____	
5.) Does sq ft allowance include cabinet or just copy /graphics? _____			
6.) Can existing pylon/monument be refaced? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
Permit required? Yes <input type="checkbox"/> No <input type="checkbox"/>		Cabinet _____	
7.) Airspace from ground to bottom of sign count as sq ft? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
Special colors required? Yes <input type="checkbox"/> No <input type="checkbox"/>		Monument foundation/Material/Finish requirement: _____	
8.) Landscape requirements: _____			
9.) Illumination allowed? Internal <input type="checkbox"/> Indirect <input type="checkbox"/> Not Allowed <input type="checkbox"/>			
10.) Are Electronic readerboards allowed? Yes <input type="checkbox"/> No <input type="checkbox"/>			
Are Manual readerboards allowed? Yes <input type="checkbox"/> No <input type="checkbox"/>		11.) **** What is the Total square footage for all signs on the property? _____	
COMMENTS _____			
_____			
_____			
Special Note: The sign regulations are provided by local officials either by municipalities or by the land developer/Landlord. Due to contradictions with in the code and/or misinterpretation or false information given by the official, the sign information is subject to change at the time of interpretation by the governing permitting staff.			

<b>Job Location:</b> 37276 2780 Lee Highway Troutville, VA <b>Date:</b> 11-5-2015	 <p><b>CUMMINGS</b> Customer creation through brand innovation.</p>	<b>D-ORDER # 78434.10</b> S. Hawke <b>Project Mgr.:</b> Terri Holt Terri.Holt@cummingsigns.com
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GE  
Lighting

# Evolve™ LED Roadway Lighting

Scalable Specification Grade Cobrahead (ERS1, ERS2, ERS3 & ERS4)



imagination at work

## Product Features

From local to major roadways, the GE Evolve™ LED Roadway Scalable Cobrahead fixtures are changing the way you light your lanes. Preserving the aesthetic look of traditional roadway Cobrahead fixtures, GE balances the technical needs of a sophisticated LED system with the functional demands of an outdoor fixture facing extreme weather hazards. GE's advanced LED optical design offers hundreds of photometric options to meet your precise lighting requirements, while delivering reduced glare and improved light control. The refined thermal management system incorporates a sleek and robust heat sink directly into the fixture to ensure maximum heat transfer and long LED life.

The GE Evolve LED Roadway Scalable Cobrahead offers more than 11 years of reliable service life to significantly reduce maintenance frequency and expense, based on a 50,000 hour life and 12 hours of operation per day.

### Applications

- Designed to meet recommended luminance and illuminance requirements for local to major roadway / street classifications.

### Housing

- Die cast aluminum housing.
- A modern design preserving the aesthetic look of traditional roadway Cobrahead fixtures incorporates the heat sink directly into the unit ensuring maximum heat transfer and long LED life.
- Meets 3G vibration per C136.31-2010
- Power door assembly with removable retention latch.

### LED & Optical Assembly

- Structured LED array for optimized roadway photometric distribution.
- Evolve light engine consisting of scalable reflective technology designed to optimize application efficiency and minimize glare.
- Reverse facing light engine options available.
- Utilizes high brightness LEDs, 70 CRI at 4000K & 5000K typical.
- LM-79 tests and reports are performed in accordance with IESNA standards.

### Lumen Maintenance

- Lumen Maintenance and TM21 projections listed below each lumen data table

### Ratings

- /  listed, suitable for wet locations per UL 1598.
- IP66 rated optical enclosure per ANSI C136.25-2009.
- Temperature ratings:
  - 40°C to 50°C for 525mA and 700mA skus except for ERS4 @ 347-480V (-40°C to +45°C)
  - 40°C to +40°C for 1050mA skus
- Upward Light Output Ratio (ULOR) = 0.

### Mounting

- Slipfitter with +/- 5 degree of adjustment for leveling.
- Integral die cast mounting pipe stop feature.
- Wildlife intrusion protection at mounting pipe entry.
- Adjustable for 1.25 in. or 2 in. mounting pipe.

### Finish

- Corrosion resistant polyester powder painted, minimum 2.0 mil. thickness.
- Standard colors: Black and Gray.
- RAL & custom colors available.

### Electrical

- 120-277 volt and 347-480 volt available.
- System power factor is >90% and THD <20%.*
- Class "A" audible sound rating.
- Integral surge protection:
  - For 120-266VAC per IEEE/ANSI C62.41.-1991, 6kV/3kA Location Category B3 (120 events)
  - Optional higher rating surge protection device available
- Optional high capability surge protection per IEEE/ANSI C62.41.2-2002.
  - 6kV/3kA Location Category C-Low (5000 events).
- EMI: Title 47 CFR Part 15 Class A.
- Photo electric sensors (PE) available for all voltages.

* System power factor and THD is tested and specified at 120V input and maximum load conditions.

### Ambient Temperature Conversion Table

AMBIENT TEMPERATURE (°C)	INITIAL LUMENS FACTOR	INITIAL WATTS FACTOR
15	1.01	1.01
20	1.01	1.00
25	1.00	1.00
30	0.99	1.00
35	0.99	0.99

# Ordering Number Logic

## Scalable Specification Grade Cobrahead (ERS1)

Datasheet information valid through 06/30/14



### ERS1

PROD. ID	VOLTAGE	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	LED COLOR TEMP	PE FUNCTION	COLOR	OPTIONS
<b>E</b> = Evolve <b>R</b> = Roadway <b>S</b> = Scalable	<b>0</b> = 120-277 <b>1</b> = 120 <b>2</b> = 208 <b>3</b> = 240 <b>4</b> = 277 <b>H</b> = 347-480 <b>D</b> = 347 <b>5</b> = 480	Product Tier <b>*3</b> = Specification Grade  See Charts for all levels	<b>A1</b> = Extra Narrow Asymmetric <b>B1</b> = Narrow Asymmetric (Medium) <b>C1</b> = Asymmetric (Short) <b>D1</b> = Asymmetric Forward <b>E1</b> = Asymmetric (Medium)	<b>5</b> = 525mA <b>7</b> = 700mA <b>1</b> = 1050mA	<b>40</b> = 4000K <b>50</b> = 5000K*  <b>NOTE:</b> For 1050mA drive current, nominal color temperature (CCT) = 5300K	<b>1</b> = None <b>2</b> = PE Rec. <b>4</b> = PE Rec. with Shorting Cap <b>5</b> = PE Rec. with Control <b>7</b> = GE Dimming 5-Pin PE Receptacle *† <b>9</b> = GE Dimming 5-Pin PE Receptacle with Shorting Cap *†	<b>BLCK</b> = Black <b>GRAY</b> = Gray	<b>B</b> = Internal Bubble level <b>D</b> = Dimming* <b>F</b> = Fusing <b>G</b> = External Bubble Level <b>L</b> = Tool-Less Entry <b>R</b> = Additional Secondary Surge Protection Device <b>T</b> = GE Energy Extreme Surge Protection per IEEE/ANSI C62.41.2-2002. - Rating 1 - 10kV/5kA Location Category (120 events). - Rating 2 - 6kV/3kA Location Category C-Low (5000 events).  <b>XXX</b> = Special Options * When ordering Dimming PE Receptacle 7, 9 or A, D=Dimming driver must be selected under "OPTIONS" column  <b>NOTE:</b> If no dimming receptacle under PE Function is selected and D=Dimming is selected under OPTIONS, 0-10v dimming leads will be provided with access through slipfitter opening in unit

525 mA			TYPICAL SYSTEM WATTAGE		TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW 4000K		TYPICAL INITIAL LPW 5000K		IES FILE NUMBERS	
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	120-277V	4000K	5000K	120-277V	120-277V	4000K	5000K		
ERS1	23	A1	525mA	31	2800	2900	90	94	456364	456384		
ERS1	A3		525mA	45	4200	4300	93	96	456365	456385		
ERS1	B3		525mA	60	5600	5700	93	95	456366	456386		
ERS1	C3		525mA	73	6900	7000	95	96	456367	456387		
ERS1	23	B1	525mA	31	2900	2900	94	94	456368	456388		
ERS1	A3		525mA	45	4300	4400	96	98	456369	456389		
ERS1	B3		525mA	60	5700	5800	95	97	456370	456390		
ERS1	C3		525mA	73	7100	7200	97	99	456371	456391		
ERS1	23	C1	525mA	31	2900	2900	94	94	456372	456392		
ERS1	A3		525mA	45	4300	4400	96	98	456373	456393		
ERS1	B3		525mA	60	5700	5800	95	97	456374	456394		
ERS1	C3		525mA	73	7100	7200	97	99	456375	456395		
ERS1	23	D1	525mA	31	2800	2900	90	94	456376	456396		
ERS1	A3		525mA	45	4200	4300	93	96	456377	456397		
ERS1	B3		525mA	60	5600	5700	93	95	456378	456398		
ERS1	C3		525mA	73	6900	7000	95	96	456379	456399		
ERS1	23	E1	525mA	31	2900	2900	94	94	456380	456400		
ERS1	A3		525mA	45	4300	4400	96	98	456381	456401		
ERS1	B3		525mA	60	5700	5800	95	97	456382	456402		
ERS1	C3		525mA	73	7100	7200	97	99	456383	456403		

- NOTES:**
- Max Operating Ambient 50° C
  - 347-480V Available (Approximate Wattage = 1.1* Times Wattage Listed Below) Contact Manufacturer for 347-480V LPW
  - Some 347-480 Not DLC Listed (Contact Manufacturer)

### Lumen Maintenance

- Projected L92 (10K) ≥ 50,000 at Ta 25C
  - Projected L70 (10K) > 100,000 at Ta 25C
- Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

## Scalable Specification Grade Cobrahead (ERS1)

700 mA			DRIVE CURRENT	TYPICAL SYSTEM WATTAGE		TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW 4000K	TYPICAL INITIAL LPW 5000K	IES FILE NUMBERS	
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE		120-277V	4000K	5000K	120-277V	120-277V	4000K	5000K	
ERS1	23	A1	700mA	41	3500	3600	85	88	456554	456574	
ERS1	A3		700mA	60	5300	5300	88	88	456555	456575	
ERS1	B3		700mA	78	6900	7000	88	90	456556	456576	
ERS1	C3		700mA	95	8400	8500	88	89	456557	456577	
ERS1	23	B1	700mA	41	3600	3700	88	90	456558	456578	
ERS1	A3		700mA	60	5400	5500	90	92	456559	456579	
ERS1	B3		700mA	78	7100	7200	91	92	456560	456580	
ERS1	C3		700mA	95	8600	8700	91	92	456561	456581	
ERS1	23	C1	700mA	41	3600	3700	88	90	456562	456582	
ERS1	A3		700mA	60	5400	5500	90	92	456563	456583	
ERS1	B3		700mA	78	7100	7200	91	92	456564	456584	
ERS1	C3		700mA	95	8600	8700	91	92	456565	456585	
ERS1	23	D1	700mA	41	3500	3600	85	88	456566	456586	
ERS1	A3		700mA	60	5300	5300	88	88	456567	456587	
ERS1	B3		700mA	78	6900	7000	88	90	456568	456588	
ERS1	C3		700mA	95	8400	8500	88	89	456569	456589	
ERS1	23	E1	700mA	41	3600	3700	88	90	456570	456590	
ERS1	A3		700mA	60	5400	5500	90	92	456571	456591	
ERS1	B3		700mA	78	7100	7200	91	92	456572	456592	
ERS1	C3		700mA	95	8600	8700	91	92	456573	456593	

### NOTES:

- Max Operating Ambient 50° C
- 347-480V Not Available
- For T Option, Contact Manufacturer

### Lumen Maintenance

- Projected L91 (10K)  $\geq$  50,000 at Ta 25C
- Projected L70 (10K)  $>$  100,000 at Ta 25C  
Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

## Scalable Specification Grade Cobrahead (ERS1)

1050 mA			DRIVE CURRENT	TYPICAL SYSTEM WATTAGE		TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW		IES FILE NUMBERS	
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE		120-277V	4000K	5000K* (5300K NOMINAL)	120-277V	120-277V	4000K	5000K	
ERS1	Z3	A1	1050mA	64	4800	4900	75	77	456644	456664	
ERS1	A3		1050mA	90	7000	7100	78	79	456645	456665	
ERS1	B3		1050mA	117	9100	9200	78	79	456646	456666	
ERS1	C3		1050mA	143	11200	11300	78	79	456647	456667	
ERS1	Z3	B1	1050mA	64	5000	5000	78	78	456648	456668	
ERS1	A3		1050mA	90	7100	7200	79	80	456649	456669	
ERS1	B3		1050mA	117	9300	9500	79	81	456650	456670	
ERS1	C3		1050mA	143	11500	11600	80	81	456651	456671	
ERS1	Z3	C1	1050mA	64	5000	5000	78	78	456652	456672	
ERS1	A3		1050mA	90	7100	7200	79	80	456653	456673	
ERS1	B3		1050mA	117	9300	9500	79	81	456654	456674	
ERS1	C3		1050mA	143	11500	11600	80	81	456655	456675	
ERS1	Z3	D1	1050mA	64	4800	4900	75	77	456656	456676	
ERS1	A3		1050mA	90	7000	7100	78	79	456657	456677	
ERS1	B3		1050mA	117	9100	9200	78	79	456658	456678	
ERS1	C3		1050mA	143	11200	11300	78	79	456659	456679	
ERS1	Z3	E1	1050mA	64	5000	5000	78	78	456660	456680	
ERS1	A3		1050mA	90	7100	7200	79	80	456661	456681	
ERS1	B3		1050mA	117	9300	9500	79	81	456662	456682	
ERS1	C3		1050mA	143	11500	11600	80	81	456663	456683	

### NOTES:

- Max Operating Ambient 40° C
- 347-480V Not Available
- T Option Not Available
- For 1050mA Drive Current, Nominal Color Temperature (CCT) = 5300K

### Lumen Maintenance

- Projected L88 (10K) ≥ 50,000 at Ta 25C
  - Projected L70 (10K) > 100,000 at Ta 25C
- Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

# Photometrics

## Scalable Specification Grade Cobrahead (ERS1)

**ISO Plot**

Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

**Polar Curve**

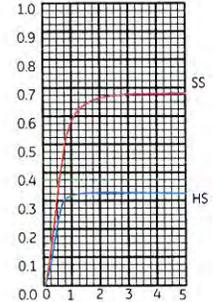
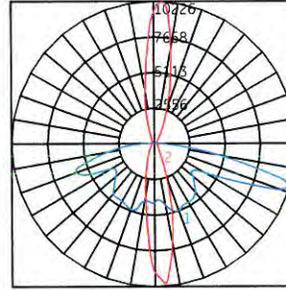
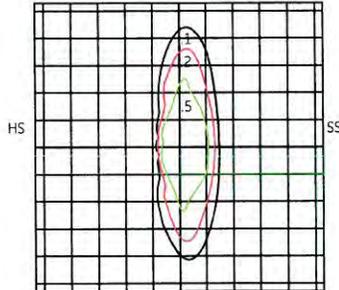
Polar Trace Vertical and Horizontal Plane through Horizontal Angle of Maximum Candlepower

**CU Graph**

Coefficients of Utilization Street Width / Mounting Height

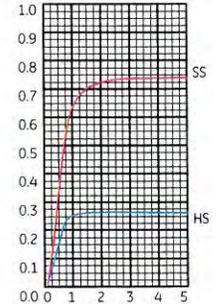
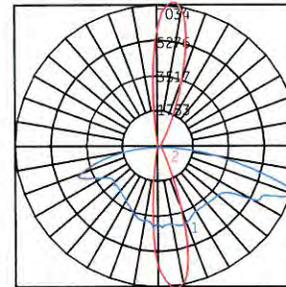
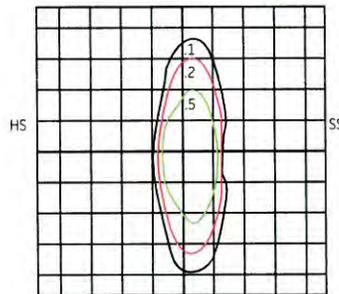
**ERS1  
Extra Narrow Asymmetric  
(C3A1)**

11300 Lumens  
5000K  
GE456667



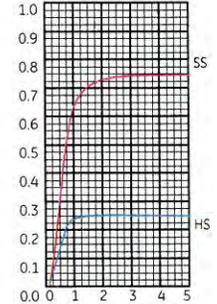
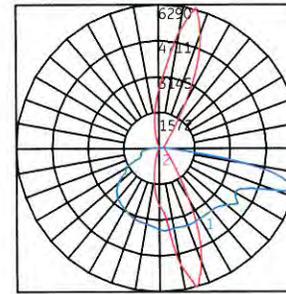
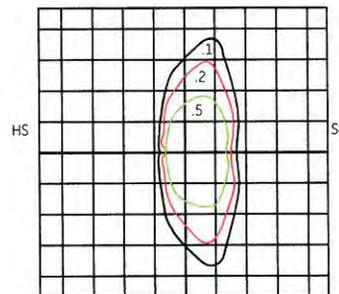
**ERS1  
Narrow Asymmetric Medium  
(C3B1)**

11600 Lumens  
5000K  
GE456671



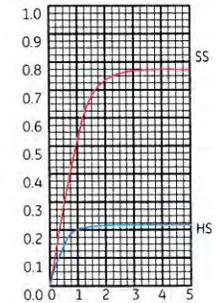
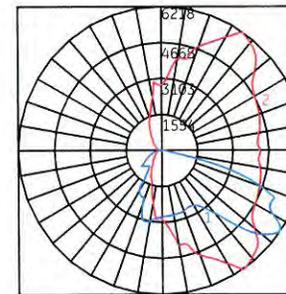
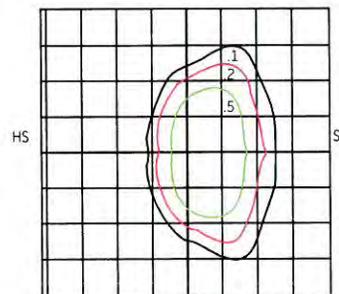
**ERS1  
Asymmetric Short  
(C3C1)**

11600 Lumens  
5000K  
GE456675



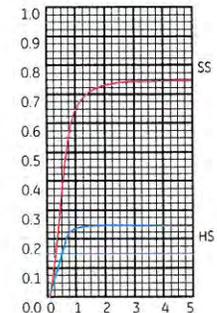
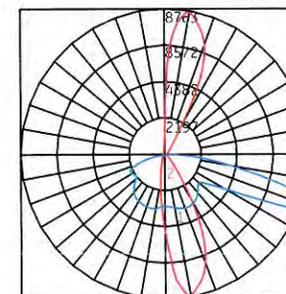
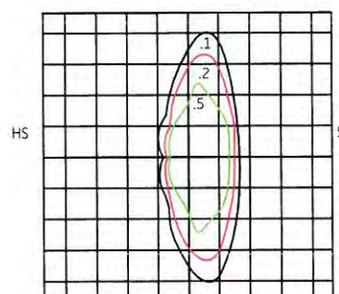
**ERS1  
Asymmetric Forward  
(C3D1)**

11300 Lumens  
5000K  
GE456679



**ERS1  
Asymmetric Medium  
(C3E1)**

11600 Lumens  
5000K  
GE456683



# Ordering Number Logic

## Scalable Specification Grade Cobrahead (ERS2)



ERS2

PROD. ID	VOLTAGE	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	LED COLOR TEMP	PE FUNCTION	COLOR	OPTIONS
<b>E</b> = Evolve	<b>0</b> = 120-277 <b>1</b> = 120 <b>2</b> = 208 <b>3</b> = 240 <b>4</b> = 277 <b>H</b> = 347-480 <b>D</b> = 347 <b>5</b> = 480	Product Tier <b>*3</b> = Specification Grade  See Charts for all levels	<b>A1</b> = Extra Narrow Asymmetric <b>B1</b> = Narrow Asymmetric (Medium) <b>C1</b> = Asymmetric (Short) <b>D1</b> = Asymmetric Forward <b>E1</b> = Asymmetric (Medium)	<b>5</b> = 525mA <b>7</b> = 700mA <b>1</b> = 1050mA	<b>40</b> = 4000K <b>50</b> = 5000K*  <b>NOTE:</b> For 1050mA drive current, nominal color temperature (CCT) = 5300K	<b>1</b> = None <b>2</b> = PE Rec. <b>4</b> = PE Rec. with Shorting Cap <b>5</b> = PE Rec. with Control <b>7</b> = GE Dimming 5-Pin PE Receptacle *† <b>9</b> = GE Dimming 5-Pin PE Receptacle with Shorting Cap *†  † When ordering PE function socket 7 or 9, a dimming driver odd after dimming driver (D=Dimming) must also be ordered under the "OPTIONS" column * Order dimming control PE as a separate item <b>NOTE:</b> A= ANSIC136.41 7-Pin dimming receptacle, contact manufacturer	<b>BLCK</b> = Black <b>GRAY</b> = Gray	<b>B</b> = Internal Bubble level <b>D</b> = Dimming* <b>F</b> = Fusing <b>G</b> = External Bubble Level <b>L</b> = Tool-Less Entry <b>R</b> = Additional Secondary Surge Protection Device <b>T</b> = GE Energy Extreme Surge Protection per IEEE/ANSI C62.41.2-2002. - Rating 1 - 10kV/5kA Location Category (120 events). - Rating 2 - 6kV/3kA Location Category C-Low (5000 events). <b>XXX</b> = Special Options * When ordering Dimming PE Receptacle 7, 9 or A, D=Dimming driver must be selected under "OPTIONS" column <b>NOTE:</b> If no dimming receptacle under PE Function is selected and D=Dimming is selected under OPTIONS, 0-10v dimming leads will be provided with access through slipfilter opening in unit

525 mA			TYPICAL SYSTEM WATTAGE		TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW 4000K		TYPICAL INITIAL LPW 5000K		IES FILE NUMBERS	
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	120-277V	4000K	5000K	120-277V	120-277V	4000K	5000K		
ERS2	D3	A1	525mA	88	8400	8500	95	97	456404	456429		
ERS2	E3		525mA	99	9500	9600	96	97	456405	456430		
ERS2	F3		525mA	112	10800	10900	96	97	456406	456431		
ERS2	G3		525mA	125	12100	12200	97	98	456407	456432		
ERS2	H3		525mA	133	13090	13240	98	100	222222	222222		
ERS2	D3	B1	525mA	88	8600	8700	98	99	456409	456434		
ERS2	E3		525mA	99	9700	9800	98	99	456410	456435		
ERS2	F3		525mA	112	11000	11200	98	100	456411	456436		
ERS2	G3		525mA	125	12400	12500	99	100	456412	456437		
ERS2	H3		525mA	138	13600	13800	99	100	456413	456438		
ERS2	D3	C1	525mA	88	8600	8700	98	99	456414	456439		
ERS2	E3		525mA	99	9700	9800	98	99	456415	456440		
ERS2	F3		525mA	112	11000	11200	98	100	456416	456441		
ERS2	G3		525mA	125	12400	12500	99	100	456417	456442		
ERS2	H3		525mA	138	13600	13800	99	100	456418	456443		
ERS2	D3	D1	525mA	88	8400	8500	95	97	456419	456444		
ERS2	E3		525mA	99	9500	9600	96	97	456420	456445		
ERS2	F3		525mA	112	10800	10900	96	97	456421	456446		
ERS2	G3		525mA	125	12100	12200	97	98	456422	456447		
ERS2	H3		525mA	138	13300	13400	96	97	456423	456448		
ERS2	D3	E1	525mA	88	8600	8700	98	99	456424	456449		
ERS2	E3		525mA	99	9700	9800	98	99	456425	456450		
ERS2	F3		525mA	112	11000	11200	98	100	456426	456451		
ERS2	G3		525mA	125	12400	12500	99	100	456427	456452		
ERS2	H3		525mA	138	13600	13800	99	100	456428	456453		

**NOTES:**

- Max Operating Ambient 50° C
- 347-480V Not Available
- For T Option Availability Contact Manufacturer

### Lumen Maintenance

- Projected L92 (10K) ≥ 50,000 at Ta 25C
  - Projected L70 (10K) > 100,000 at Ta 25C
- Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

## Scalable Specification Grade Cobrahead (ERS2)

700 mA			DRIVE CURRENT	TYPICAL SYSTEM WATTAGE		TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW 4000K	TYPICAL INITIAL LPW 5000K	IES FILE NUMBERS	
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE		120-277V	4000K	5000K	120-277V	120-277V	4000K	5000K	
ERS2	D3	A1	700mA	113	10200	10300	90	91	456594	456619	
ERS2	E3		700mA	130	11800	11900	91	92	456595	456620	
ERS2	F3		700mA	148	13400	13500	91	91	456596	456621	
ERS2	G3		700mA	172	14900	15100	87	88	456597	456622	
ERS2	H3		700mA	189	16400	16600	87	88	456598	456623	
ERS2	D3	B1	700mA	113	10400	10600	92	94	456599	456624	
ERS2	E3		700mA	130	12100	12200	93	94	456600	456625	
ERS2	F3		700mA	148	13700	13900	93	94	456601	456626	
ERS2	G3		700mA	172	15300	15400	89	90	456602	456627	
ERS2	H3		700mA	189	16800	17000	89	90	456603	456628	
ERS2	D3	C1	700mA	113	10400	10600	92	94	456604	456629	
ERS2	E3		700mA	130	12100	12200	93	94	456605	456630	
ERS2	F3		700mA	148	13700	13900	93	94	456606	456631	
ERS2	G3		700mA	172	15300	15400	89	90	456607	456632	
ERS2	H3		700mA	189	16800	17000	89	90	456608	456633	
ERS2	D3	D1	700mA	113	10200	10300	90	91	456609	456634	
ERS2	E3		700mA	130	11800	11900	91	92	456610	456635	
ERS2	F3		700mA	148	13400	13500	91	91	456611	456636	
ERS2	G3		700mA	172	14900	15100	87	88	456612	456637	
ERS2	H3		700mA	189	16400	16600	87	88	456613	456638	
ERS2	D3	E1	700mA	113	10400	10600	92	94	456614	456639	
ERS2	E3		700mA	130	12100	12200	93	94	456615	456640	
ERS2	F3		700mA	148	13700	13900	93	94	456616	456641	
ERS2	G3		700mA	172	15300	15400	89	90	456617	456642	
ERS2	H3		700mA	189	16800	17000	89	90	456618	456643	

### NOTES:

- Max Operating Ambient 50° C
- 347-480V Not Available
- For T Option, Contact Manufacturer

### Lumen Maintenance

- Projected L91 (10K) ≥ 50,000 at Ta 25C
- Projected L70 (10K) > 100,000 at Ta 25C  
Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

## Scalable Specification Grade Cobrahead (ERS2)

1050 mA			TYPICAL SYSTEM WATTAGE	TYPICAL INITIAL LUMENS	TYPICAL INITIAL LPW 4000K	TYPICAL INITIAL LPW 5000K	IES FILE NUMBERS			
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	120-277V	4000K	5000K* (5300K NOMINAL)	120-277V	120-277V	4000K	5000K
ERS2	D3	A1	1050mA	179	13700	13900	77	78	456684	456709
ERS2	E3		1050mA	204	15700	15900	77	78	456685	456710
ERS2	F3		1050mA	232	17700	18000	76	78	456686	456711
ERS2	G3		1050mA	257	19700	19900	77	77	456687	456712
ERS2	H3		1050mA	285	21500	21800	75	76	456688	456713
ERS2	D3	B1	1050mA	179	14000	14200	78	79	456689	456714
ERS2	E3		1050mA	204	16100	16300	79	80	456690	456715
ERS2	F3		1050mA	232	18200	18400	78	79	456691	456716
ERS2	G3		1050mA	257	20100	20400	78	79	456692	456717
ERS2	H3		1050mA	285	22000	22400	77	79	456693	456718
ERS2	D3	C1	1050mA	179	14000	14200	78	79	456694	456719
ERS2	E3		1050mA	204	16100	16300	79	80	456695	456720
ERS2	F3		1050mA	232	18200	18400	78	79	456696	456721
ERS2	G3		1050mA	257	20100	20400	78	79	456697	456722
ERS2	H3		1050mA	285	22000	22400	77	79	456698	456723
ERS2	D3	D1	1050mA	179	13700	13900	77	78	456699	456724
ERS2	E3		1050mA	204	15700	15900	77	78	456700	456725
ERS2	F3		1050mA	232	17700	18000	76	78	456701	456726
ERS2	G3		1050mA	257	19700	19900	77	77	456702	456727
ERS2	H3		1050mA	285	21500	21800	75	76	456703	456728
ERS2	D3	E1	1050mA	179	14000	14200	78	79	456704	456729
ERS2	E3		1050mA	204	16100	16300	79	80	456705	456730
ERS2	F3		1050mA	232	18200	18400	78	79	456706	456731
ERS2	G3		1050mA	257	20100	20400	78	79	456707	456732
ERS2	H3		1050mA	285	22000	22400	77	79	456708	456733

### NOTES:

- Max Operating Ambient 50° C
- 347-480V Not Available
- T Option Not Available

### Lumen Maintenance

- Projected L88 (10K) ≥ 50,000 at Ta 25C
  - Projected L70 (10K) > 100,000 at Ta 25C
- Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

# Photometrics

## Scalable Specification Grade Cobrahead (ERS2)

**ISO Plot**

Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

**Polar Curve**

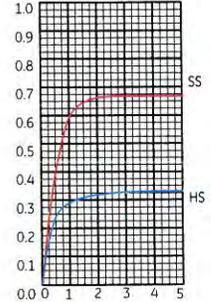
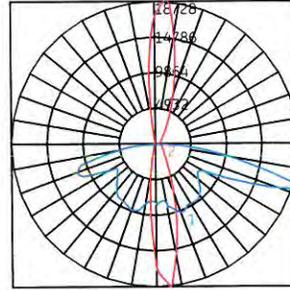
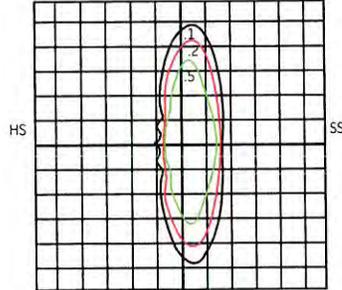
Polar Trace Vertical and Horizontal Plane through Horizontal Angle of Maximum Candlepower

**CU Graph**

Coefficients of Utilization Street Width / Mounting Height

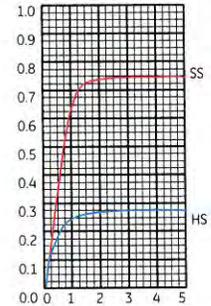
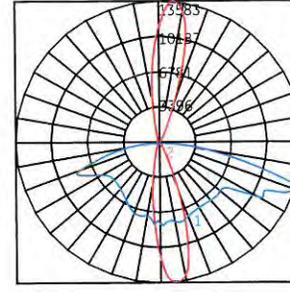
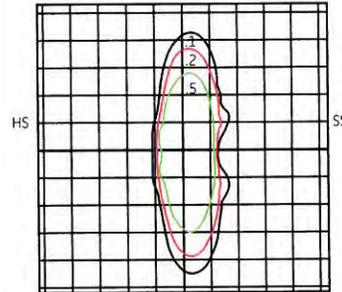
**ERS2  
Extra Narrow Asymmetric  
(H3A1)**

21800 Lumens  
5000K  
GE456713



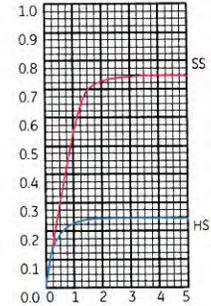
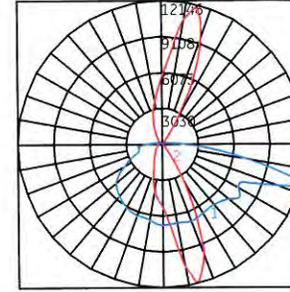
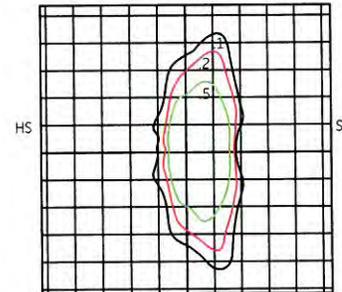
**ERS2  
Narrow Asymmetric Medium  
(H3B1)**

22400 Lumens  
5000K  
GE456718



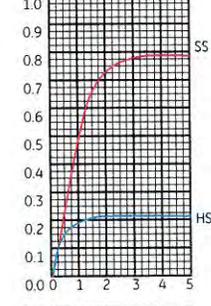
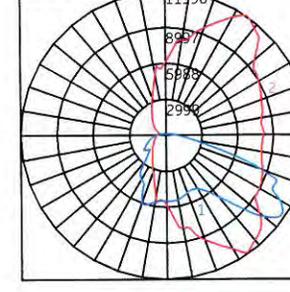
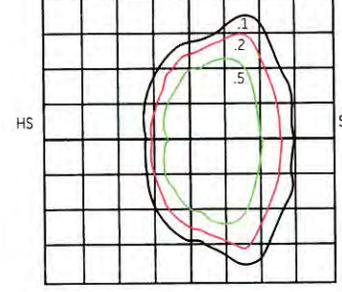
**ERS2  
Asymmetric Short  
(H3C1)**

22400 Lumens  
5000K  
GE456723



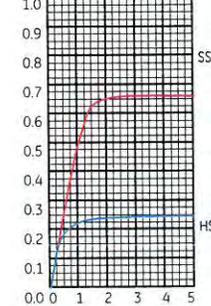
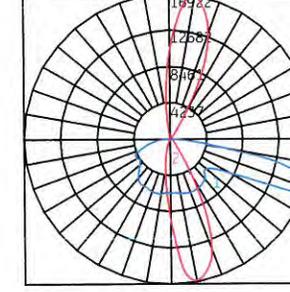
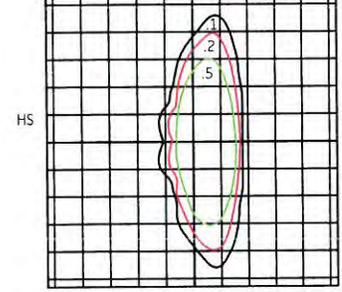
**ERS2  
Asymmetric Forward  
(H3D1)**

21800 Lumens  
5000K  
GE456728



**ERS2  
Extra Narrow Asymmetric  
(H3E1)**

22400 Lumens  
5000K  
GE456733



# Ordering Number Logic

## Scalable Specification Grade Cobrahead (ERS3)



ERS3 - - - - - 5 - - - - -

PROD. ID	VOLTAGE	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	LED COLOR TEMP	PE FUNCTION	COLOR	OPTIONS
<b>E</b> = Evolve	<b>0</b> = 120-277	Product Tier <b>*3</b> = Specification Grade  See Charts for all levels	<b>A1</b> = Extra Narrow Asymmetric <b>B1</b> = Narrow Asymmetric (Medium) <b>C1</b> = Asymmetric (Short) <b>D1</b> = Asymmetric Forward <b>E1</b> = Asymmetric (Medium)	<b>5</b> = 525mA	<b>40</b> = 4000K <b>50</b> = 5000K	<b>1</b> = None <b>2</b> = PE Rec. <b>4</b> = PE Rec. with Shorting Cap <b>5</b> = PE Rec. with Control <b>7</b> = GE Dimming 5-Pin PE Receptacle *† <b>9</b> = GE Dimming 5-Pin PE Receptacle with Shorting Cap *†	<b>BLCK</b> = Black <b>GRAY</b> = Gray	<b>B</b> = Internal Bubble level <b>D</b> = Dimming* <b>F</b> = Fusing <b>G</b> = External Bubble Level <b>L</b> = Tool-Less Entry <b>R</b> = Additional Secondary Surge Protection Device <b>T</b> = GE Energy Extreme Surge Protection per IEEE/ANSI C62.41.2-2002. - Rating 1 - 10kV/5kA Location Category (120 events). - Rating 2 - 6kV/3kA Location Category C-Low (5000 events).  <b>XXX</b> = Special Options * When ordering Dimming PE Receptacle 7, 9 or A, D=Dimming driver must be selected under "OPTIONS" column  <b>NOTE:</b> If no dimming receptacle under PE Function is selected and D+Dimming is selected under OPTIONS, 0-10v dimming leads will be provided with access through slipfitter opening in unit
<b>R</b> = Roadway	<b>1</b> = 120							
<b>S</b> = Scalable	<b>2</b> = 208							
<b>3</b> = Triple Module Optical Assembly	<b>3</b> = 240							
	<b>4</b> = 277							
	<b>H</b> = 347-480							
	<b>D</b> = 347							
	<b>5</b> = 480							

† When ordering PE function socket 7 or 9, a dimming driver add after dimming driver (D=Dimming) must also be ordered under the "OPTIONS" column  
* Order dimming control PE as a separate item  
**NOTE:** A= ANSIC136.41 7-Pin dimming receptacle, contact manufacturer

525 mA				TYPICAL SYSTEM WATTAGE		TYPICAL INITIAL LUMENS		TYPICAL INITIAL LPW 4000K		TYPICAL INITIAL LPW 5000K		IES FILE NUMBERS	
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	120-277V	4000K	5000K	120-277V	120-277V	4000K	5000K			
ERS3	J3	A1	525mA	151	14700	14800	97	98	456454	456479			
ERS3	K3		525mA	170	16000	16100	94	95	456455	456480			
ERS3	L3		525mA	183	17200	17400	94	95	456456	456481			
ERS3	M3		525mA	196	18500	18700	94	95	456457	456482			
ERS3	N3		525mA	209	19800	20000	95	96	456458	456483			
ERS3	J3	B1	525mA	151	15100	15200	100	101	456459	456484			
ERS3	K3		525mA	170	16400	16500	96	97	456460	456485			
ERS3	L3		525mA	183	17700	17800	97	97	456461	456486			
ERS3	M3		525mA	196	19000	19100	97	97	456462	456487			
ERS3	N3		525mA	209	20300	20500	97	98	456463	456488			
ERS3	J3	C1	525mA	151	15100	15200	100	101	456464	456489			
ERS3	K3		525mA	170	16400	16500	96	97	456465	456490			
ERS3	L3		525mA	183	17700	17800	97	97	456466	456491			
ERS3	M3		525mA	196	19000	19100	97	97	456467	456492			
ERS3	N3		525mA	209	20300	20500	97	98	456468	456493			
ERS3	J3	D1	525mA	151	14700	14800	97	98	456469	456494			
ERS3	K3		525mA	170	16000	16100	94	95	456470	456495			
ERS3	L3		525mA	183	17200	17400	94	95	456471	456496			
ERS3	M3		525mA	196	18500	18700	94	95	456472	456497			
ERS3	N3		525mA	209	19800	20000	95	96	456473	456498			
ERS3	J3	E1	525mA	151	15100	15200	100	101	456474	456499			
ERS3	K3		525mA	170	16400	16500	96	97	456475	456500			
ERS3	L3		525mA	183	17700	17800	97	97	456476	456501			
ERS3	M3		525mA	196	19000	19100	97	97	456477	456502			
ERS3	N3		525mA	209	20300	20500	97	98	456478	456503			

- NOTES:**
- Max Operating Ambient 50° C
  - Max Operating Ambient 45° C for 347-480V
  - For T Option, Contact Manufacturer

### Lumen Maintenance

- Projected L91 (10K) ≥ 50,000 at Ta 25C
  - Projected L70 (10K) > 100,000 at Ta 25C
- Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

# Photometrics

## Scalable Specification Grade Cobrahead (ERS3)

### ISO Plot

Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

### Polar Curve

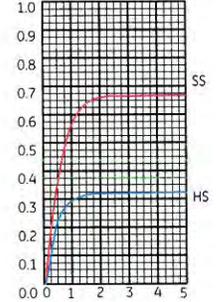
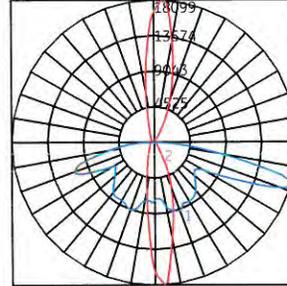
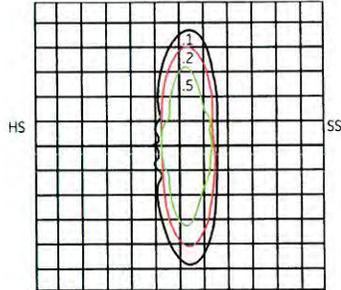
Polar Trace Vertical and Horizontal Plane through Horizontal Angle of Maximum Candlepower

### CU Graph

Coefficients of Utilization Street Width / Mounting Height

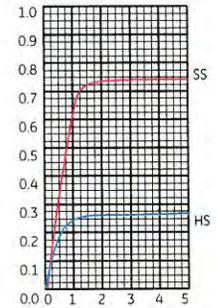
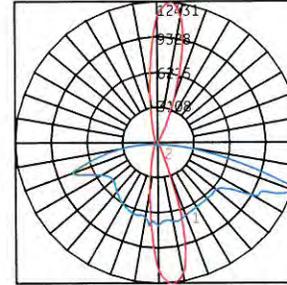
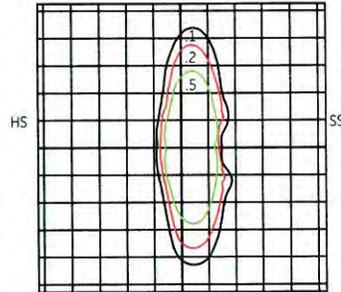
#### ERS3 Extra Narrow Asymmetric (N3A1)

20000 Lumens  
5000K  
GE456483



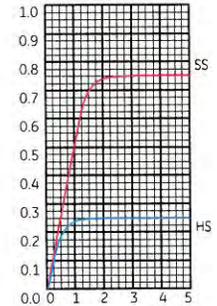
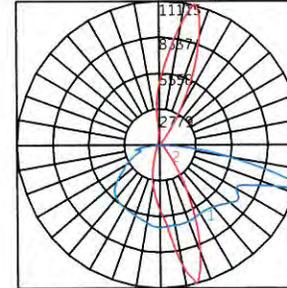
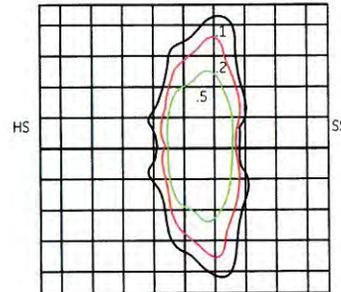
#### ERS3 Narrow Asymmetric Medium (N3B1)

20500 Lumens  
5000K  
GE456488



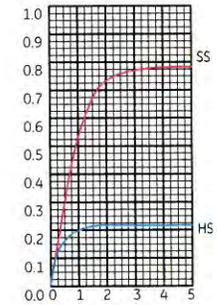
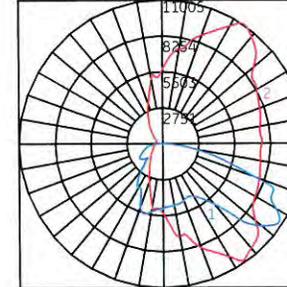
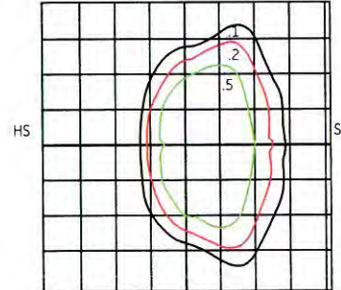
#### ERS3 Asymmetric Short (N3C1)

20500 Lumens  
5000K  
GE456493



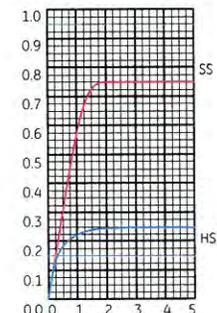
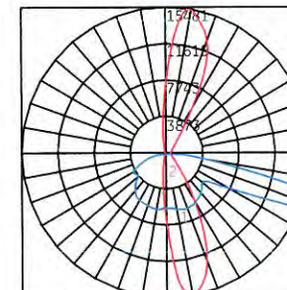
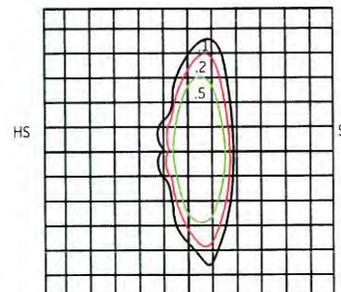
#### ERS3 Asymmetric Forward (N3D1)

20000 Lumens  
5000K  
GE456498



#### ERS3 Asymmetric Medium (N3E1)

20500 Lumens  
5000K  
GE456503



# Ordering Number Logic

## Scalable Specification Grade Cobrahead (ERS4)



ERS4 - - - - - 5 - - - - -

PROD. ID	VOLTAGE	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	LED COLOR TEMP	PE FUNCTION	COLOR	OPTIONS
<b>E</b> = Evolve	<b>0</b> = 120-277 <b>1</b> = 120 <b>2</b> = 208 <b>3</b> = 240 <b>4</b> = 277 <b>H</b> = 347-480 <b>D</b> = 347 <b>S</b> = 480	Product Tier <b>*3</b> = Specification Grade  See Charts for all levels	<b>A1</b> = Extra Narrow Asymmetric <b>B1</b> = Narrow Asymmetric (Medium) <b>C1</b> = Asymmetric (Short) <b>D1</b> = Asymmetric Forward <b>E1</b> = Asymmetric (Medium)	<b>5</b> = 525mA	<b>40</b> = 4000K <b>50</b> = 5000K	<b>1</b> = None <b>1</b> = None <b>2</b> = PE Rec. <b>4</b> = PE Rec. with Shorting Cap <b>5</b> = PE Rec. with Control <b>7</b> = GE Dimming 5-Pin PE Receptacle *† <b>9</b> = GE Dimming 5-Pin PE Receptacle with Shorting Cap *†	<b>BLCK</b> = Black <b>GRAY</b> = Gray	<b>B</b> = Internal Bubble level <b>D</b> = Dimming* <b>F</b> = Fusing <b>G</b> = External Bubble Level <b>L</b> = Tool-Less Entry <b>R</b> = Additional Secondary Surge Protection Device <b>T</b> = GE Energy Extreme Surge Protection per IEEE/ANSI C62.41.2-2002. - Rating 1 - 10kV/5kA Location Category (120 events). - Rating 2 - 6kV/3kA Location Category C-Low (5000 events).  <b>XXX</b> = Special Options * When ordering Dimming PE Receptacle 7, 9 or A, D=Dimming driver must be selected under "OPTIONS" column  <b>NOTE:</b> If no dimming receptacle under PE Function is selected and D=Dimming is selected under OPTIONS, 0-10v dimming leads will be provided with access through siphfilter opening in unit

525 mA				TYPICAL SYSTEM WATTAGE	TYPICAL INITIAL LUMENS	TYPICAL INITIAL LPW 4000K	TYPICAL INITIAL LPW 5000K	IES FILE NUMBERS		
PRODUCT ID	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	120-277V	4000K	5000K	120-277V	120-277V	4000K	5000K
ERS4	P3	A1	525mA	222	21100	21200	95	95	456504	456529
ERS4	Q3		525mA	234	22300	22500	95	96	456505	456530
ERS4	R3		525mA	247	23500	23800	95	96	456506	456531
ERS4	S3		525mA	260	24800	25000	95	96	456507	456532
ERS4	T3		525mA	274	26000	26200	95	96	456508	456533
ERS4	P3	B1	525mA	222	21600	21800	97	98	456509	456534
ERS4	Q3		525mA	234	22800	23000	97	98	456510	456535
ERS4	R3		525mA	247	24100	24400	98	99	456511	456536
ERS4	S3		525mA	260	25400	25700	98	99	456512	456537
ERS4	T3		525mA	274	26600	26900	97	98	456513	456538
ERS4	P3	C1	525mA	222	21600	21800	97	98	456514	456539
ERS4	Q3		525mA	234	22800	23000	97	98	456515	456540
ERS4	R3		525mA	247	24100	24400	98	99	456516	456541
ERS4	S3		525mA	260	25400	25700	98	99	456517	456542
ERS4	T3		525mA	274	26600	26900	97	98	456518	456543
ERS4	P3	D1	525mA	222	21100	21200	95	95	456519	456544
ERS4	Q3		525mA	234	22300	22500	95	96	456520	456545
ERS4	R3		525mA	247	23500	23800	95	96	456521	456546
ERS4	S3		525mA	260	24800	25000	95	96	456522	456547
ERS4	T3		525mA	274	26000	26200	95	96	456523	456548
ERS4	P3	E1	525mA	222	21600	21800	97	98	456524	456549
ERS4	Q3		525mA	234	22800	23000	97	98	456525	456550
ERS4	R3		525mA	247	24100	24400	98	99	456526	456551
ERS4	S3		525mA	260	25400	25700	98	99	456527	456552
ERS4	T3		525mA	274	26600	26900	97	98	456528	456553

**NOTES:**

- Max Operating Ambient 50° C
- Max Operating Ambient 40° C for 347-480V
- For T Option, Contact Manufacturer

### Lumen Maintenance

- Projected L91 (10K) ≥ 50,000 at Ta 25C
  - Projected L70 (10K) > 100,000 at Ta 25C
- Based on 10,000h LM-80 data for Nichia 219B SQETMLH17005

# Photometrics

## Scalable Specification Grade Cobrahead (ERS4)

### ISO Plot

Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

### Polar Curve

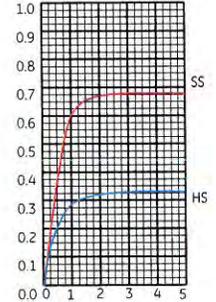
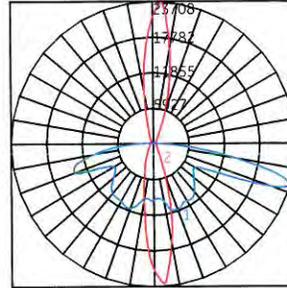
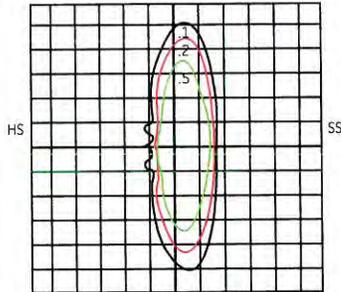
Polar Trace Vertical and Horizontal Plane through Horizontal Angle of Maximum Candlepower

### CU Graph

Coefficients of Utilization Street Width / Mounting Height

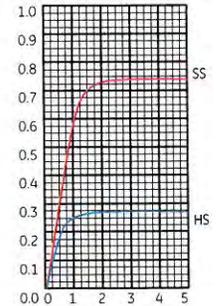
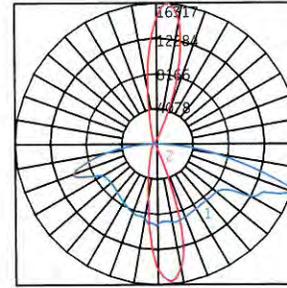
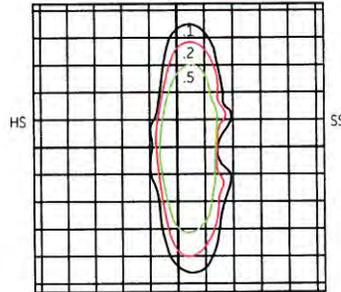
#### ERS4 Extra Narrow Asymmetric (T3A1)

26200 Lumens  
5000K  
GE456533



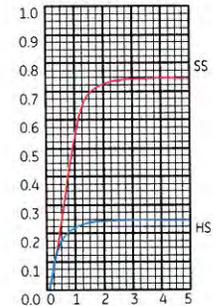
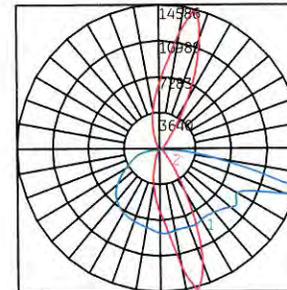
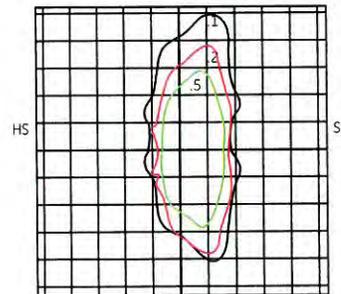
#### ERS4 Narrow Asymmetric Medium (T3B1)

26900 Lumens  
5000K  
GE456538



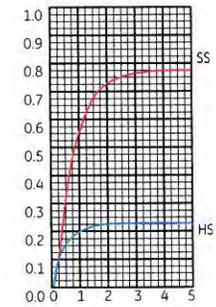
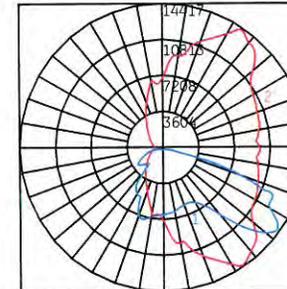
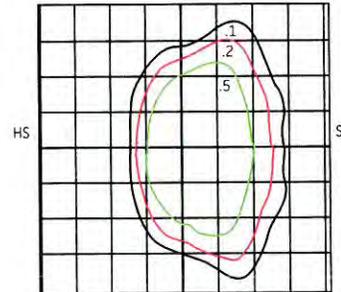
#### ERS4 Asymmetric Short (T3C1)

26900 Lumens  
5000K  
GE456543



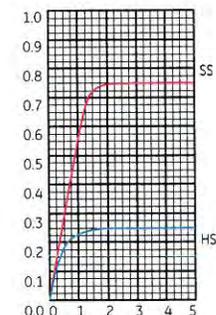
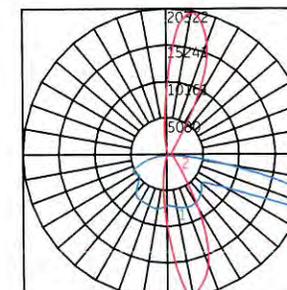
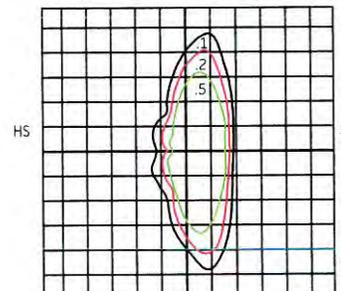
#### ERS4 Asymmetric Forward (T3D1)

26200 Lumens  
5000K  
GE456548



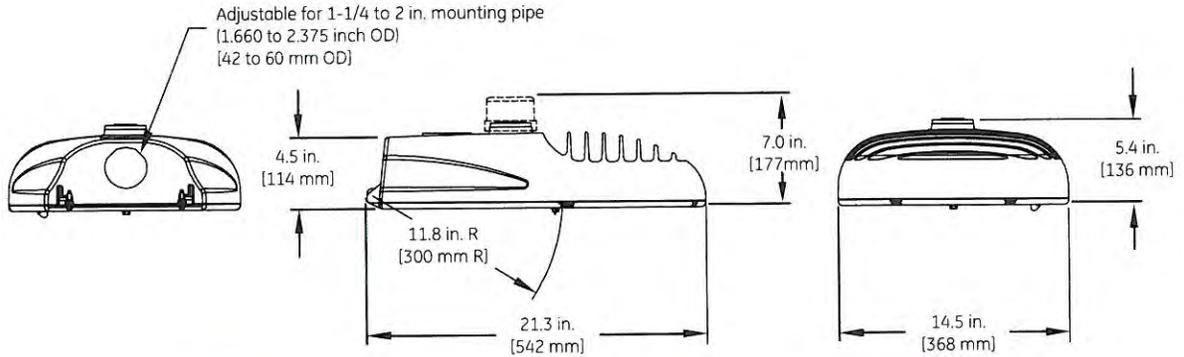
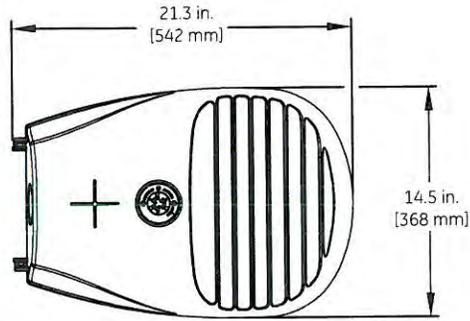
#### ERS4 Asymmetric Medium (T3E1)

26900 Lumens  
5000K  
GE456553



## Product Dimensions

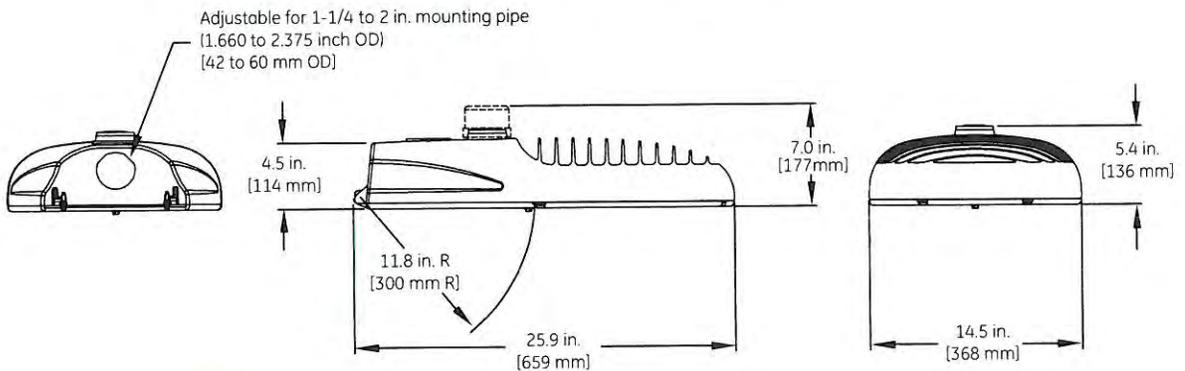
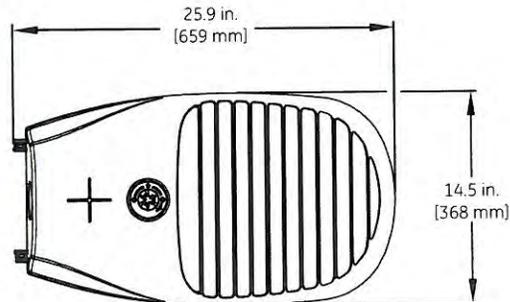
### Evolve LED Scalable Specification Grade Cobrahead (ERS1)



#### DATA

- Approximate Net Weight: 20 to 25 lbs. (9.07 to 11.34 kgs.)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA): 0.5 sq. ft. max (0.046 sq. m)

### Evolve LED Scalable Specification Grade Cobrahead (ERS2)

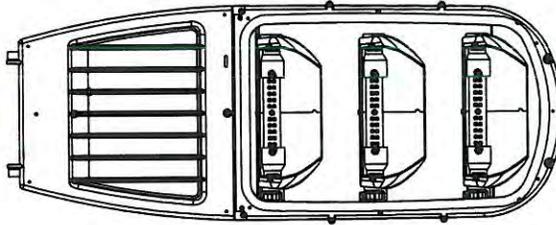


#### DATA

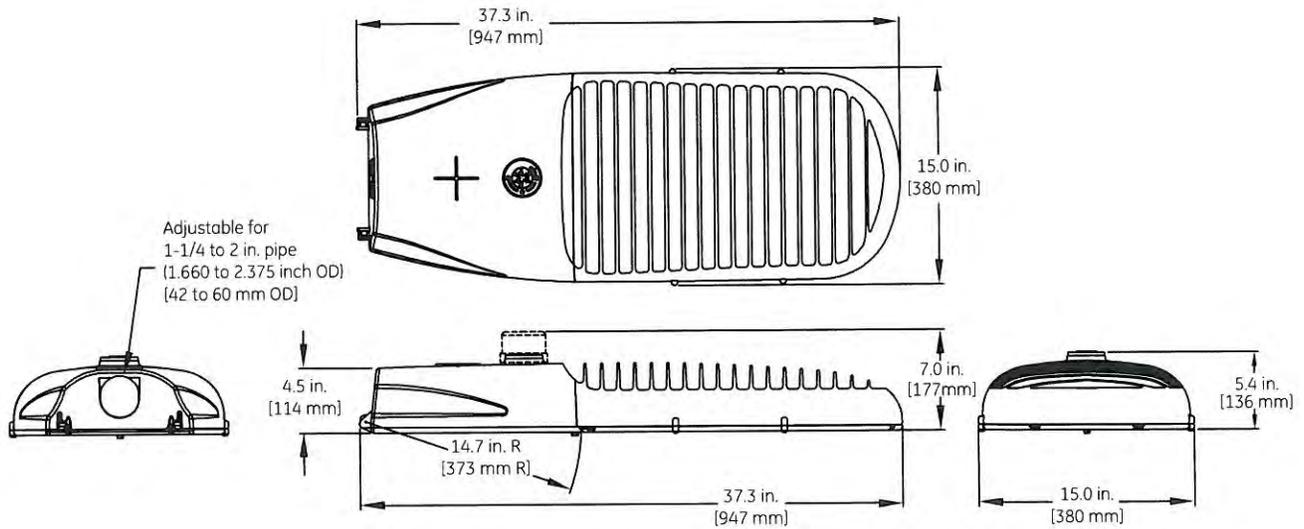
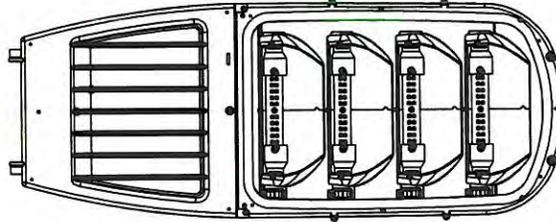
- Approximate Net Weight: 25 to 29 lbs. (11.34 to 13.15 kgs.)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA): 0.7 sq. ft. max (0.065 sq. m)

# Product Dimensions

Evolve LED Scalable Specification  
Grade Cobrahead (ERS3)



Evolve LED Scalable Specification  
Grade Cobrahead (ERS4)



**DATA**

- Approximate Net Weight: 40 to 46 lbs. (18.14 to 20.87 kgs.)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA): 1.0 sq. ft. max (0.093 sq. m)



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GE  
Lighting

# Evolve™ LED Area Light

Scalable Area Light (EASC)



imagination at work

## Product Features

The next evolution of the GE Evolve™ LED Area Light continues to deliver outstanding features, while adding greater flexibility, style and scalability. This latest design offers higher lumen outputs and provides photometric combinations with high efficacy, providing the ability to meet even a wider range of area lighting needs. Additionally, the new EASC Evolve Luminaire comes with a specially designed auto dealership optic for exceptional illuminance on the dealership's front row. Optional programmable motion sensing for Title 24 compliance is available.

### Applications

- Site, area, and general lighting applications utilizing advanced LED optical system providing high uniformity, excellent vertical light distribution, reduced offsite visibility, reduced on-site glare and effective security light levels.
- Ideal for small to large retailers, commercial to medical properties, and big box retailers.

### Housing

- Die-cast aluminum housing.
- Slim architectural design incorporates an integral heat sink and light engine, ensuring maximum heat transfer, long LED life, and a reduced Effective Projected Area (EPA).
- Meets 2G vibration standards per ANSI C136.31-2010. For 3G rating contact manufacturer.

### LED & Optical Assembly

- Structured LED arrays for optimized area light photometric distribution.
- Evolve light engine with directional reflectors designed to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 4000K and 5000K typical.

### Lumen Maintenance

- System rating is L90 at 50,000 hours. Contact manufacturer for Lxx rating (Lumen Depreciation) beyond 50,000 hours.

### Ratings

-  listed, suitable for wet locations.
-  listed with option code "J" SKUs.
- IP65 rated optical enclosure per ANSI C136.25-2009.
- Temperature rated at -40° to 50°C.
- Upward Light Output Ratio (ULOR) = 0.
- Title 24 compliant with "H" motion sensor option.
- Compliant with the material restriction requirements of RoHS.
- DLC Listed

### Mounting

#### Option A

- 10-inch (254mm) mounting arm for square pole prewired with 24-inch (610mm) leads.

#### Option B

- 10-inch (254mm) mounting arm for round pole prewired with 24-inch (610mm) leads.

#### Option C

- Slipfitter mounting for 2 3/8-inch (60mm) O.D. pipe prewired with 24-inch (610mm) leads.

#### Option S

- Knuckle Slipfitter mounting for 2.3-3" O.D. pipe, pre-wired with 24-inch (610mm) leads.

### Finish

- Corrosion resistant polyester powder painted, minimum 2.0 mil. thickness.
- Standard colors: Black & Dark Bronze.
- RAL & custom colors available.

### Electrical

- 120-277 volt and 347-480 volt available.
- System power factor is >90% and THD <20%.*
- Class "A" sound rating.
- Photo electric sensors (PE) available for all voltages.
- GE dimmable PE socket is available making the unit "adaptive controls ready." Contact manufacturer for details.
- Surge Protection Options:  
For 120-277VAC and 347-480VAC per IEEE/ANSI C136.2-2014.
  - 6kV/3kA "Basic" surge protection, standard.
  - 10kV/5kA "Enhanced" surge protection available with R option.

* System power factor and THD is tested and specified at 120V input and maximum load conditions.

# Ordering Number Logic

## Evolve™ LED Scalable Area Light (EASC)



EAS

C

PROD. ID	PHOTOMETRIC	VOLTAGE	OPTICAL CODE	DISTRIBUTION ORIENTATION	DRIVE CURRENT	LED COLOR TEMP	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve	C = Photometric Series	0 = 120 - 277 1 = 120* 2 = 208* 3 = 240* 4 = 277* 5 = 480* D = 347* H = 347-480		F = Front L = Left R = Right N = Not Applicable	5 = 525mA	40 = 4000K 50 = 5000K	1 = None 2 = PE Rec. 4 = PE Rec. with Shorting Cap 5 = PE Rec. with Control** A = ANSI C136.41 7-pin dimming PE Receptacle †# D = ANSI C136.41 7-pin dimming PE Receptacle with Shorting Cap †#	A = 10" Arm for Square Pole supplied with leads B = 10" Arm for Round Pole supplied with leads C = EKT Slip-fitter 2" Pipe (2.378 in. OD) supplied with leads S = Knuckle Slipfitter for 2.3in. - 3.0in. OD Tenon. 0-45° vertical aiming angles achievable.	BLCK = Black DKBZ = Dark Bronze GRAY = Gray WHITE = White Contact manufacturer for other colors.	C = IEC D = Dimming (0-10 Volt Input)† F = Fusing H = Motion Sensor**# J = cUL/Canada R = 10kV Extra Surge Protection XXX = Special Options
A = Area		*Specify single voltage if fuse option is selected.					** PE control not available for 347-480V. Must be a discrete voltage (347V or 480V). † When ordering PE function socket A-D, a dimming driver must also be ordered under the "OPTIONS" column. # Order Dimming/Control PE as a separate item.			† Dimming leads will be provided through the back of the arm, unless specified with A or D PE Function. ** When ordering Motion Sensing Option H - "A" or "B" Mounting Arm must be selected. Fixture power increase of 1W expected with sensor use. # Dimming is standard with H option code. Do not also select D option. Not compatible with PE receptacle options A, or D.

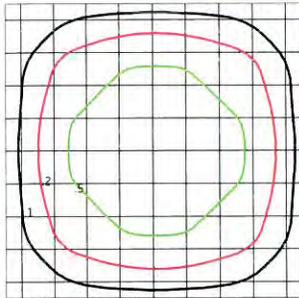
Light pattern thrown in direction specified in relation to Pole and Fixture.

OPTICAL CODE	TYPE	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE	DISTRIBUTION ORIENTATION AVAILABLE	BUG RATING* 4000K & 500K			IES FILE NUMBER			
		4000K & 5000K	120-277V & 347-480V	B		U	G	4000K	5000K			
TYPE V												
D5	Symmetric Medium	8300	82	119	N	3	0	2	EASC_D5N540	IES	EASC_D5N550	IES
E5	Symmetric Medium	12700	119	137	N	4	0	2	EASC_E5N540	IES	EASC_E5N550	IES
F5	Symmetric Medium	15000	137	156	N	4	0	2	EASC_F5N540	IES	EASC_F5N550	IES
G5	Symmetric Medium	17100	156	199	N	4	0	2	EASC_G5N540	IES	EASC_G5N550	IES
H5	Symmetric Medium	21200	199	235	N	4	0	2	EASC_H5N540	IES	EASC_H5N550	IES
J5	Symmetric Medium	25200	235	283	N	5	0	3	EASC_J5N540	IES	EASC_J5N550	IES
K5	Symmetric Medium	30000	283	283	N	5	0	3	EASC_K5N540	IES	EASC_K5N550	IES
N5	Symmetric Short	9200	82	119	N	3	0	1	EASC_N5N540	IES	EASC_N5N550	IES
P5	Symmetric Short	13800	119	137	N	3	0	2	EASC_P5N540	IES	EASC_P5N550	IES
Q5	Symmetric Short	16400	137	156	N	4	0	2	EASC_Q5N540	IES	EASC_Q5N550	IES
R5	Symmetric Short	18700	156	199	N	4	0	2	EASC_R5N540	IES	EASC_R5N550	IES
S5	Symmetric Short	23100	199	235	N	4	0	2	EASC_S5N540	IES	EASC_S5N550	IES
T5	Symmetric Short	27400	235	283	N	4	0	2	EASC_T5N540	IES	EASC_T5N550	IES
U5	Symmetric Short	33000	283	283	N	5	0	2	EASC_U5N540	IES	EASC_U5N550	IES
TYPE IV												
A4	Asymmetric Forward	4200	44	62	F, L, R	1	0	1	EASC_A4F540	IES	EASC_A4F550	IES
B4	Asymmetric Forward	6500	62	72	F, L, R	1	0	2	EASC_B4F540	IES	EASC_B4F550	IES
C4	Asymmetric Forward	7600	72	82	F, L, R	1	0	2	EASC_C4F540	IES	EASC_C4F550	IES
D4	Asymmetric Forward	8700	82	119	F, L, R	1	0	2	EASC_D4F540	IES	EASC_D4F550	IES
E4	Asymmetric Forward	12900	119	144	F, L, R	2	0	3	EASC_E4F540	IES	EASC_E4F550	IES
F4	Asymmetric Forward	15400	144	156	F, L, R	2	0	3	EASC_F4F540	IES	EASC_F4F550	IES
G4	Asymmetric Forward	17100	156	199	F, L, R	2	0	3	EASC_G4F540	IES	EASC_G4F550	IES
H4	Asymmetric Forward	21200	199	235	F, L, R	3	0	4	EASC_H4F540	IES	EASC_H4F550	IES
J4	Asymmetric Forward	25200	235	283	F, L, R	3	0	4	EASC_J4F540	IES	EASC_J4F550	IES
K4	Asymmetric Forward	30000	283	283	F, L, R	3	0	5	EASC_K4F540	IES	EASC_K4F550	IES
TYPE III												
A3	Asymmetric Wide	4700	44	62	F, L, R	1	0	1	EASC_A3F540	IES	EASC_A3F550	IES
B3	Asymmetric Wide	7100	62	72	F, L, R	1	0	2	EASC_B3F540	IES	EASC_B3F550	IES
C3	Asymmetric Wide	8300	72	82	F, L, R	1	0	2	EASC_C3F540	IES	EASC_C3F550	IES
D3	Asymmetric Wide	9500	82	119	F, L, R	2	0	2	EASC_D3F540	IES	EASC_D3F550	IES
E3	Asymmetric Wide	13900	119	144	F, L, R	2	0	2	EASC_E3F540	IES	EASC_E3F550	IES
F3	Asymmetric Wide	16800	144	156	F, L, R	2	0	2	EASC_F3F540	IES	EASC_F3F550	IES
G3	Asymmetric Wide	18700	156	199	F, L, R	2	0	2	EASC_G3F540	IES	EASC_G3F550	IES
H3	Asymmetric Wide	23100	199	235	F, L, R	3	0	3	EASC_H3F540	IES	EASC_H3F550	IES
J3	Asymmetric Wide	27400	235	283	F, L, R	3	0	3	EASC_J3F540	IES	EASC_J3F550	IES
K3	Asymmetric Wide	33000	283	283	F, L, R	3	0	4	EASC_K3F540	IES	EASC_K3F550	IES
TYPE II												
A2	Asymmetric Narrow	4600	44	62	F, L, R	1	0	1	EASC_A2F540	IES	EASC_A2F550	IES
B2	Asymmetric Narrow	6800	62	72	F, L, R	1	0	1	EASC_B2F540	IES	EASC_B2F550	IES
C2	Asymmetric Narrow	8000	72	82	F, L, R	2	0	2	EASC_C2F540	IES	EASC_C2F550	IES
D2	Asymmetric Narrow	9100	82	119	F, L, R	2	0	2	EASC_D2F540	IES	EASC_D2F550	IES
E2	Asymmetric Narrow	13400	119	144	F, L, R	2	0	2	EASC_E2F540	IES	EASC_E2F550	IES
F2	Asymmetric Narrow	16200	144	156	F, L, R	3	0	3	EASC_F2F540	IES	EASC_F2F550	IES
G2	Asymmetric Narrow	18000	156	199	F, L, R	3	0	3	EASC_G2F540	IES	EASC_G2F550	IES
H2	Asymmetric Narrow	22300	199	235	F, L, R	3	0	3	EASC_H2F540	IES	EASC_H2F550	IES
J2	Asymmetric Narrow	26500	235	283	F, L, R	3	0	3	EASC_J2F540	IES	EASC_J2F550	IES
K2	Asymmetric Narrow	31900	283	283	F, L, R	3	0	4	EASC_K2F540	IES	EASC_K2F550	IES
KA	Asymmetric 100° Wide Auto	35400	283		F, L, R	4	0	3	EASC_KAF540	IES	EASC_KAF550	IES

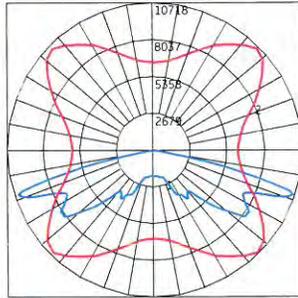
†Rating values for B and G are based on rated lumens and may vary due to flux tolerances.

# Photometrics

**EASC Type V - Symmetric Medium (K5)**  
30,000 Lumens, 5000K (EASC_K5N550_ies)

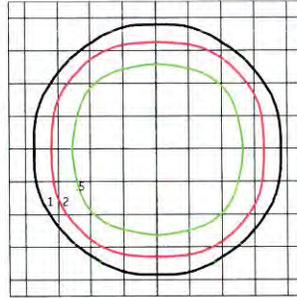


Grid Distance in Units of Mounting Height at 40' Initial Footcandle Values at Grade

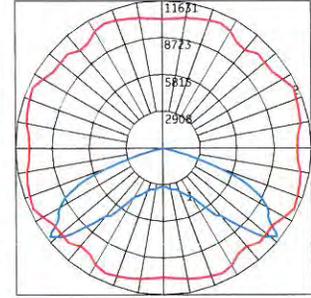


— Vertical plane through horizontal angle of maximum candlepower at 45°  
— Vertical plane through horizontal angle of 72°

**EASC Type V - Symmetric Short (U5)**  
33,000 Lumens, 5000K (EASC_U5N550_ies)

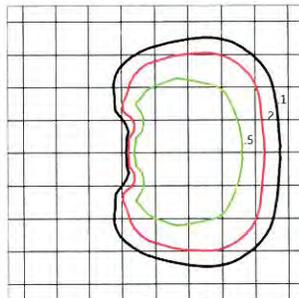


Grid Distance in Units of Mounting Height at 40' Initial Footcandle Values at Grade

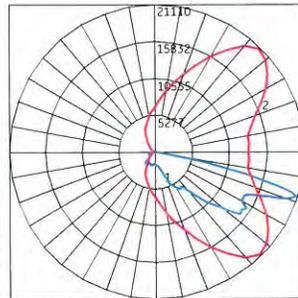


— Vertical plane through horizontal angle of maximum candlepower at 45°  
— Vertical plane through horizontal angle of 52°

**EASC Type IV - Asymmetric Forward (K4)**  
30,000 Lumens, 5000K (EASC_K4F550_ies)

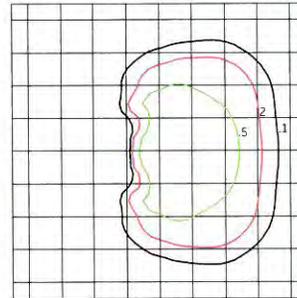


Grid Distance in Units of Mounting Height at 40' Initial Footcandle Values at Grade

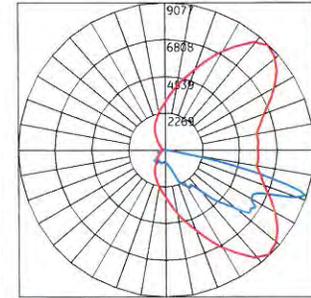


— Vertical plane through horizontal angle of maximum candlepower at 45°  
— Vertical plane through horizontal angle of 72°

**EASC Type IV - Asymmetric Forward (E4)**  
12,900 Lumens, 5000K (EASC_E4F550_ies)

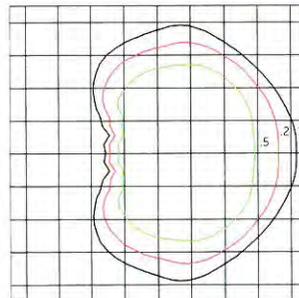


Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

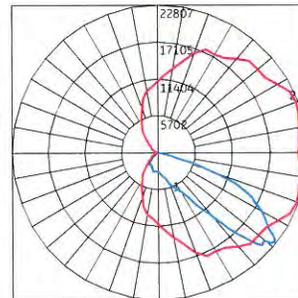


— Vertical plane through horizontal angle of maximum candlepower at 45°  
— Vertical plane through horizontal angle of 72°

**EASC Type III - Asymmetric Wide (K3)**  
33,000 Lumens, 5000K (EASC_K3F550_ies)

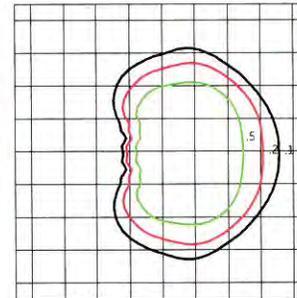


Grid Distance in Units of Mounting Height at 40' Initial Footcandle Values at Grade

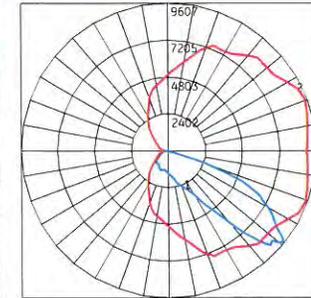


— Vertical plane through horizontal angle of maximum candlepower at 20°  
— Vertical plane through horizontal angle of 52°

**EASC Type III - Asymmetric Wide (E3)**  
13,900 Lumens, 5000K (EASC_E3F550_ies)

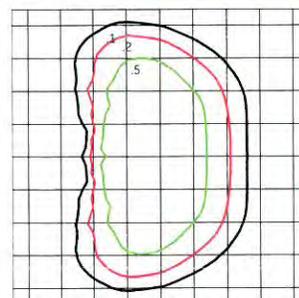


Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade

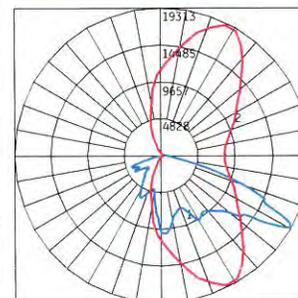


— Vertical plane through horizontal angle of maximum candlepower at 20°  
— Vertical plane through horizontal angle of 52°

**EASC Type II - Asymmetric Narrow (K2)**  
31,900 Lumens, 5000K (EASC_K2F550_ies)

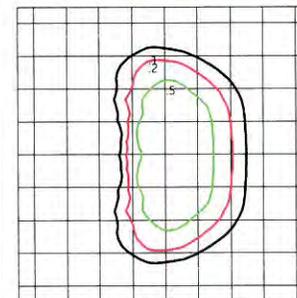


Grid Distance in Units of Mounting Height at 40' Initial Footcandle Values at Grade

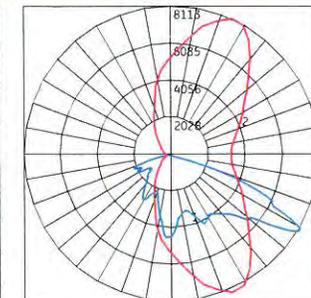


— Vertical plane through horizontal angle of maximum candlepower at 65°  
— Vertical plane through horizontal angle of 60°

**EASC Type II - Asymmetric Narrow (E2)**  
13,400 Lumens, 5000K (EASC_E2F550_ies)



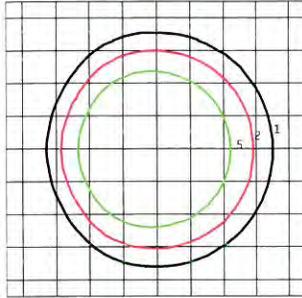
Grid Distance in Units of Mounting Height at 30' Initial Footcandle Values at Grade



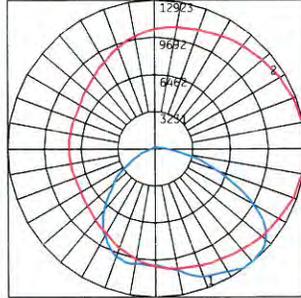
— Vertical plane through horizontal angle of maximum candlepower at 65°  
— Vertical plane through horizontal angle of 60°

## Photometrics

EASC Type II - Assymmetric Auto (KA)  
35,400 Lumens, 5000K (EASC_KAF550_ies)



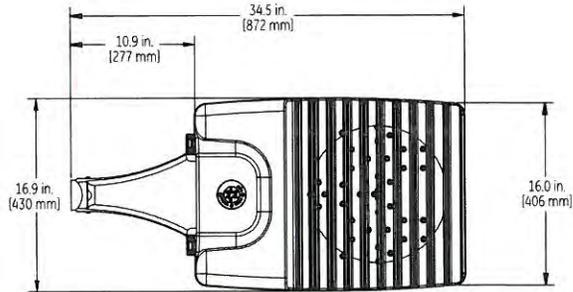
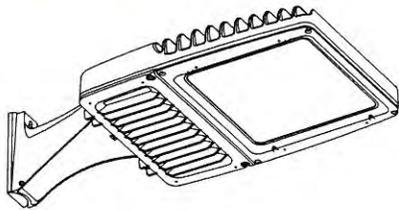
Grid Distance in Units  
of Mounting Height at 40' Initial  
Footcandle Values at Grade



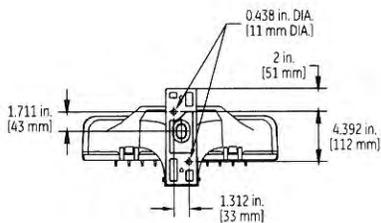
— Vertical plane through horizontal angle  
of maximum candlepower at 0°  
— Vertical plane through horizontal angle of 37°

## Product Dimensions

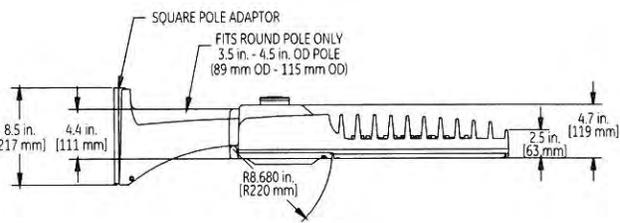
10" Arm For Square Pole Mount  
(Option A)



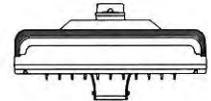
TOP VIEW



BACK VIEW



SIDE VIEW



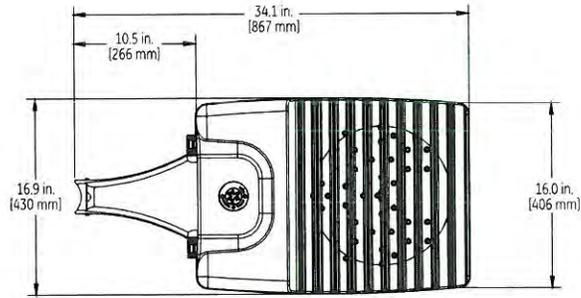
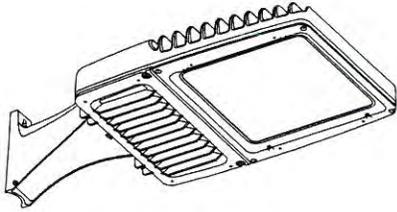
FRONT VIEW

### DATA

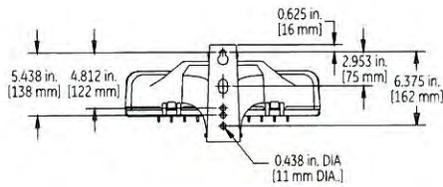
- Approximate net weight: 43-47 lbs (19.50 - 21.32 kgs)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA) with 10" Mounting Arm: 0.97 sq ft max (0.09 sq m)

## Product Dimensions

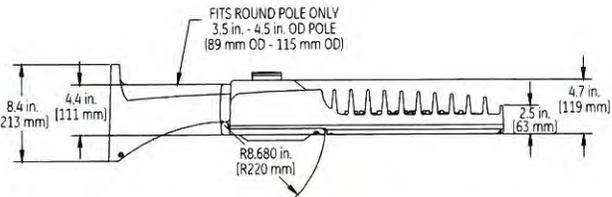
### 10" Arm For Round Pole Mount (Option B)



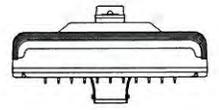
TOP VIEW



BACK VIEW



SIDE VIEW

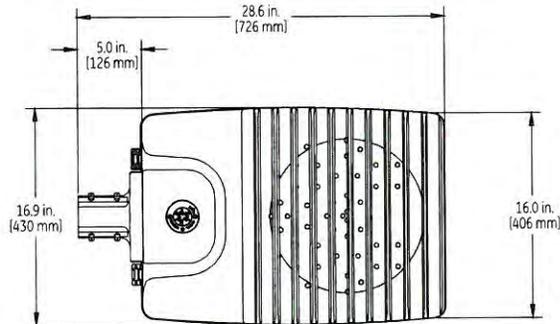
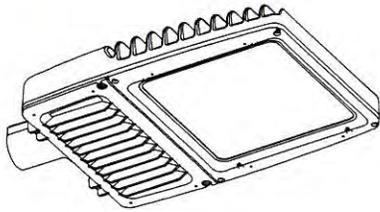


FRONT VIEW

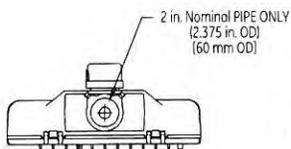
#### DATA

- Approximate net weight: 43-47 lbs (19.50 - 21.32 kgs)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA) with 10" Mounting Arm: 0.97 sq ft max (0.09 sq m)

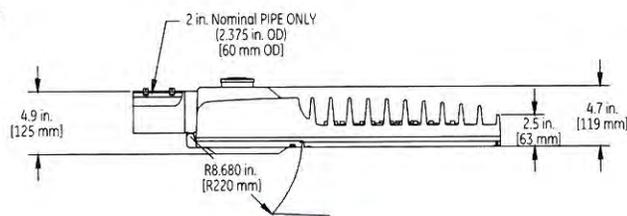
### Slipfitter Arm Mount (Option C)



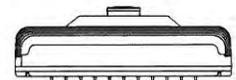
TOP VIEW



BACK VIEW



SIDE VIEW

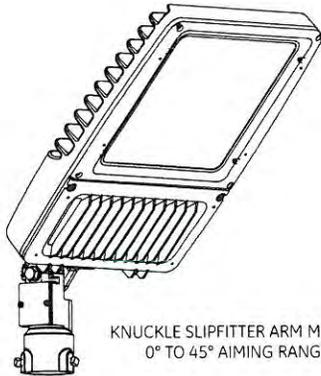


FRONT VIEW

#### DATA

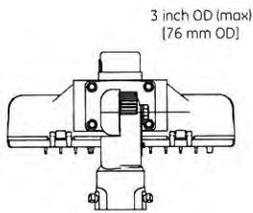
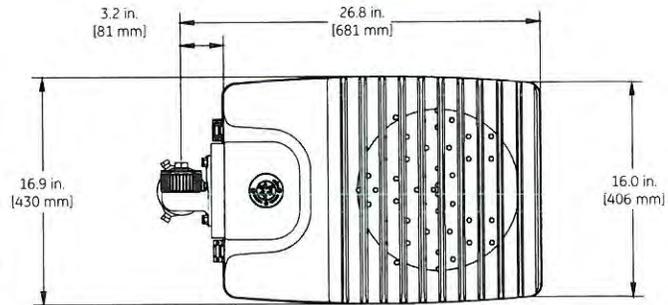
- Approximate net weight: 41-45 lbs (18.60 - 20.41 kgs)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA) with Slipfitter: 0.47 sq ft max (0.04 sq m)

## Knuckle Arm Mount (Option S)

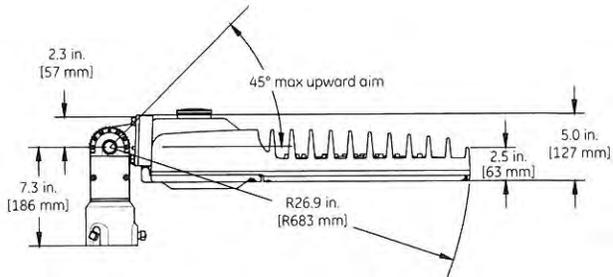


KNUCKLE SLIPFITTER ARM MOUNT  
0° TO 45° AIMING RANGE

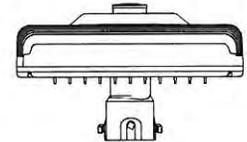
TOP VIEW



BACK VIEW



SIDE VIEW



FRONT VIEW

### DATA

- Approximate net weight: 41-45 lbs (18.60 - 20.41 kgs)  
Contact manufacturer for specific configuration weight.
- Effective Projected Area (EPA) with fixture mounted at 45° upward: 1.97 sq ft max

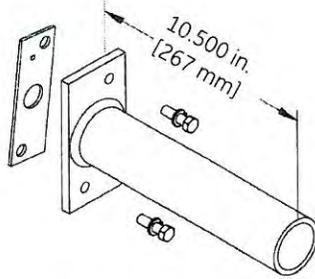
# Mounting Information

## Mounting Arms for Slipfitter

Order separately with Mounting Option C (External Slipfitter)

### SQUARE POLE MOUNTING ARM

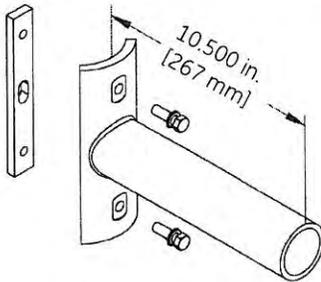
3.5 TO 4.5-inch (89 to 114mm) SQUARE  
(WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER  
**SPA-EAMT10BLCK "Black"**  
**SPA-EAMT10DKBZ "Dark Bronze"**

### ROUND POLE MOUNTING ARM

3.5 TO 4.5-inch (89 to 114mm) OD  
(WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER  
**RPA-EAMT10BLCK "Black"**  
**RPA-EAMT10DKBZ "Dark Bronze"**

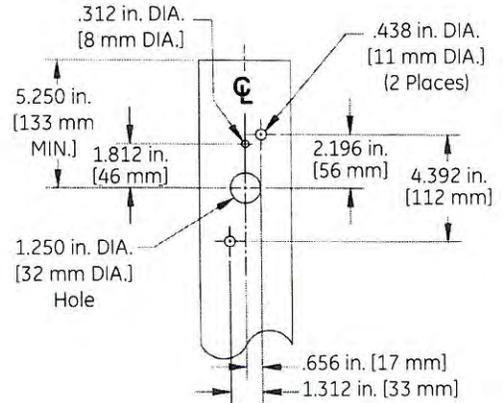
## Wall Mounting Bracket Adapter Plate

ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER  
**WMB-EAMT06**

Other mounting patterns are available for retrofit installations.  
Contact manufacturing for other available mounting patterns.

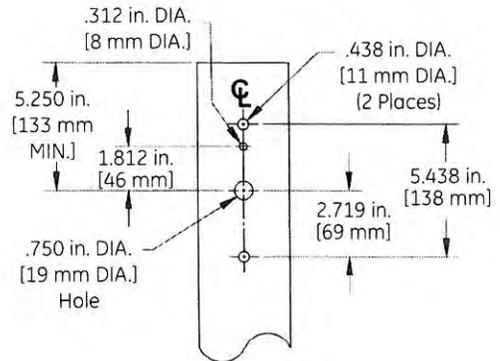
## Drilling Templates for Slipfitter Arms & Arm Mount

### SQUARE POLE MOUNTING



### ROUND POLE MOUNTING

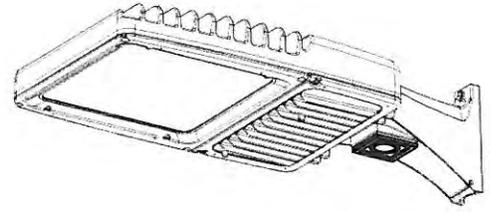
3.5 TO 4.5-inch (89 to 114mm) OD  
round pole mounting arm



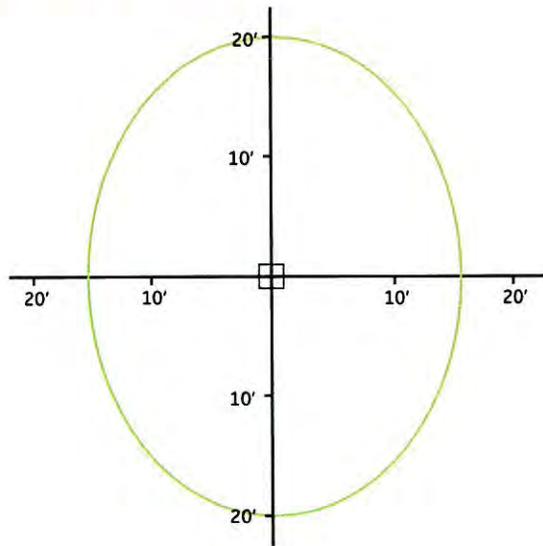
## H-Motion Sensing Option:

- Intended for high mounting applications, between 15-30ft (4.57-9.14m). For mounting heights exceeding 30ft, pole mounted sensors are recommended.
- Provides a coverage area radius for walking motion of 15-20ft (4.57-6.10m).
- Provides 270° of coverage (~90° is blocked by the pole).
- Comes standard with 50% dimmed light output with no occupancy, and full power at occupancy.
- Comes standard with photocell function. Note: It is not necessary to also purchase PE receptacle or control.
- Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.
- Must order with decorative mounting arm options "A" or "B".
- Fixture power increase of 1W expected with sensor use.

Note: Standard options may be reprogrammed in the field. Reprogramming instructions included in product shipment.



## Sensor Pattern:



Sensing Pattern Area Fixture  
Up to 30 ft.



[www.gelighting.com](http://www.gelighting.com)

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OLP3090 (Rev 09/22/15)

GE  
Lighting Solutions

# Evolve™ LED Area Light

Scalable Wall Pack (EWS1)



imagination at work

## Product Features

The GE Evolve™ LED Scalable Wall Pack is optimized for customers looking for an efficient and reliable LED solution for wall mounted, site, area and general lighting applications.

Depending on the application, Evolve™ LED Scalable Wall Pack can yield up to a 75% reduction in system energy consumption compared with standard HID systems. This reliable system operates well in cold temperatures and offers more than 11 years of service life to reduce maintenance frequency and expense, based on a 50,000 hour rated life and 12 hours of operation per day. Containing no mercury or lead, this environmentally responsible product is RoHS compliant.

### Applications

- Wall mounted, site, area and general lighting utilizing an advanced LED optical system providing uniformity, vertical light distribution, reduced offsite visibility, reduced on-site glare and effective security light levels.

### Housing

- Die-cast aluminum housing.
- Sleek architectural design incorporating a heat sink directly into the unit ensuring maximum heat transfer and long LED life.
- Meets 1G vibration standards per ANSI C136.31-2001. For 3G rating contact manufacturer.

### LED & Optical Assembly

- Structured LED array for optimized area light photometric distribution.
- Evolve™ LED light engine utilizes reflective technology to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 4000K & 5700K typical.
- LM-79 tests and reports are performed in accordance with IESNA standards.

### Lumen Maintenance

- System rating is L85 at 50,000 hours. Contact manufacturer for Lxx rating (Lumen Depreciation) beyond 50,000 hours.

### Ratings

- /• listed, suitable for wet locations. (For cUL availability contact manufacturer)
- IP 65 rated optical enclosure per ANSI C136.25-2009.
- Temperature rated at -40° to 50°C.
- Upward Light Output Ratio (ULOR) = 0
-  RoHS compliant.

### Mounting

- Flush wall mount to "J" Box with inspection hole for IP 65.

### Finish

- Corrosion resistant polyester powder painted, minimum 2.0 mil. thickness.
- Standard colors: Black and Dark Bronze.
- RAL & custom colors available.

### Electrical

- 120-277 volt and 347-480 volt available.
- System power factor is >90% and THD <20%*.
- Class "A" sound rating.
- Integral surge protection non-dimming:
  - Tested per IEEE/ANSI C62.41.-1991, 4kV/2kA Location Category B2 (120 Events).
- EMI: Title 47 CFR Part 15 Class A.

** System power factor and THD is tested and specified at 120V input and maximum load conditions.*

### Warranty

- 5-year limited system warranty standard.

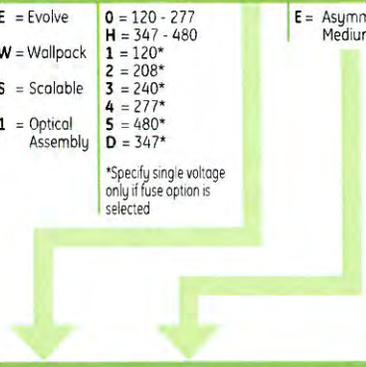
# Ordering Number Logic

## Scalable Wall Pack (EWS1)



**EWS1 - - - - E - 5 - - - - G - 1 - N - - - - -**

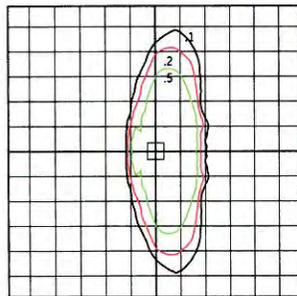
PROD. ID	VOLTAGE	OPTICAL CODE	PHOTOMETRIC TYPE	DRIVE CURRENT	LED COLOR TEMP	LENS TYPE	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve W = Wallpack S = Scalable 1 = Optical Assembly	0 = 120 - 277 H = 347 - 480 1 = 120* 2 = 208* 3 = 240* 4 = 277* 5 = 480* D = 347*		E = Asymmetric Medium	5 = 525mA	40 = 4000K 57 = 5700K	G = Glass	1 = None	N = Not Applicable	BLCK = Black DKBZ = Dark Bronze Contact manufacturer for other colors.	F = Fusing XXX = Special Options



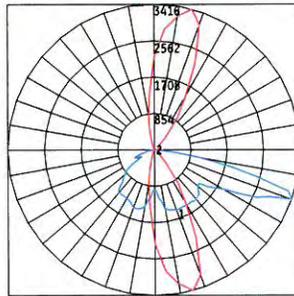
OPTICAL CODE	PHOTOMETRIC TYPE	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE		IES FILE NUMBER	
		4000K	5700K	120-277V	347-480V	4000K	5700K
A	E	2900	3200	43	47	455027	455030
B		4000	4300	54	59	455028	455037
C		4900	5200	67	74	455029	455038

## Photometrics

EWS1 - Asymmetric Medium (CE)  
5,200 Lumens, 5700K (GE455038.ies)



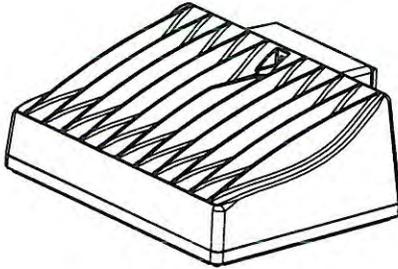
Grid Distance in Units of Mounting Height at 12' Initial Footcandle Values at Grade



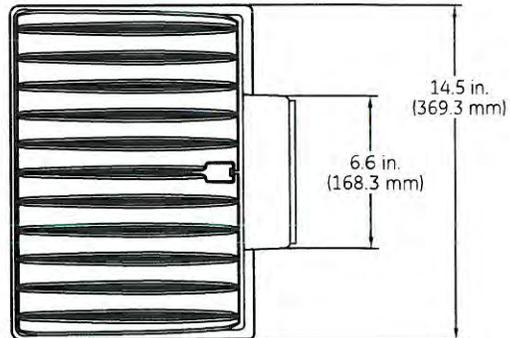
Polar Trace Vertical and Horizontal Plane through Horizontal Angle of Maximum Candlepower

# Product Dimensions

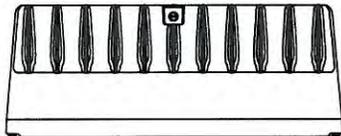
Top/Side View



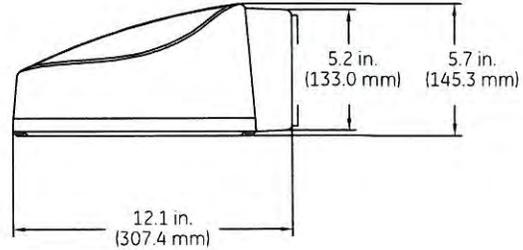
Top View



Front View

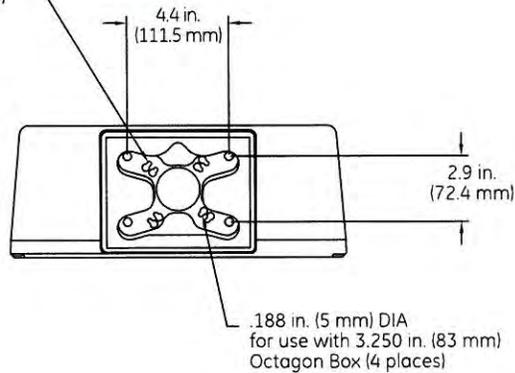


Side View



.188 in. (5 mm) DIA  
for use with 4.000 in. (102 mm)  
Octagon Box (4 places)

Back View



**DATA**

- Approximate Net Weight: 21 lbs (9.53 kgs)



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1-888-69-43-533

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GE  
Lighting Solutions

## Evolve™ LED Area Light

Modular Fixture - Wall Pack & Egress (EWSW & EESW)



imagination at work

## Product Features

The GE Evolve™ LED Area Light also offers a wall pack that delivers the same outstanding performance as the modular area light solution. Using the same light engines as the “single module” area light, the wall pack offers identical photometrics, which allows lighting designers to capitalize on the same features without compromise. In keeping with a sleek design strategy, this product offers a modern “wedge” look, balancing the need for photometric scalability with reliable workhorse performance. The wall pack provides 10 photometric combinations, available in two color temperatures, to meet a wide range of application needs. The same wedge platform also offers an egress option to compliment the family, and providing a complete and consistent look for all area lighting applications.

GE's exclusive optical ring design effectively directs the light and produces superior vertical illuminance. Additionally, reduced energy consumption, combined with a long rated life that virtually eliminates ongoing maintenance expenses, enables the Evolve LED Wall and Egress to provide significant operating cost benefits over the life of each fixture.

### Applications

- Wall mounted, single module site, area, and general lighting utilizing advanced LED optical system providing high uniformity, excellent vertical light distribution, reduced offsite visibility, reduced on-site glare and effective security light levels.

### Housing

- Cast aluminum housing.
- Sleek architectural wedge design incorporates a modular heat sink light engine directly into the unit ensuring maximum heat transfer and long LED life.
- Meets 2G vibration standards per ANSI C136.32-2001. For 3G rating contact factory.

### LED & Optical Assembly

- Structured LED arrays for optimized area light photometric distribution.
- Evolve modular light engine consisting of nested concentric directional reflectors designed to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 4000K and 5700K typical, binned per ANSI C78.377-2008.
- LM-79 tests and reports are performed in accordance to IESNA standards.

### Lumen Maintenance

- System rating is 50,000 hours at L85. Contact factory for L rating (Lumen Depreciation) beyond 50,000 hours.

### Ratings

- UL/cUL listed, suitable for wet locations.
- IP 65 rated optical per ANSI C136.25-2009.
- Temperature Rated at -40° to 50°C.

### Mounting

- Convenient Swing out wall mount to “J” box with inspection hole for IP 65.

### Finish

- Corrosion resistant polyester powder painted, minimum 2.0 mil. thickness.
- Standard colors: Black & Dark Bronze.
- RAL & custom colors available.

### Electrical

- Wall Pack: 120-277 volt and 347-480 volt available.
- Egress: 120-277 volt universal electronic driver.
- System power factor is >90% and THD <20%.
- Class “A” sound rating.
- Integral surge protection non-dimming:
  - For 120-277VAC per IEEE/ANSI C62.41.-1991, 4kV/2kA Location Category B2 (120 Events)
  - For 347-480VAC per IEEE/ANSI C62.41.-1991, 6kV/3kA Location Category B3 (120 Events)
- Integral surge protection GE dimming:
  - For 120-480VAC per IEEE/ANSI C62.41.2-2002, 6kV/3kA Location Category B (120 Events)
- EMI: FCC 47 47 CFR 15 Class A

### Warranty

- 5-year limited system warranty standard.

# Ordering Number Logic

Wall Pack (EWSW)



E W S W - - - - N - - - - A - 1 - N - - - - -

PROD. ID	VOLTAGE	OPTICAL CODE	DISTRIBUTION ORIENTATION	LED COLOR TEMP	LENS TYPE	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve W = Wallpack S = Small W = Wedge	0 = 120 - 277 1 = 120* 2 = 208* 3 = 240* 4 = 277* 5 = 480* D = 347*		N = Not applicable	40 = 4000K 57 = 5700K	A = Acrylic	1 = None	N = Not Applicable	BLCK = Black DKBZ = Dark Bronze Contact factory for other colors	D = Dimmable (0-10 Volt Input)* F = Fusing XXX = Special Options *Contact factory for availability.

*Specify single voltage if fuse option is selected

OPTICAL CODE	TYPE	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE		DISTRIBUTION ORIENTATION AVAILABLE	BUG RATINGS						IES FILE NUMBER*		
		4000K	5700K	120-277V	347-480V		4000K			5700K			4000K	5700K	
TYPE IV	A4	Asymmetric Forward	3130	3400	50	53	N	1	2	1	1	2	1	454394	454395
	B4	Asymmetric Forward	4050	4400	63	66	N	1	2	2	1	2	2	454397	454398
	C4	Asymmetric Forward	4970	5400	76	80	N	1	2	2	1	2	2	454400	454401
	D4	Asymmetric Forward	5890	6400	89	94	N	1	2	2	1	3	2	454403	454404
E4	Asymmetric Forward	6810	7400	101	106	N	1	3	2	2	3	2	454406	454407	
TYPE III	A3	Asymmetric Wide	3130	3400	50	53	N	1	1	1	1	1	1	454421	454422
	B3	Asymmetric Wide	4050	4400	63	66	N	1	1	1	1	1	1	454424	454425
	C3	Asymmetric Wide	4970	5400	76	80	N	1	1	1	1	2	1	454427	454428
	D3	Asymmetric Wide	5890	6400	89	94	N	1	1	2	1	1	2	454430	454431
	E3	Asymmetric Wide	6810	7400	101	106	N	1	1	2	1	1	2	454433	454434

## Egress (EESW)

E E S W - - - - N - - - - A - 1 - N - - - - -

PROD. ID	VOLTAGE	OPTICAL CODE	DISTRIBUTION ORIENTATION	LED COLOR TEMP	LENS TYPE	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve E = Egress S = Small W = Wedge	0 = 120 - 277 1 = 120* 2 = 208* 3 = 240* 4 = 277*		N = Not applicable	40 = 4000K 57 = 5700K	A = Acrylic	1 = None	N = Not Applicable	BLCK = Black DKBZ = Dark Bronze Contact factory for other colors	F = Fusing XXX = Special Options

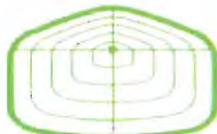
*Specify single voltage if fuse option is selected

OPTICAL CODE	TYPE	TYPICAL INITIAL LUMENS		TYPICAL SYSTEM WATTAGE		DISTRIBUTION ORIENTATION AVAILABLE	BUG RATINGS						IES FILE NUMBER*		
		4000K	5700K	120-277V	347-480V		4000K			5700K			4000K	5700K	
WE	Egress - Asymmetric Wide	1290	1400	20	N/A	N	0	0	0	0	0	0	0	454576	454575

## IESNA Classifications

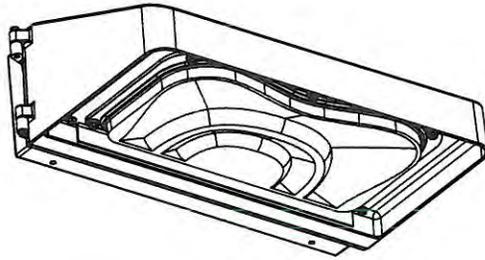


ASYMMETRIC FORWARD

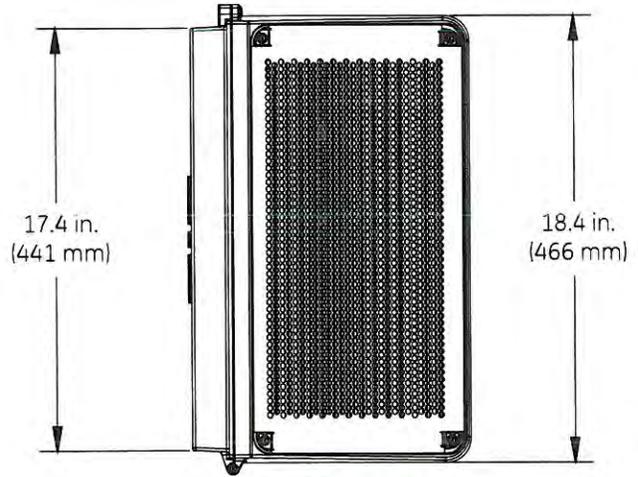


ASYMMETRIC WIDE

## Product Dimensions

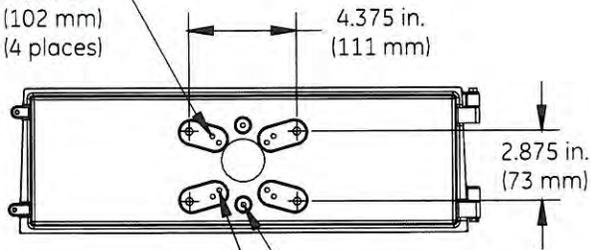


FRONT VIEW



TOP VIEW

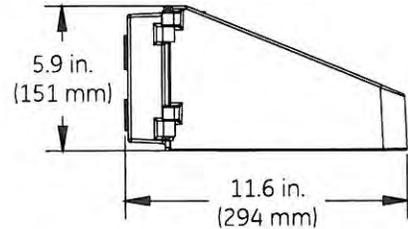
.188 in. (5 mm) DIA  
for use with 4.000 in. (102 mm)  
Octagon Box (4 places)



.188 in. (5 mm) DIA  
for use with 3.250 in. (83 mm)  
Octagon Box (4 places)

BACK VIEW

.188 in. (5 mm) DIA  
for use with Gem-Box



SIDE VIEW

### DATA

- Approximate Net Weight for Wall Pack: 29 lbs (13 kgs)
- Approximate Net Weight for Egress: 24 lbs (11 kgs)



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ATTORNEYS

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PHONE 703 525 4000  
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Mark M. Viani, Esq.  
Admitted VA, MD, and DC  
mviani@beankinney.com

October 14, 2015

**VIA E-MAIL ONLY**

Nicole Pendleton  
Zoning Administrator  
Botetourt County Development Services  
5 W. Main Street, Suite 100  
Fincastle, VA 24090

Re: Zoning Text Amendment Request – Shopping Center (“SC”) District  
Address: 2780 Lee Highway, Troutville, VA 24175  
Tax Map #: 101-176 (the “Property”)

Dear Ms. Pendleton:

On behalf of the Owner of the above-referenced Property (see enclosed consent letter), and on behalf of Vertical Construction Management, LLC, the Applicant for a pending land use application to develop a new 7-Eleven gasoline station and convenience store at the Property, we now request the Botetourt County Board of Supervisors’ approval of a zoning text amendment to increase the maximum district size of the Shopping Center (“SC”) zoning district for “neighborhood” shopping centers from 9 acres to 12 acres. This text amendment would benefit the County, it would comply with the Comprehensive Plan, and it would permit the planned 7-Eleven to be developed at the Property.

The County Zoning Ordinance states that the purpose of the SC zoning district is to “permit the development of neighborhood, community and regional shopping centers in scale with surrounding market areas, as recommended in the county land use plan and in accordance with the standards set forth in this division.” There are three types of shopping centers permitted under the Zoning Ordinance: “neighborhood,” “community,” and “regional.” The neighborhood shopping center type is the focus of this letter. According to the definitions in the Zoning Ordinance, the neighborhood shopping center “[p]rovides for the sale of convenience goods (food, drugs, sundries, etc.) and personal services (laundry and dry cleaning, barbering, shoe repairing, etc.) for day-to-day living needs of the immediate neighborhood.”

Zoning Ordinance Section 25-284 states that the minimum and maximum district sizes for a neighborhood shopping center are 4 acres and 9 acres, respectively. We request that the maximum district size for the neighborhood shopping center be increased from 9 acres to 12 acres. The most immediate impact of this change would be to allow the Property to be rezoned from its current M-1 and B-3 designation to SC. The Property is located on the southeast corner of the intersection of Lee Highway (Route 11) and Cloverdale Road, less than 500 feet from the



I-81 Exit 150 interchange. Rezoning the Property to SC would allow the development of vibrant commercial and neighborhood-serving uses consistent with the County's interest in creating an aesthetically-pleasing gateway to the Troutville commercial core from Exit 150 off I-81. This location is particularly suitable for commercial uses given that, as the Comprehensive Plan states, "[c]ommercial and office development in the County has historically occurred at Interstate 81 interchanges...." Rezoning the Property, which is currently being used as a towing facility, from the industrial M-1 zone and heavy commercial business B-3 zone to SC would permit a more desirable and economically viable use of the property consistent with the Comprehensive Plan and the County's strategic economic goals for this area.

Moreover, changing the maximum district size of the neighborhood SC district by only 3 acres, from 9 to 12 acres, would preserve the neighborhood SC classification as a shopping center appropriate in size for the neighborhoods it is intended to serve. The maximum district size for the community SC district is 25 acres, while the maximum size for the regional district is 50 acres. Thus, the neighborhood SC district would maintain its character as a significantly smaller shopping center district than the larger classifications permitted under the Zoning Ordinance.

For these reasons, we request that the maximum district size of the SC zoning district for "neighborhood" shopping centers be increased from 9 acres to 12 acres. If you would like further information related to this zoning text amendment request, please do not hesitate to contact me at 703-525-4000 or at [mviani@beankinney.com](mailto:mviani@beankinney.com).

Sincerely,

*Mark M. Viani / by JLB  
w/permission*

Mark M. Viani, Esq.

Nicole Pendleton  
Zoning Administrator  
Botetourt County Development Services  
5 W. Main Street, Suite 100  
Fincastle, VA 24090

Re: Property Owner Consent Letter  
Address: 2780 Lee Highway, Troutville, VA 24175  
Tax Map #: 101-176 (the "Property")  
Application: Zoning Text Amendment

Dear Ms. Pendleton

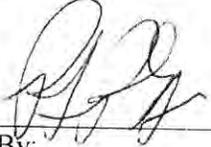
The undersigned owner ("Owner") is the record owner of the above-referenced Property. By this letter, Owner hereby authorizes Mark M. Viani, Zachary G. Williams, and the law firm of Bean, Kinney & Korman, P.C. to file and pursue approval of a zoning text amendment to increase the maximum district size of the Shopping Center District ("SC") in Botetourt County, including filing, signing, and delivering such application and any and all other documents necessary for or related thereto.

The authority granted by this letter may be revoked only by a written statement delivered to Botetourt County.

Please direct all correspondence related to this request to:  
Zachary G. Williams, Esq.  
Bean, Kinney & Korman, P.C.  
2300 Wilson Boulevard, 7th Floor  
Arlington, Virginia 22201

Very truly yours,

RYT, LLC

  
By: _____ (Seal)

Title:

# 7-Eleven Botetourt County, Virginia May 2015



# TRAFFIC IMPACT ANALYSIS

FOR

## 7-ELEVEN

LOCATED  
IN  
BOTETOURT COUNTY, VIRGINIA

Prepared for:  
Vertical Construction Management, LLC  
1211 South White Chapel Boulevard  
Southlake, Texas 76092

Prepared by:  
Ramey Kemp & Associates, Inc.  
4343 Cox Road  
Glen Allen, Virginia 23060

May 2015

RKA Project – 15069



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**TRAFFIC IMPACT ANALYSIS  
7-ELEVEN  
BOTETOURT COUNTY, VIRGINIA**

**1. INTRODUCTION**

This report summarizes the findings of the Traffic Impact Analysis (TIA) that was performed for the proposed 7-Eleven store in Botetourt County, Virginia. The purpose of this study is to evaluate the current traffic conditions at the study intersections, estimate the trip generation potential of the proposed store, and determine what roadway improvements are needed to accommodate the projected traffic volumes.

**1.1. Executive Summary**

The proposed 7-Eleven store will replace the existing towing operation located on the southeast quadrant of the U.S. 220 (Roanoke Road) / U.S. 220A (Cloverdale Road) at U.S. 11 (Lee Highway) intersection in Botetourt County, Virginia. At build-out, the proposed store is expected to consist of a 3,062 square foot (s.f.) convenience market with 8 fueling positions. If approved, the development is expected to be complete in 2016.

The proposed access plan includes using the existing right-in / right-out driveway on Cloverdale Road, and the existing right-in / right-out driveway on Lee Highway furthest from the signal. The existing right-in / right-out driveway on Lee Highway closest to the signal will be closed by the VDOT Exit 150 project.

The weekday AM and PM peak hours were studied for the following intersections:

- U.S. 220 (Roanoke Road) / U.S. 220A (Cloverdale Road) at U.S. 11 (Lee Highway)
- Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway
- Lee Highway at Right-in / Right-out Driveway
- Cloverdale Road at Right-in / Right-out Driveway

Based on our TIA scoping conference call with the Virginia Department of Transportation (VDOT) on March 11, the following scenarios were analyzed:

- Existing 2015 traffic conditions
- No-build 2016 traffic conditions
- Build 2016 traffic conditions

As part of the Exit 150 Improvement project, VDOT is planning to make the following roadway improvements to the intersection of Roanoke Road / Cloverdale Road at Lee Highway intersection:

- Reconfigure the southbound right-turn lane on Lee Highway as a free-flow movement
- Restripe the southbound Lee Highway approach to provide one left-turn lane, one through lane, and one shared through / right-turn lane
- Construct a northbound right-turn lane on Lee Highway
- Restripe the northbound Lee Highway approach to provide a two left-turn lanes, one through lane, and one right-turn lane
- Construct a channelized eastbound right-turn lane on Roanoke Road
- Restripe the eastbound Roanoke Road approach to provide one left-turn lane, one through lane, one through / right-turn lane, and one channelized right-turn lane

Based on the traffic capacity analysis, the following roadway improvements are recommended to accommodate the projected 2016 traffic conditions:

Cloverdale Road at Site Right-in / Right-out Driveway:

- Construct an eastbound right-turn taper on Cloverdale Road

## **1.2. Site Location and Study Area**

The proposed 7-Eleven store will replace the existing towing operation located on the southeast quadrant of the U.S. 220 (Roanoke Road) / U.S. 220A (Cloverdale Road) at U.S. 11 (Lee Highway) intersection in Botetourt County, Virginia. Based on our TIA scoping conference call with VDOT on March 11, the study area consists of the following intersections:

- U.S. 220 (Roanoke Road) / U.S. 220A (Cloverdale Road) at U.S. 11 (Lee Highway)
- Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway
- Lee Highway at Right-in / Right-out Driveway
- Cloverdale Road at Right-in / Right-out Driveway

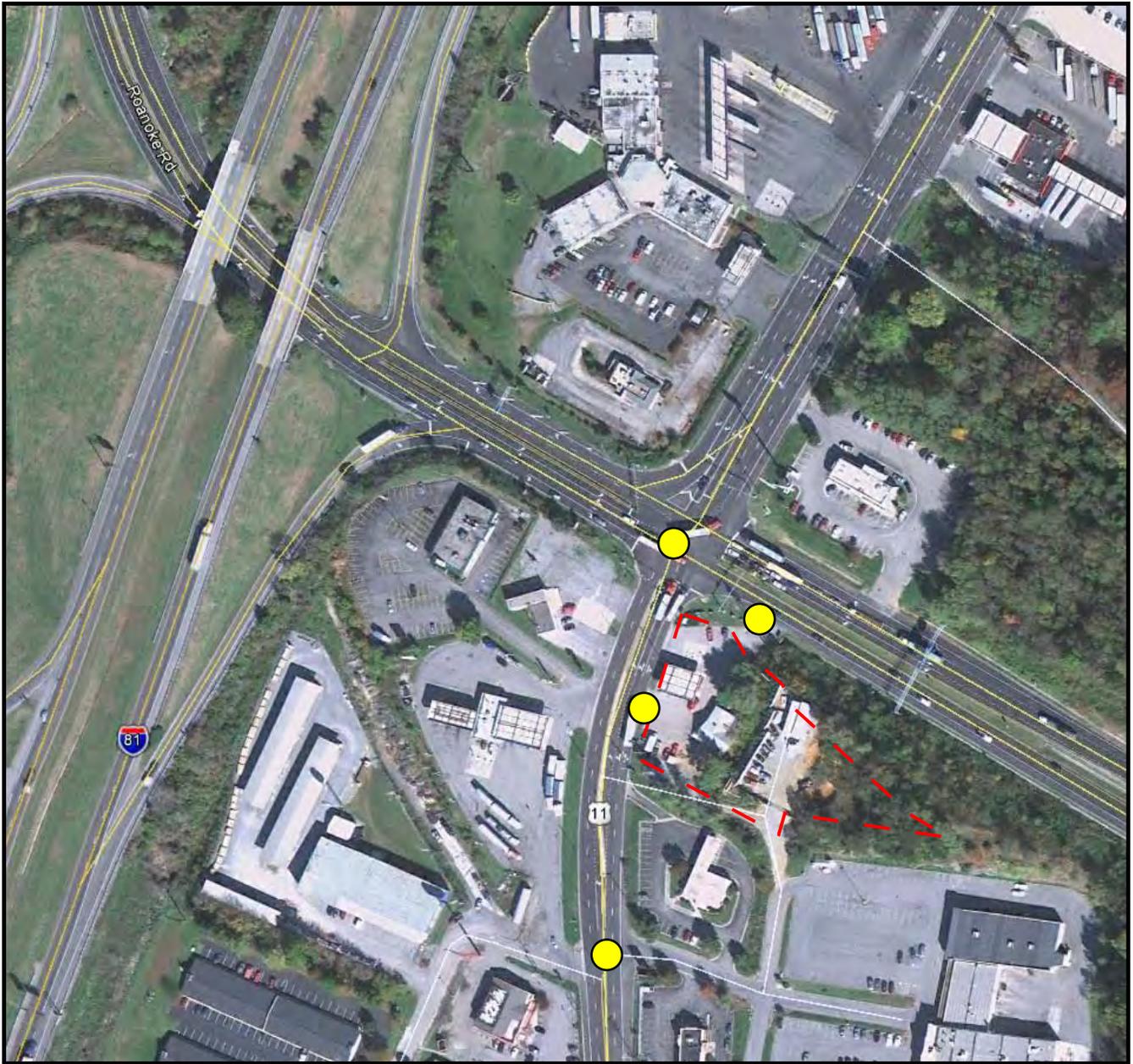
Figure 1 illustrates the site location and study intersections.

## **1.3. Existing Land Uses**

The subject property is currently zoned B-3 and contains a towing operation with two right-in / right-out driveways on Lee Highway, and one right-in / right-out driveway on Cloverdale Road. The surrounding area consists of primarily commercial and industrial development to the north and south.

## **1.4. Proposed Land Uses and Access**

The applicant is seeking a rezoning to B-2. At build-out, the proposed store is expected to consist of a 3,062 s.f. convenience market and 8 fueling positions. If approved, the redevelopment is expected to be complete in 2016. The proposed access plan includes retaining the existing right-in / right-out driveway on Cloverdale Road, and the existing right-in / right-out driveway on Lee Highway furthest from the signal. The existing right-in / right-out driveway on Lee Highway closest to the signal will be closed by the VDOT Exit 150 project. Figure 2 shows the preliminary site plan.



**LEGEND**

 Study Intersection

 Site Boundary



7-Eleven  
Botetourt County, Virginia

Site Location and Study  
Intersections

Scale: Not to Scale

Figure 1



### 1.5. Existing Roadway Network

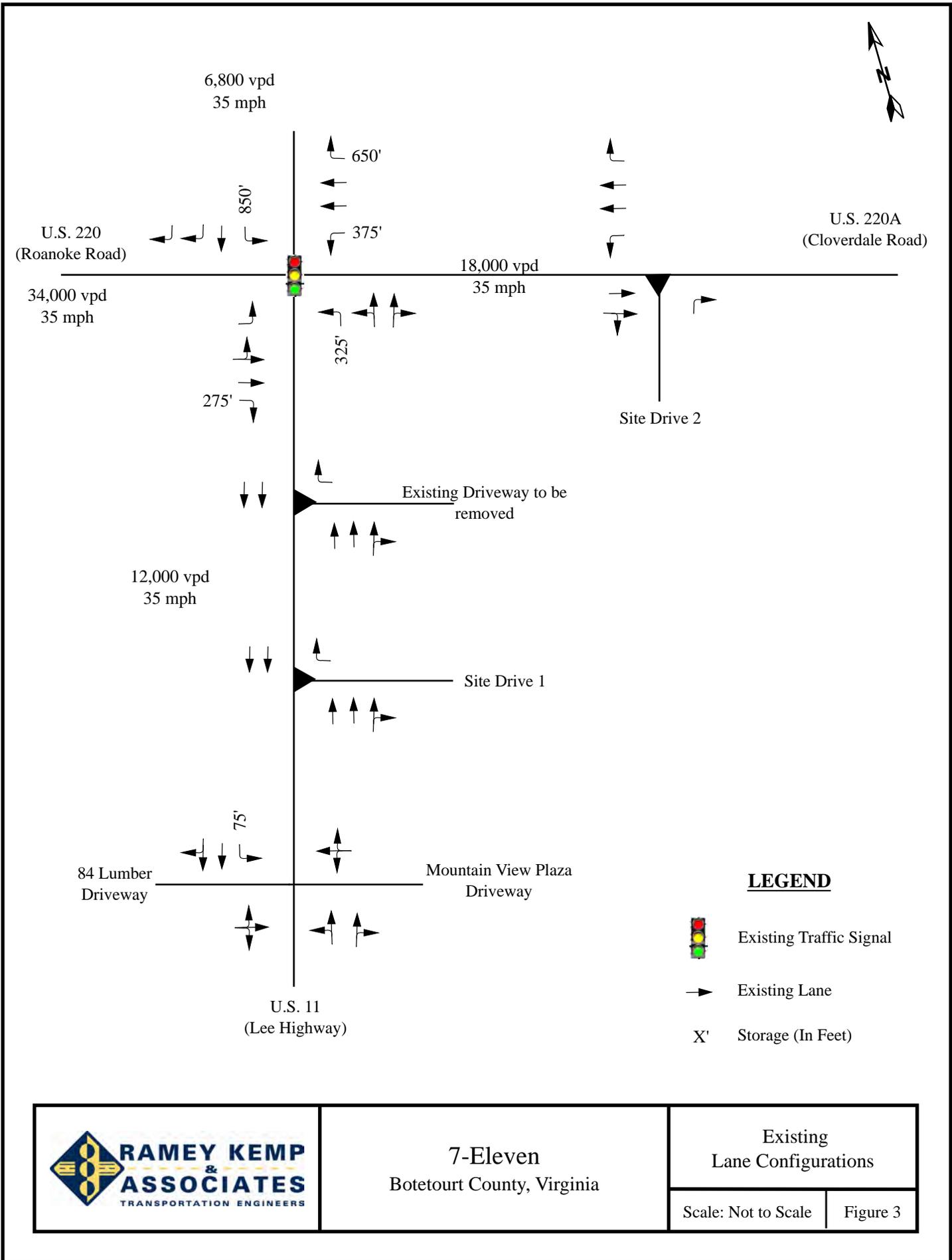
U.S. 220 (Roanoke Road) / U.S. 220A (Cloverdale Road) is a four-lane divided Urban Principal Arterial with a posted speed limit of 35 mph. U.S. 220 / U.S. 220A has an average daily traffic (ADT) volume of approximately 34,000 vehicles per day west of Lee Highway, and approximately 18,000 vehicles per day east of Lee Highway and across the property frontage.



**Looking east along Cloverdale Road  
from Lee Highway**

U.S. 11 (Lee Highway) is a four-lane divided Urban Principal Arterial with a posted speed limit of 35 mph, and an ADT volume of approximately 6,800 vehicles per day north of Cloverdale Road, and approximately 12,000 vehicles per day south of Cloverdale Road and across the property frontage.

Figure 3 shows the existing lane configurations.



**2. TRAFFIC ANALYSIS PROCEDURE**

The traffic capacity analysis was performed with Synchro 9, which is a comprehensive software package that allows the user to determine the level-of-service (LOS) for the study intersections based on the control delay thresholds specified in the 2010 Highway Capacity Manual (HCM). LOS is a qualitative measure of traffic operation that ranges from LOS A, which represents free-flow conditions, to LOS F, which represents congestion and long delays.

For signalized intersections, Synchro calculates the average control delay and queue length for each lane group, and the LOS for the overall intersection. For unsignalized intersections, Synchro calculates the average control delay and queue length for stop-controlled movements, but does not provide an overall LOS for the intersection. Table 1 shows the control delay thresholds for unsignalized and signalized movements.

**Table 1  
Highway Capacity Manual – Levels-of-Service and Delay**

UNSIGNALIZED INTERSECTION		SIGNALIZED INTERSECTION	
LEVEL OF SERVICE	CONTROL DELAY PER VEHICLE (SECONDS)	LEVEL OF SERVICE	CONTROL DELAY PER VEHICLE (SECONDS)
A	0-10	A	0-10
B	10-15	B	10-20
C	15-25	C	20-35
D	25-35	D	35-55
E	35-50	E	55-80
F	>50	F	>80

LOS D is typically an acceptable overall LOS for signalized intersections, and it is common for left-turn and minor street movements to experience LOS E or F at signalized and unsignalized intersections.

The Synchro analysis includes 6.0 seconds of lost time per phase at the signalized intersection, and truck percentages for each turning movement were calculated based on existing truck volumes.

### **3. EXISTING (2015) TRAFFIC CONDITIONS**

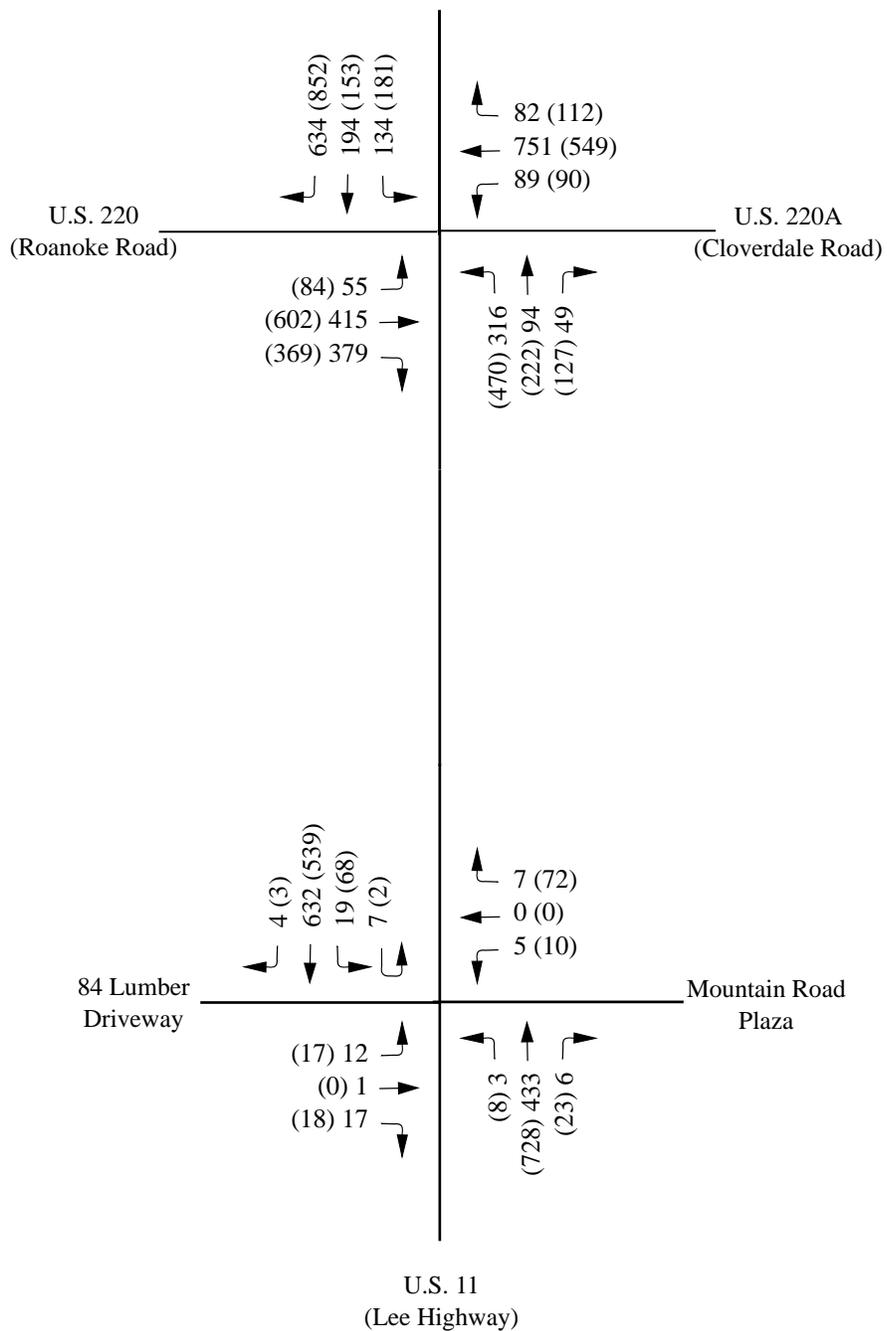
Existing lane configurations and turn lane storage lengths were collected in the field by Ramey Kemp & Associates, Inc. (RKA). Traffic signal timing information was provided by VDOT. The AM peak hour (7:00 to 9:00 AM) and PM peak hour (4:00 to 6:00 PM) turning movement counts were conducted by Quality Counts, LLC at the following intersections during the week of March 9:

- Roanoke Road (U.S. 220) / Cloverdale Road (U.S. 220A) at Lee Highway (U.S. 11)
- U.S. 11 at Mountain Road Plaza Driveway / 84 Lumber Driveway

Figure 4 shows the existing AM and PM peak hour volumes at the study intersections, and the count data are provided in the Appendix. Note that some volumes have been increased to balance between the two study intersections.

#### **3.1. Analysis of Existing (2015) Peak Hour Traffic Conditions**

The existing (2015) weekday AM and PM peak hour traffic volumes at the study intersections were analyzed to determine the current LOS under existing roadway conditions. The results of the analysis are presented in Section 8 of this report.



**LEGEND**

X (Y) AM (PM) Peak Hour Traffic



7-Eleven  
Botetourt County, Virginia

Existing (2015)  
Peak Hour Traffic Volumes

Scale: Not to Scale

Figure 4

#### **4. NO-BUILD TRAFFIC CONDITIONS**

In order to determine the traffic impact of the proposed development, a comparison of the future conditions of the study intersections must be made. This is done by analyzing the future build-out year (2016) with and without the traffic generated by the proposed development. The future year condition without the development is called the no-build condition, and is determined by projecting the existing traffic to the build-out year using an annualized growth rate and adding it to traffic from approved (but not yet built) developments in the study area.

##### **4.1. Background Traffic Growth**

Based on discussion with VDOT, an annual growth rate of 1.75% per year was applied to the existing traffic volumes, which is consistent with VDOT's Exit 150 Interchange Modification Report (IMR).

##### **4.2. Approved Development Traffic**

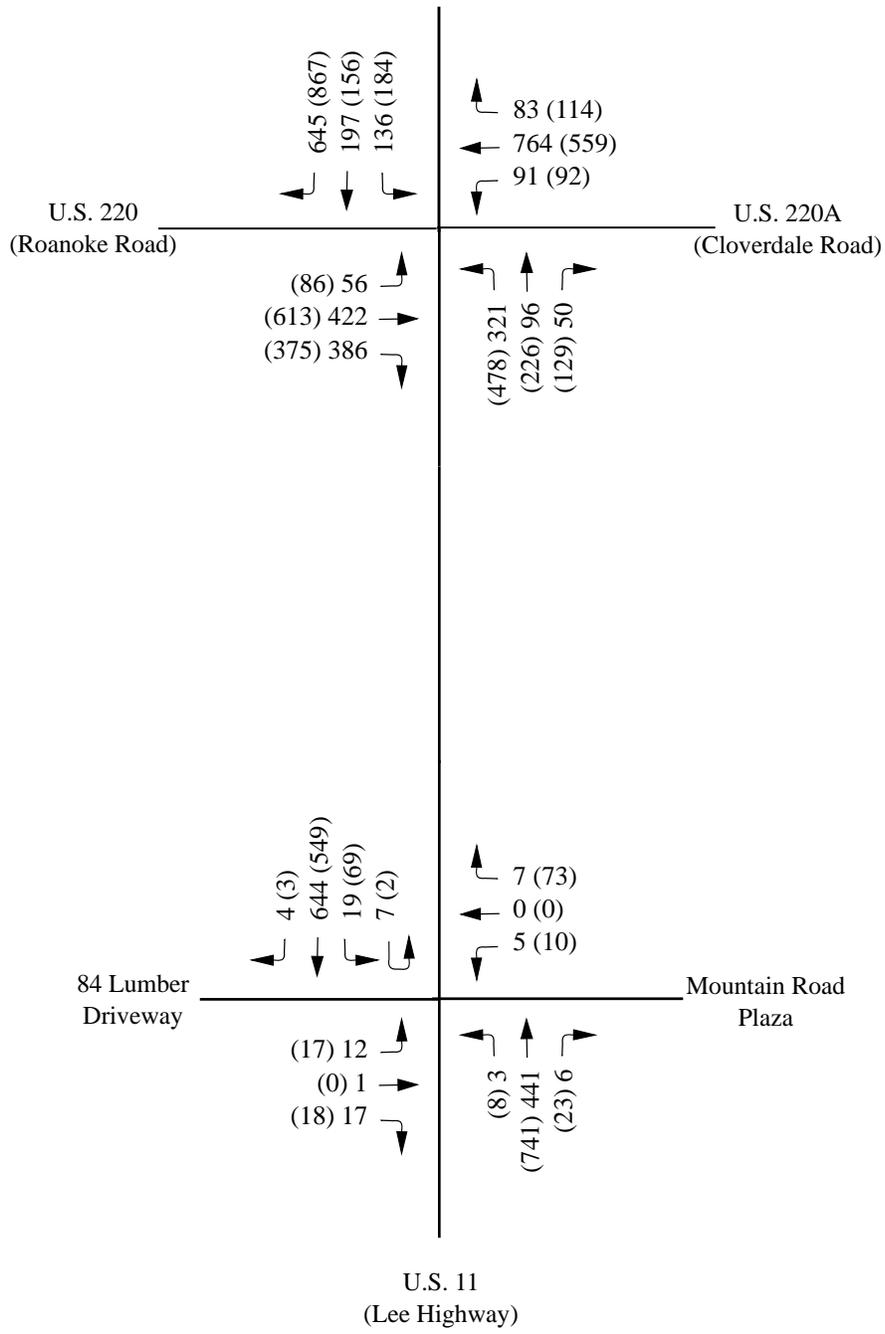
Based on discussion with VDOT, there are no approved developments in the vicinity of the site that will generate a significant amount of traffic.

##### **4.3. No-build (2016) Peak Hour Traffic Conditions**

The no-build (2016) peak hour traffic volumes were determined by growing the existing 2015 traffic volumes for one year, to 2016, using an annual growth rate of 1.75%. Figure 5 shows the projected no-build (2016) peak hour traffic volumes.

##### **4.4. Analysis of No-build Peak Hour Traffic Conditions**

No-build (2016) conditions were analyzed with existing lane configurations and traffic control. As part of VDOT's Exit 150 Improvement project, multiple improvements are planned for the intersection of Roanoke Road / Cloverdale Road at Lee Highway to be complete in 2017. However, based on discussion with VDOT, all planned VDOT improvements have been included in the no-build and build analysis. The results of the no-build (2016) traffic conditions analyses are presented in Section 8 of this report.



**LEGEND**

X (Y) AM (PM) Peak Hour Traffic

	<p>7-Eleven Botetourt County, Virginia</p>	<p>No-Build (2016) Peak Hour Traffic Volumes</p>	
		<p>Scale: Not to Scale</p>	<p>Figure 5</p>

**5. TRIP GENERATION**

At build-out, the proposed store is expected to consist of a 3,062 s.f. convenience market with 8 fueling positions. If approved, the development is expected to be complete in 2016. The average weekday daily and peak hour trips were calculated based on the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9th Edition. Table 2 presents a summary of the trip generation calculations.

**Table 2  
ITE Trip Generation – 9th Edition – Weekday**

Land Use (ITE Land Use Code)	Size	Weekday Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
Convenience Market with Gasoline Pumps (853)	8 f.p.	953*	953*	67	66	77	76
ITE Pass-By Trips: 63% AM / 66% PM		-614	-614	-41	-41	-50	-50
<b>Primary Trips</b>		<b>339</b>	<b>339</b>	<b>26</b>	<b>25</b>	<b>27</b>	<b>26</b>

* ITE publishes a daily trip rate of 542.60 trips per fueling position, which is more than 24 times the PM peak rate of 19.07 trips per fueling position. This is mathematically impossible. Therefore, it is reasonable to assume the AM and PM peak hour combined represent 15% of the daily traffic.

Fueling centers attract pass-by trips, which are made by drivers who are already driving by the site today and will visit the center in the future because it is convenient. Table 2 shows the ITE pass-by trip adjustments that were applied in this TIA. Based on discussion with VDOT, the trip generation potential of the site based on ITE Land Use Code 945 was not used because that results in slightly fewer trips than shown in Table 2.

It would have been reasonable to subtract the existing towing operation trips from the roadway network, and only add the incremental trip increase between the two developments. However, to be conservative, it was assumed that all of the site trips will be new trips.

## 6. SITE TRIP DISTRIBUTION AND ASSIGNMENT

The primary site trip distribution for the proposed store was determined based on a review of existing traffic patterns, surrounding land uses, engineering judgment, and discussion with VDOT:

- 30% to / from the north on I-81
- 30% to / from the south on I-81
- 15% to / from the south on Lee Highway
- 10% to / from the east on Cloverdale Road
- 10% to / from the west on Roanoke Road
- 5% to / from the north on Lee Highway

The pass-by trip distribution is based on existing traffic patterns on U.S. 11 and U.S. 220A. Based on ADT volumes and existing traffic volumes, it was assumed that 60% of the total pass-by trips will originate from Cloverdale Road, and 40% of the total pass-by trips will originate from Lee Highway.

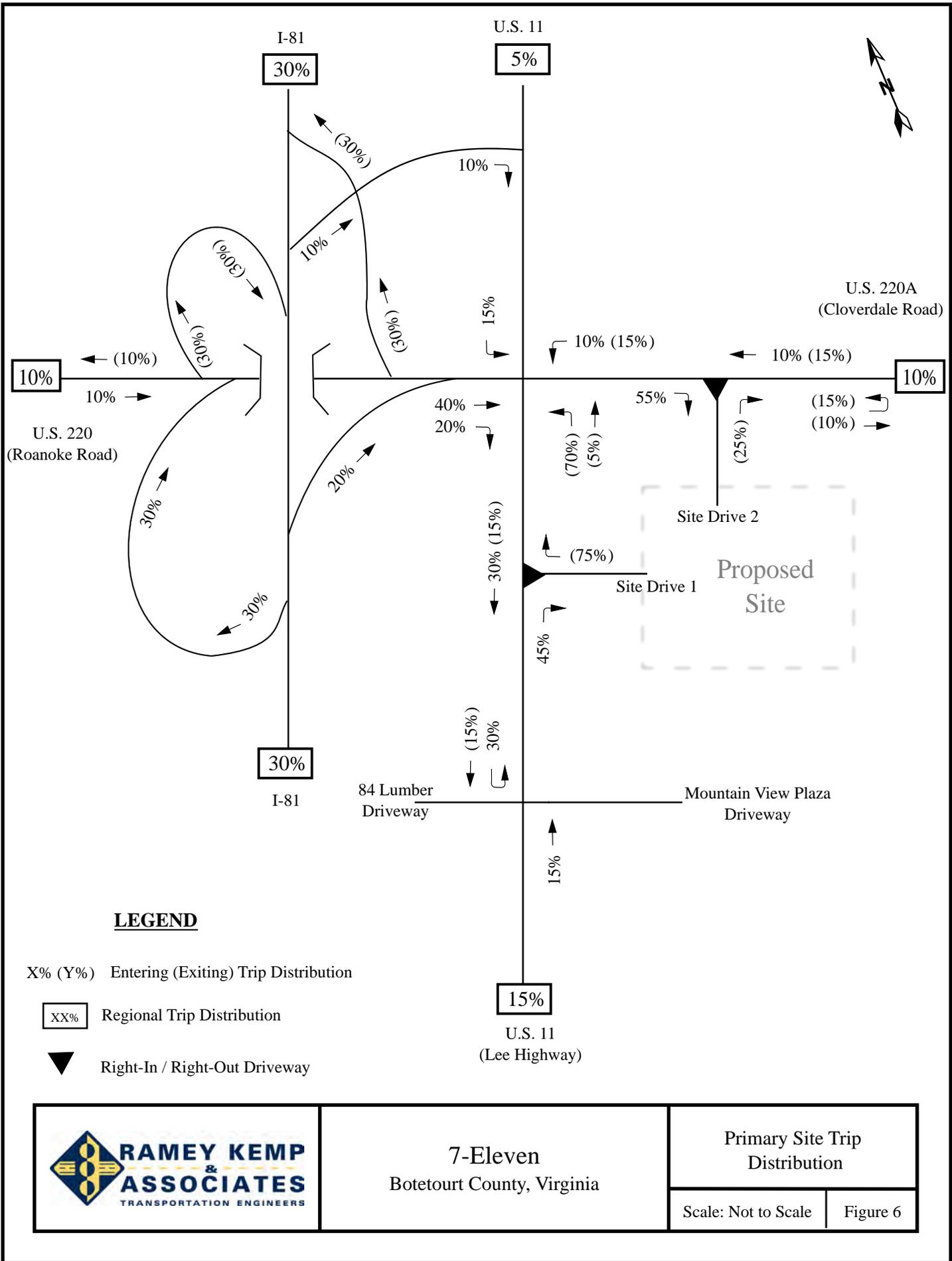
On Roanoke Road / Cloverdale Road, the following directional distributions were applied:

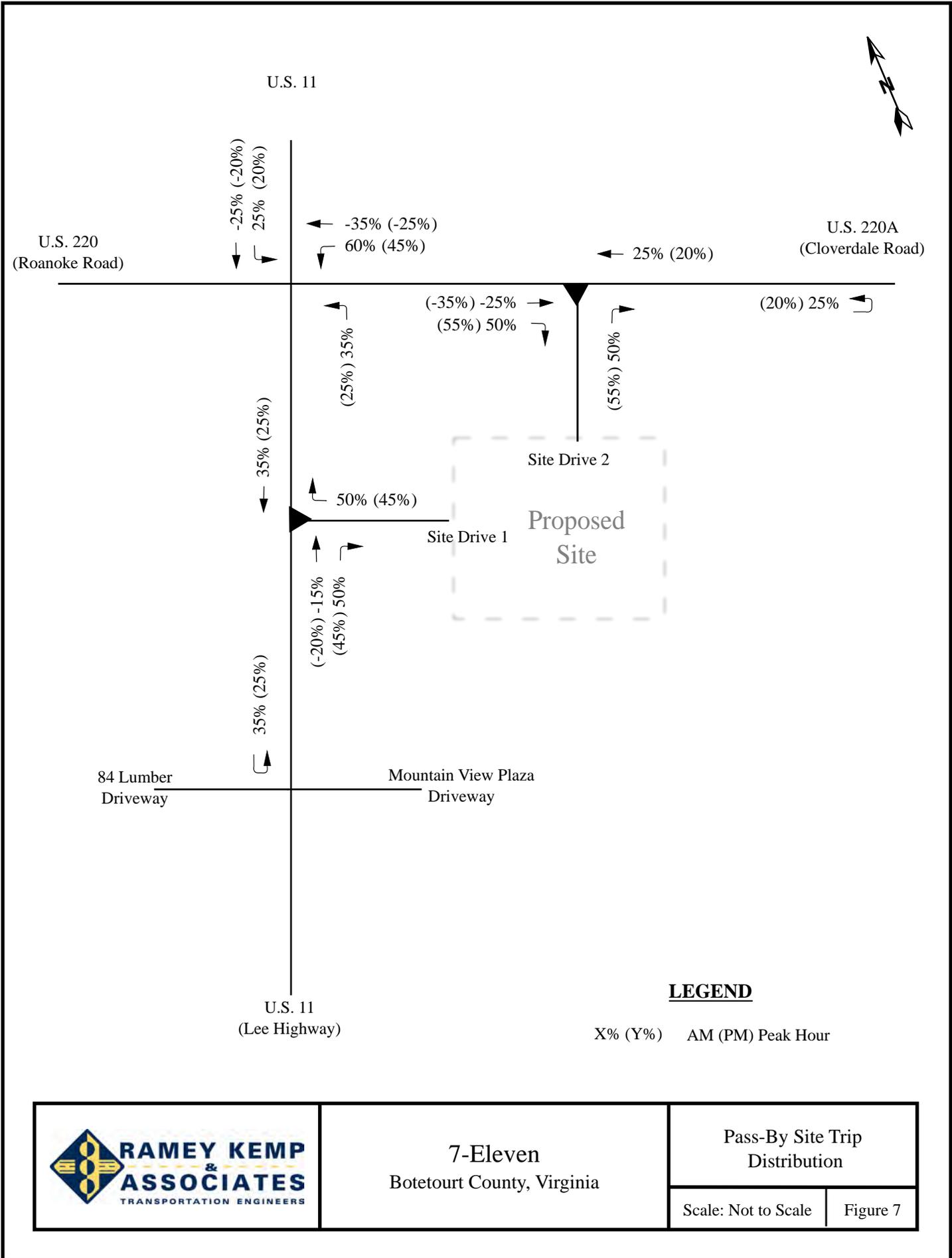
- AM Peak – 60% westbound / 40% eastbound
- PM Peak – 45% westbound / 55% eastbound

On Lee Highway, the following directional distributions were applied:

- AM Peak – 60% southbound / 40% northbound
- PM Peak – 45% southbound / 55% northbound

Primary site trips were assigned to the study intersections based on the primary site trip distribution (Figure 6) and are shown in Figure 8. Pass-by site trips were assigned to the study intersections based on the pass-by trip distribution (Figure 7) and are shown in Figure 9. Primary and pass-by site trips were combined to determine the total site trips, which are shown in Figure 10.



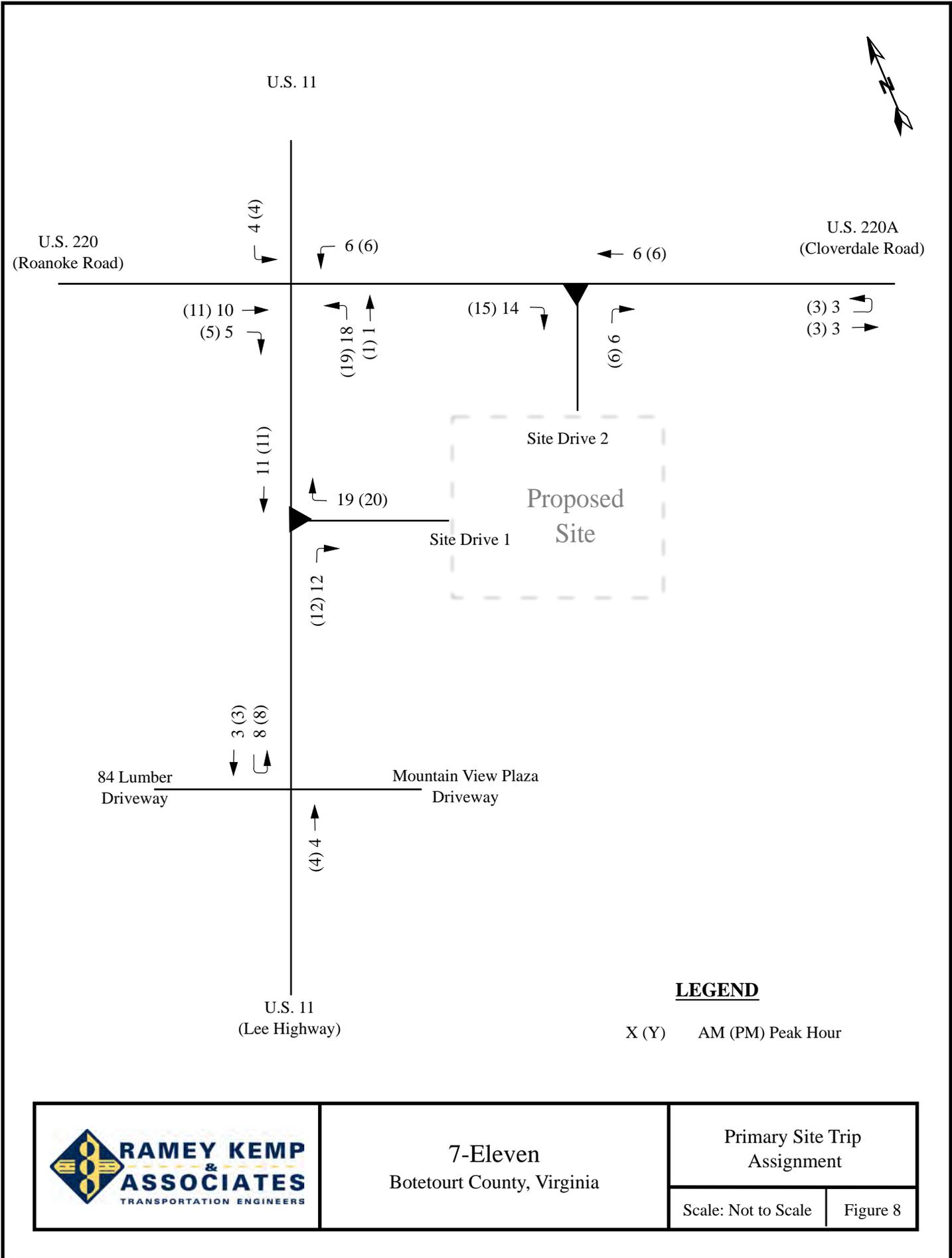


7-Eleven  
Botetourt County, Virginia

Pass-By Site Trip  
Distribution

Scale: Not to Scale

Figure 7

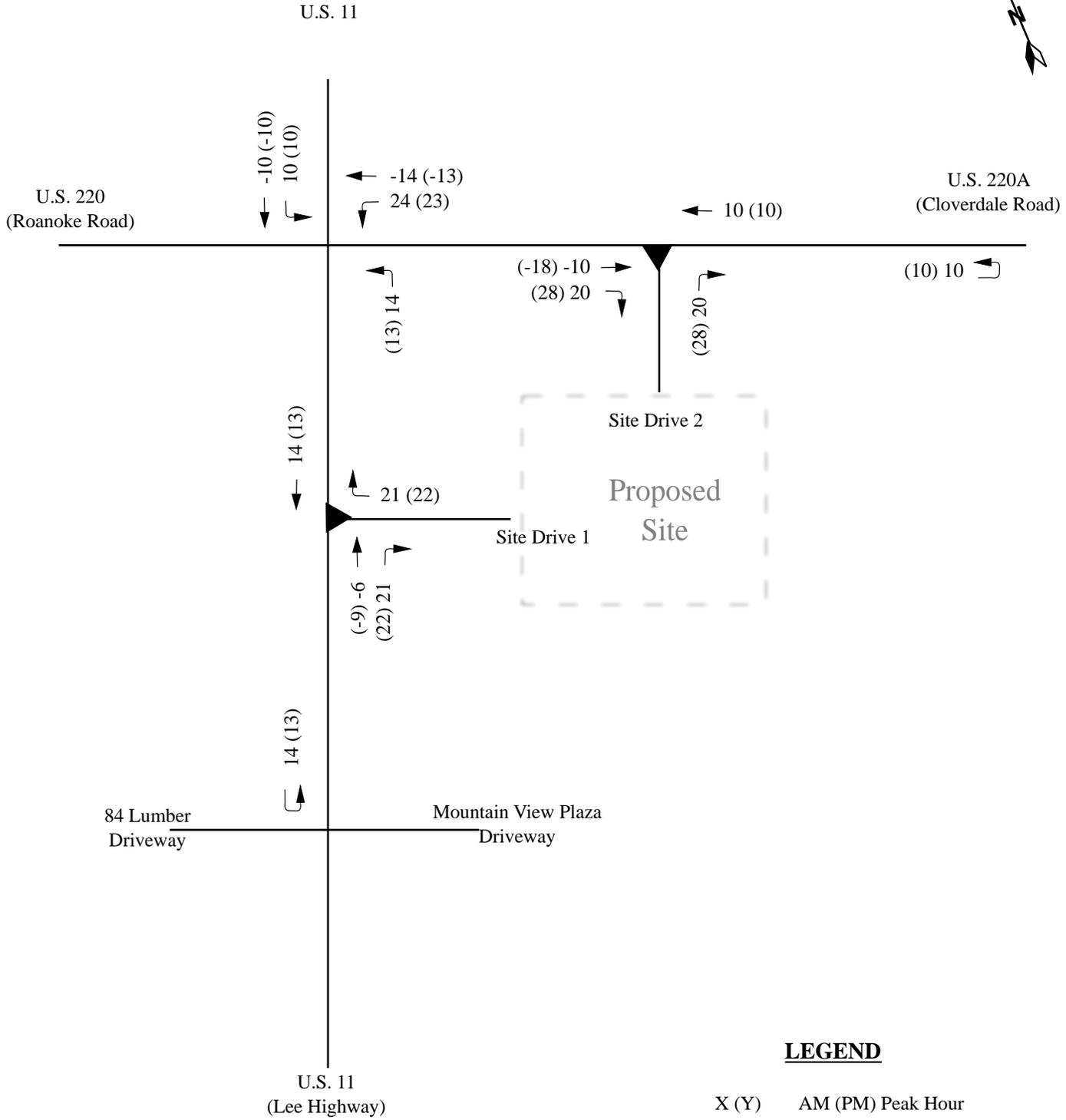


7-Eleven  
Botetourt County, Virginia

Primary Site Trip  
Assignment

Scale: Not to Scale

Figure 8



**LEGEND**

X (Y) AM (PM) Peak Hour

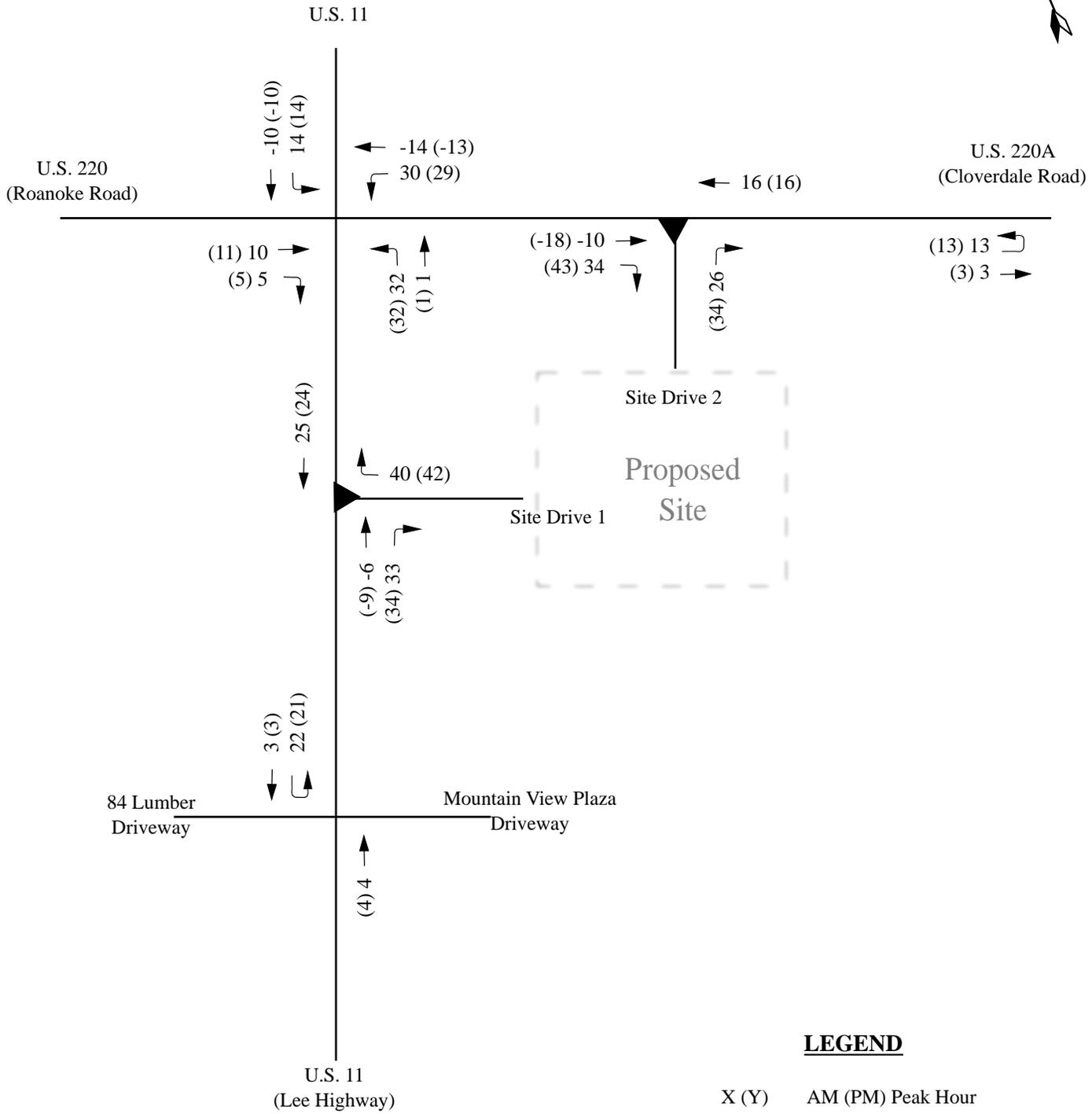


7-Eleven  
Botetourt County, Virginia

Pass-By Site Trip  
Assignment

Scale: Not to Scale

Figure 9



**LEGEND**

X (Y) AM (PM) Peak Hour

	<p>7-Eleven Botetourt County, Virginia</p>	Total Site Trips	
		Scale: Not to Scale	Figure 10

## **7. BUILD TRAFFIC CONDITIONS**

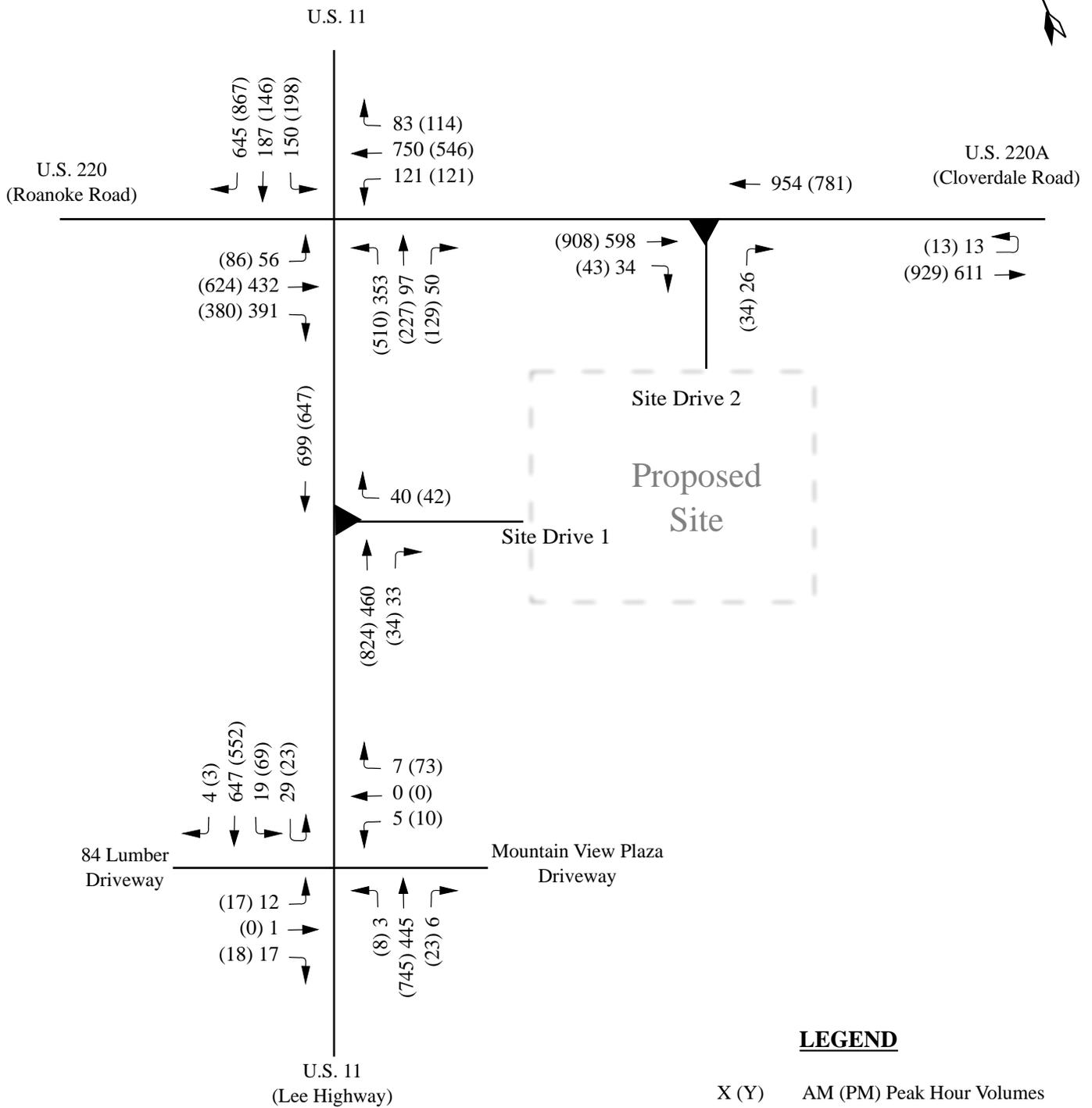
Build traffic represents the future build out year of a development. It is typically determined by adding the no-build traffic condition and the site traffic.

### **7.1. Build (2016) Peak Hour Traffic Conditions**

Build (2016) conditions were determined by adding the no-build (2016) traffic volumes (Figure 5) with the total site trips (Figure 10). Figure 11 shows the projected build (2016) peak hour traffic volumes.

### **7.2. Analysis of Build Peak Hour Traffic Conditions**

Build (2016) traffic volumes were analyzed with the recommended lane configurations and traffic control, and the results are presented in Section 8 of this report. This is the basis for the recommendations in this study. As mentioned previously, all of VDOT’s planned improvements for the Exit 150 project have been included in the analysis.



	<b>7-Eleven</b> Botetourt County, Virginia		Build (2016) Peak Hour Traffic Volumes	
			Scale: Not to Scale	Figure 11

**8. CAPACITY ANALYSIS**

**8.1. Existing (2015) Conditions**

The existing (2015) weekday AM and PM peak hour traffic volumes at the study intersections were analyzed to determine the current LOS under existing roadway conditions. Table 3 presents a summary of the capacity analysis results, and the Synchro output is included in Appendix.

**Table 3  
Analysis Summary of Existing (2015) Conditions**

INTERSECTION	A P P R O A C H	LANE CONFIGURATION	WEEKDAY AM PEAK HOUR				WEEKDAY PM PEAK HOUR			
			Approach		Overall		Approach		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Roanoke Road / Cloverdale Road at Lee Highway (Signalized)	EB	1 LT, 1 LT-TH, 1 TH, 1 RT	34.6	C	59.9	E	57.0	E	60.7	E
	WB	1 LT, 2 TH, 1 RT	99.2	F			63.3	E		
	NB	1 LT, 1 LT-TH, 1 TH-RT	68.8	E			84.4	F		
	SB	1 LT, 1 TH, 2 RT	40.5	D			46.0	D		
Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway (Unsignalized)	EB ²	1 LT-TH-RT	23.2	C	N/A	N/A	35.1	E	N/A	N/A
	WB ²	1 LT-TH-RT	15.5	C			17.7	C		
	NB ¹	1 LT-TH, 1 TH-RT	12.9	B			9.0	A		
	SB ¹	1 LT-UT, 1 TH, 1 TH-RT	8.5	A			10.0	B		

1. Level of Service for major street left turn movement
2. Level of Service for minor street approach

Analysis indicates that the signalized intersection of Roanoke Road / Cloverdale Road at Lee Highway currently operates at an overall LOS E during both peak hours.

Capacity analysis indicates that the eastbound and westbound minor street movements at the unsignalized intersection of Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway currently experience short delays (less than 25 seconds) during the AM peak hour, and moderate delays (25 to 50 seconds) during the PM peak hour. The southbound left-turn movement currently operates with short delays (less than 25 seconds) during both peak hours.

Table 4 shows a queue summary based on a review of the maximum queuing results of ten SimTraffic runs, and the output is included in the appendix.

**Table 4**  
**Analysis Summary of Existing (2015) Maximum Queue Lengths**

INTERSECTION	Existing (2015)			
	Movement	Turn Lane Storage	Weekday AM	Weekday PM
Roanoke Road / Cloverdale Road at Lee Highway (Signalized)	EBL	-	141	207
	EBL/T	-	366	441
	EBT	-	295	407
	EBR	275	155	242
	WBL	375	500	252
	WBT	-	779	399
	WBT	-	751	371
	WBR	650	269	60
	NBL	325	272	351
	NBL/T	-	331	417
	NBT/R	-	265	344
	SBL	850	229	271
	SBT	-	262	211
	SBR	-	325	422
SBR	-	294	385	
Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway (Unsignalized)	EBL/T/R	-	75	89
	WBL/T/R	-	45	70
	NBL/T	-	62	57
	NBT/R	-	22	2
	SBL/U	75	31	60
	SBT/R	-	2	0

Based on the SimTraffic results, all of the existing queue lengths are accommodated in the current storage lengths, except for:

- The queue length in the westbound Cloverdale Road left-turn lane exceeds the available storage by 125 feet during the AM peak hour
- The queue length in the northbound Lee Highway left-turn lane exceeds the available storage by 26 feet during the PM peak hour

**8.2. Future (2016) No-Build Conditions**

The no-build traffic conditions were analyzed with existing lane configurations and traffic control, and VDOT Exit 150 improvements. Table 5 presents a summary of the capacity analysis results, and the Synchro output is included in Appendix.

**Table 5  
Analysis Summary of Future (2016) No-Build Conditions**

INTERSECTION	A P P R O A C H	LANE CONFIGURATION	WEEKDAY AM PEAK HOUR				WEEKDAY PM PEAK HOUR			
			Approach		Overall		Approach		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Roanoke Road / Cloverdale Road at Lee Highway (Signalized)	EB	1 LT, 1 TH, 1 TH-RT, 1 RT	25.0	C			29.8	C		
	WB	1 LT, 2 TH, 1 RT	35.4	D			32.3	C		
	NB	<b>2 LT, 1 TH, 1 RT</b>	42.8	D	35.3	D	42.5	D	36.9	D
	SB	1 LT, 1 TH, 1 TH-RT, 1 <b>RT</b>	44.5	D			54.0	D		
Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway (Unsignalized)	EB ²	1 LT-TH-RT	23.5	C			33.6	D		
	WB ²	1 LT-TH-RT	15.6	C			17.4	C		
	NB ¹	1 LT-TH, 1 TH-RT	13.1	B	N/A	N/A	9.1	A	N/A	N/A
	SB ¹	1 LT, 1 TH, 1 TH-RT	9.1	A			10.3	B		

**Bold type denotes improvement and/or lane reconfiguration.**

1. Level of Service for major street left turn movement
2. Level of Service for minor street approach

As part of the Exit 150 Improvement project, VDOT is planning to make the following roadway improvements to the intersection of Roanoke Road / Cloverdale Road at Lee Highway intersection:

- Reconfigure the southbound right-turn lane on Lee Highway as a free-flow movement
- Restripe the southbound Lee Highway approach to provide one left-turn lane, one through lane, and one shared through / right-turn lane
- Construct a northbound right-turn lane on Lee Highway
- Restripe the northbound Lee Highway approach to provide a two left-turn lanes, one through lane, and one right-turn lane
- Construct a channelized eastbound right-turn lane on Roanoke Road
- Restripe the eastbound Roanoke Road approach to provide one left-turn lane, one through lane, one through / right-turn lane, and one channelized right-turn lane

With the proposed VDOT improvements, capacity analysis indicates that the signalized intersection of Roanoke Road / Cloverdale Road at Lee Highway is expected to operate at an overall LOS D during both peak hours, with all intersection approaches operating at LOS D or better.

Analysis indicates that the minor street approaches of the intersection of Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway are expected to operate with short delays (less than 25 seconds) during the AM peak hour and moderate delays (25 to 50 seconds) during the PM peak hour. The southbound left-turn movement is expected to operate with short delays (less than 25 seconds) during both peak hours.

**8.3. Future (2016) Build Conditions**

The build traffic conditions were analyzed utilizing the same lane configuration and traffic control as those identified under no-build conditions. Table 6 presents a summary of the capacity analysis results, and the Synchro output is included the appendix.

**Table 6  
Analysis Summary of Future (2016) Build Conditions**

INTERSECTION	A P P R O A C H	LANE CONFIGURATION	WEEKDAY AM PEAK HOUR				WEEKDAY PM PEAK HOUR			
			Approach		Overall		Approach		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Roanoke Road / Cloverdale Road at Lee Highway (Signalized)	EB	1 LT, 1 TH, 1 TH-RT, 1 RT	27.3	C	36.7	D	31.9	C	38.9	D
	WB	1 LT, 2 TH, 1 RT	35.2	D			34.3	C		
	NB	<b>2 LT, 1 TH, 1 RT</b>	44.4	D			44.3	D		
	SB	1 LT, 1 TH, 1 TH-RT, 1 RT	47.0	D			55.9	E		
Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway (Unsignalized)	EB ²	1 LT-TH-RT	25.5	D	N/A	N/A	37.2	E	N/A	N/A
	WB ²	1 LT-TH-RT	16.3	C			18.1	C		
	NB ¹	1 LT-TH, 1 TH-RT	13.1	B			9.1	A		
	SB ¹	1 LT-UT, 1 TH, 1 TH-RT	9.9	A			12.6	B		
Lee Highway at Right-in / Right-out Driveway (Unsignalized)	WB ²	1 RT	11.1	B	N/A	N/A	13.5	B	N/A	N/A
	NB	1 TH, 1 TH-RT	0.0	A			0.0	A		
	SB	2 TH	0.0	A			0.0	A		
Cloverdale Road at Right-in / Right-out Driveway (Unsignalized)	EB	1 TH, 1 TH-RT	0.0	A	N/A	N/A	0.0	A	N/A	N/A
	WB	2 TH	0.0	A			0.0	A		
	NB ²	1 RT	9.1	A			9.4	A		

**Bold type denotes improvement and/or lane reconfiguration.**

1 Level of Service for major street left turn movement

2 Level of Service for minor street approach

With the proposed VDOT improvements, capacity analysis indicates that the signalized intersection of Roanoke Road / Cloverdale Road at Lee Highway is expected to continue to operate at an overall LOS D during both peak hours with all intersection approaches operating at LOS E or better.

Analysis indicates that the minor street approaches of the intersection of Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway are expected to continue operate with short delays (less than 25 seconds) during the AM peak hour and moderate delays (25 to 50 seconds) during the PM peak hour. The southbound left-turn movement is expected to operate with short delays (less than 25 seconds) during both peak hours.

Analysis indicates that the unsignalized intersection of Lee Highway at the right-in / right-out driveway is expected to operate with short delays (less than 25 seconds) during both peak hours.

Analysis indicates that the unsignalized intersection of Cloverdale Road at the right-in / right-out driveway is expected to operate with short delays (less than 25 seconds) during both peak hours.

Right-turn lane warrants were evaluated at both site right-in / right-out driveways, and based on *VDOT's Access Management Design Standards for Entrances and Intersections*, the projected 2016 traffic volumes warrant a northbound right-turn taper on Lee Highway, and an eastbound right-turn taper on Cloverdale Road. The VDOT turn lane warrant diagrams are included in the Appendix.

As part of the Exit 150 Improvement project, VDOT is planning to construct a northbound right-turn lane on Lee Highway, which will extend across the property frontage and serve as a right-turn lane in to the proposed 7-Eleven store.

Table 7 shows a queue summary based on a review of the maximum queuing results of ten SimTraffic runs, and the output is included in the appendix.

**Table 7**  
**Analysis Summary of Future (2016) Maximum Queue Lengths**

INTERSECTION	No-Build (2016)				Build (2016)			Difference	
	Movement	Turn Lane Storage	Weekday AM	Weekday PM	Turn Lane Storage	Weekday AM	Weekday PM	Weekday AM	Weekday PM
Roanoke Road / Cloverdale Road at Lee Highway (Signalized)	EBL	-	129	186	-	135	128	6	-58
	EBT	-	234	295	-	238	319	4	24
	EBT/R	-	239	313	-	278	331	39	18
	EBR	275	210	278	275	227	267	17	-11
	WBL	375	148	163	375	174	177	26	14
	WBT	-	252	228	-	173	165	-79	-63
	WBT	-	240	239	-	169	151	-71	-88
	WBR	650	66	67	650	66	58	0	-9
	NBL	325	203	231	325	244	283	41	52
	NBL	-	240	259	-	200	212	-40	-47
	NBT	-	143	228	-	154	245	11	17
	NBR	200	67	91	200	72	123	5	32
	SBL	850	176	216	850	213	219	37	3
	SBT	-	215	150	-	224	128	9	-22
SBT/R	-	287	119	-	340	106	53	-13	
Lee Highway at Mountain Road Plaza Driveway / 84 Lumber Driveway (Unsignalized)	EBL/T/R	-	81	73	-	92	93	11	9
	WBL/T/R	-	50	84	-	53	67	3	-10
	NBL/T	-	30	63	-	35	53	5	-30
	NBT/R	-	0	6	-	0	7	0	1
	SBU/L	75	33	63	75	41	72	8	0
SBT/R	-	2	0	-	6	0	4	7	
Lee Highway at Right-in / Right-out Driveway (Unsignalized)	WBR	-	-	-	-	50	50	-	-
	NBT	-	-	-	-	10	30	-	-
	NBT	-	-	-	-	19	9	-	-
	NBT/R	-	-	-	-	27	27	-	-
Cloverdale Road at Right-in / Right-out Driveway (Unsignalized)	EBT	-	-	-	-	5	5	-	-
	EB Taper	-	-	-	-	6	0	-	-
	NBR	-	-	-	-	43	50	-	-

Based on SimTraffic results, all anticipated queues will be accommodated by the existing storage lengths.

## 9. RECOMMENDATIONS

As part of the Exit 150 Improvement project, VDOT is planning to make the following roadway improvements to the intersection of Roanoke Road / Cloverdale Road at Lee Highway intersection:

- Reconfigure the southbound right-turn lane on Lee Highway as a free-flow movement
- Restripe the southbound Lee Highway approach to provide one left-turn lane, one through lane, and one shared through / right-turn lane
- Construct a northbound right-turn lane on Lee Highway
- Restripe the northbound Lee Highway approach to provide a two left-turn lanes, one through lane, and one right-turn lane
- Construct a channelized eastbound right-turn lane on Roanoke Road
- Restripe the eastbound Roanoke Road approach to provide one left-turn lane, one through lane, one through / right-turn lane, and one channelized right-turn lane

Based on the traffic capacity analysis, the following roadway improvements are recommended to accommodate the projected 2016 traffic conditions:

### Cloverdale Road at Site Right-in / Right-out Driveway:

- Construct an eastbound right-turn taper on Cloverdale Road



# **TECHNICAL APPENDIX**

# **APPENDIX A**

## **VDOT TIA PRE-SCOPE FORM**



# PRE-SCOPE OF WORK MEETING FORM

## Information on the Project Traffic Impact Analysis Base Assumptions

The applicant is responsible for entering the relevant information and submitting the form to VDOT and the locality no less than three (3) business days prior to the meeting. If a form is not received by this deadline, the scope of work meeting may be postponed.

Contact Information			
Consultant Name: Tele: E-mail:	Ramey Kemp & Associates, Inc. - Carl Hultgren, P.E., PTOE (804) 217-8560 chultgren@rameykemp.com		
Developer/Owner Name: Tele: E-mail:	Vertical Construction Management / Mitch Keith (817) 328-0296 mkeith@verticalcm.com		
Project Information			
Project Name:	7-Eleven	Locality/County:	Botetourt County
Project Location: (Attach regional and site specific location map)	Refer to Figure 1		
Submission Type	Comp Plan <input type="checkbox"/>	Rezoning <input checked="" type="checkbox"/>	Site Plan <input type="checkbox"/> Subd Plat <input type="checkbox"/>
Project Description: (Including details on the land use, acreage, phasing, access location, etc. Attach additional sheet if necessary)	The conceptual plan includes a 3,062 s.f. convenience store with up to 8 fueling positions. The proposed access plan is to utilize two of three existing RI / RO driveways. We understand the existing RI / RO driveway on Lee Highway closest to Cloverdale Road will be closed by the Exit 150 project.		
Proposed Use(s): (Check all that apply; attach additional pages as necessary)	Residential <input type="checkbox"/>	Commercial <input checked="" type="checkbox"/>	Mixed Use <input type="checkbox"/> Other <input type="checkbox"/>
	<b>Residential Uses(s)</b> Number of Units: _____ ITE LU Code(s): _____ _____ _____ <b>Commercial Use(s)</b> ITE LU Code(s): 853 - 8 f.p. _____ _____ Square Ft or Other Variable: _____	_____ _____ _____ <b>Other Use(s)</b> ITE LU Code(s): _____ _____ _____ Independent Variable(s): _____ _____ _____	
Total Peak Hour Trip Projection:	Less than 100 <input type="checkbox"/>	100 – 499 <input checked="" type="checkbox"/>	500 – 999 <input type="checkbox"/> 1,000 or more <input type="checkbox"/>

It is important for the applicant to provide sufficient information to county and VDOT staff so that questions regarding geographic scope, alternate methodology, or other issues can be answered at the scoping meeting.

Traffic Impact Analysis Assumptions			
Study Period	Existing Year: 2015	Build-out Year: 2016	Design Year: 2016
Study Area Boundaries (Attach map)	North: Refer to Figure 1	South:	
	East:	West:	
External Factors That Could Affect Project (Planned road improvements, other nearby developments)	VDOT Exit 150 Improvement Project		
Consistency With Comprehensive Plan (Land use, transportation plan)	Proposed rezoning from B-3 to B-2		
Available Traffic Data (Historical, forecasts)	I-81 - 50,000 vpd south of Exit 150 / 38,000 vpd north of Exit 150 Cloverdale Road - 34,000 vpd west of Route 11 / 18,000 vpd east of Route 11 Lee Highway - 12,000 vpd south of Cloverdale / 6,800 vpd north of Cloverdale		
Trip Distribution (Attach sketch)	Road Name: See Figure 2	Road Name:	
	Road Name:	Road Name:	
Annual Vehicle Trip Growth Rate:	1.75%	Peak Period for Study (check all that apply)	<input checked="" type="checkbox"/> AM <input checked="" type="checkbox"/> PM <input type="checkbox"/> SAT
		Peak Hour of the Generator	
Study Intersections and/or Road Segments (Attach additional sheets as necessary)	1. Cloverdale Road at Lee Highway	6.	
	2. Cloverdale Road at Existing RIRO Driveway	7.	
	3. Lee Highway at Existing RIRO Driveway	8.	
	4. Lee Highway at Mountainview Road Plaza / 84 Lumber	9.	
	5.	10.	
Trip Adjustment Factors	Internal allowance: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Reduction: _____% trips	Pass-by allowance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Reduction: 63 / 66% trips	
Software Methodology	<input checked="" type="checkbox"/> Synchro <input type="checkbox"/> HCS (v.2000/+) <input type="checkbox"/> aaSIDRA <input type="checkbox"/> CORSIM <input checked="" type="checkbox"/> Other SimTraffic		
Traffic Signal Proposed or Affected (Analysis software to be used, progression speed, cycle length)	Synchro / SimTraffic 9 will be used to analyze LOS, delay, and queueing at the study intersections.		

It is important for the applicant to provide sufficient information to county and VDOT staff so that questions regarding geographic scope, alternate methodology, or other issues can be answered at the scoping meeting.

Improvement(s) Assumed or to be Considered	The need for right-turn lanes and other off-site improvements will be determined based on the results of the TIA.
Background Traffic Studies Considered	VDOT Exit 150 Improvement Project
Plan Submission	<input type="checkbox"/> Master Development Plan (MDP) <input type="checkbox"/> Generalized Development Plan (GDP) <input type="checkbox"/> Preliminary/Sketch Plan <input checked="" type="checkbox"/> Other Plan type (Final Site, Subd. Plan)
Additional Issues to be Addressed	<input checked="" type="checkbox"/> Queuing analysis <input type="checkbox"/> Actuation/Coordination <input type="checkbox"/> Weaving analysis <input type="checkbox"/> Merge analysis <input type="checkbox"/> Bike/Ped Accommodations <input checked="" type="checkbox"/> Intersection(s) <input type="checkbox"/> TDM Measures <input type="checkbox"/> Other _____

NOTES on ASSUMPTIONS:

The TIA will include three analysis scenarios:

- Existing (2015) Traffic Conditions
- No-Build (2016) Traffic Conditions
- Build (2016) Traffic Conditions

SIGNED: _____ DATE: _____  
Applicant or Consultant

PRINT NAME: _____  
Applicant or Consultant

It is important for the applicant to provide sufficient information to county and VDOT staff so that questions regarding geographic scope, alternate methodology, or other issues can be answered at the scoping meeting.

**7-Eleven  
Botetourt County, VA**

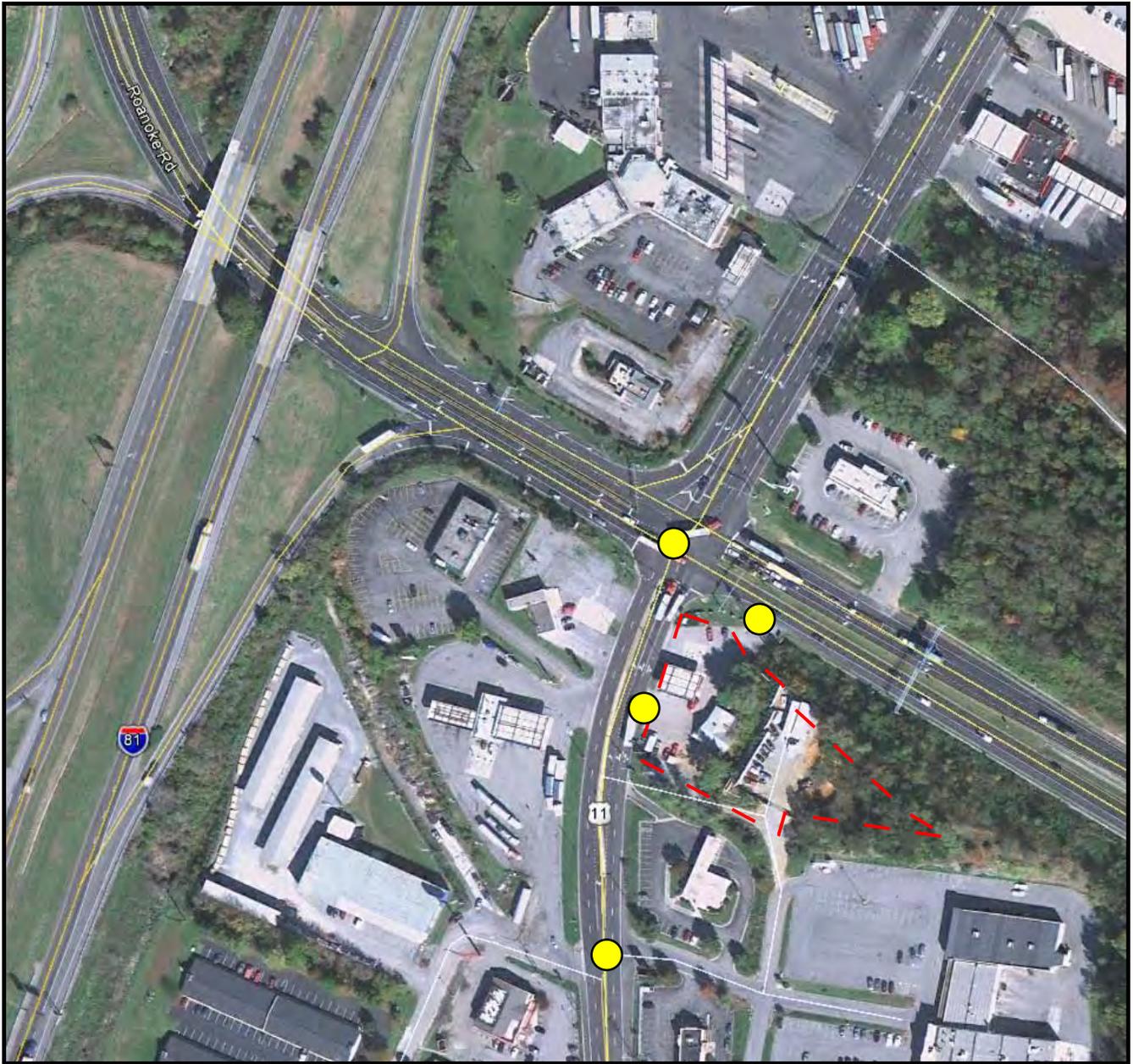
**ITE Trip Generation – 9th Edition – Weekday**

Land Use (ITE Land Use Code)	Size	Weekday Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
Gas Station with Convenience Market (945)	8 f.p.	651	651	41	40	54	54
ITE Pass-By Trips: 62% AM / 56% PM		-384	-384	-25	-25	-30	-30
<b>Primary Trips</b>		<b>267</b>	<b>267</b>	<b>16</b>	<b>15</b>	<b>24</b>	<b>24</b>

Land Use (ITE Land Use Code)	Size	Weekday Daily Traffic (vpd)		AM Peak Hour (vph)		PM Peak Hour (vph)	
		Enter	Exit	Enter	Exit	Enter	Exit
Convenience Market with Gasoline Pumps (853)	8 f.p.	953*	953*	67	66	77	76
ITE Pass-By Trips: 63% AM / 66% PM		-614	-614	-41	-41	-50	-50
<b>Primary Trips</b>		<b>339</b>	<b>339</b>	<b>26</b>	<b>25</b>	<b>27</b>	<b>26</b>

* ITE publishes a daily trip rate of 542.60 trips per fueling position, which is more than 24 times the PM peak rate of 19.07 trips per fueling position. This is mathematically impossible. Therefore, it is reasonable to assume the AM and PM peak hour combined represent 15% of the daily traffic.

May 26, 2015



**LEGEND**



Study Intersection



Site Boundary

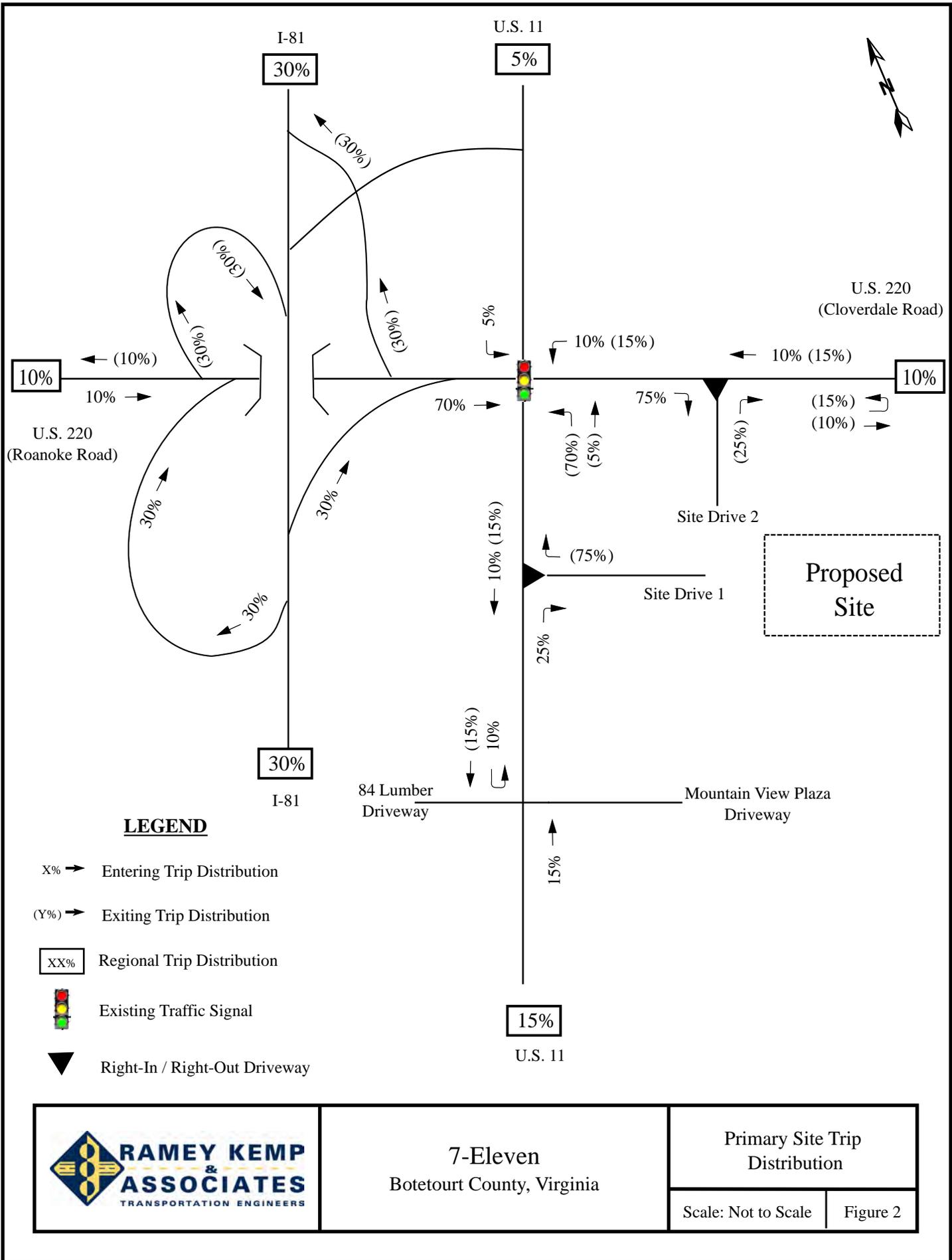


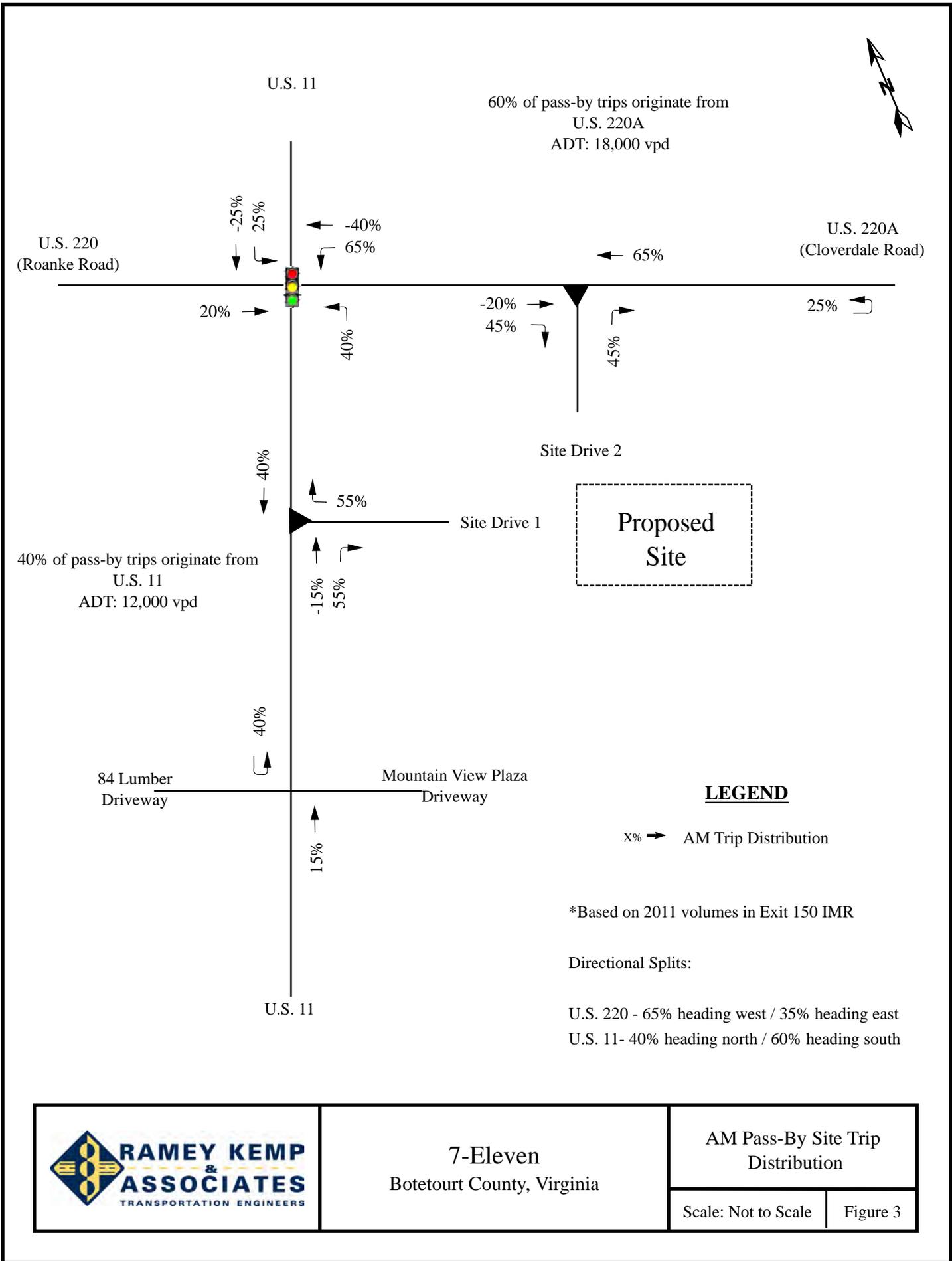
7-Eleven  
Botetourt County, Virginia

Site Location and Study  
Intersections

Scale: Not to Scale

Figure 1





7-Eleven  
Botetourt County, Virginia

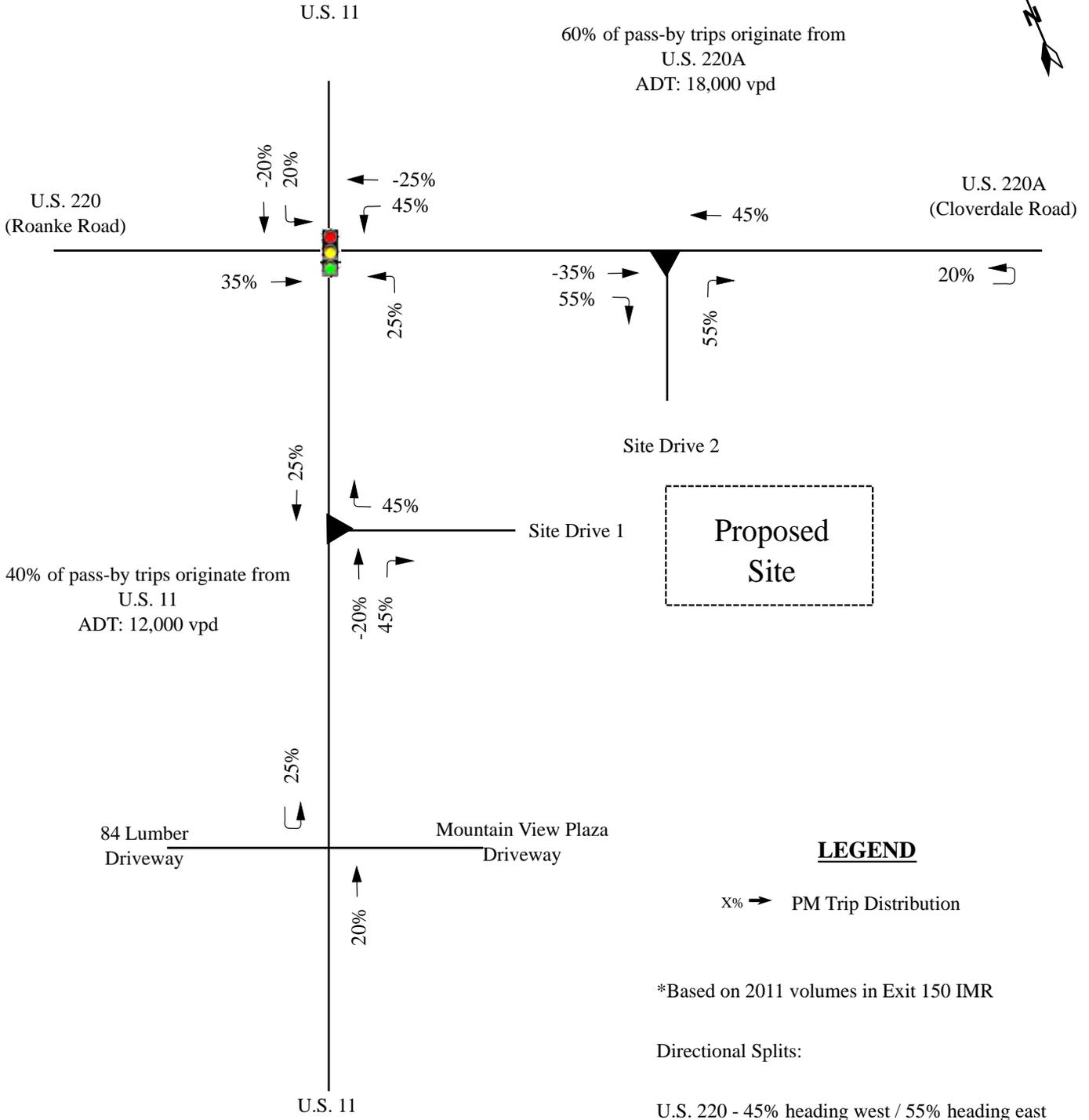
AM Pass-By Site Trip  
Distribution

Scale: Not to Scale

Figure 3



60% of pass-by trips originate from  
U.S. 220A  
ADT: 18,000 vpd



40% of pass-by trips originate from  
U.S. 11  
ADT: 12,000 vpd

**LEGEND**

X% → PM Trip Distribution

*Based on 2011 volumes in Exit 150 IMR

Directional Splits:

U.S. 220 - 45% heading west / 55% heading east

U.S. 11 - 55% heading north / 45% heading south



7-Eleven  
Botetourt County, Virginia

PM Pass-By Site Trip  
Distribution

Scale: Not to Scale

Figure 4

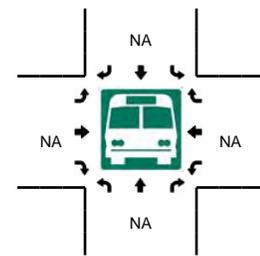
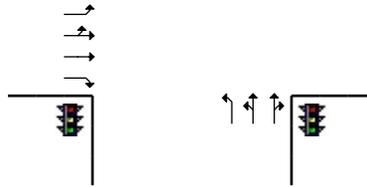
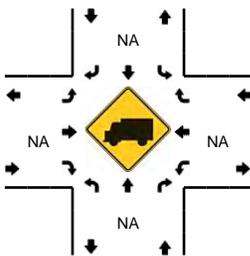
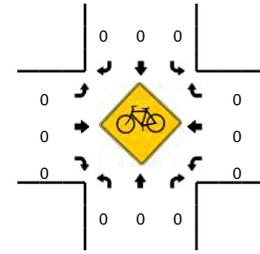
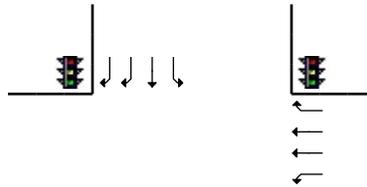
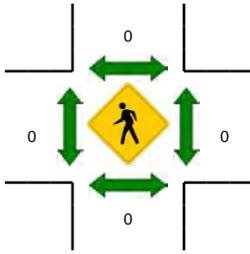
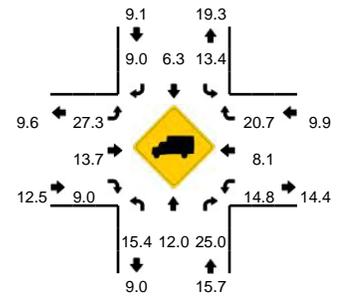
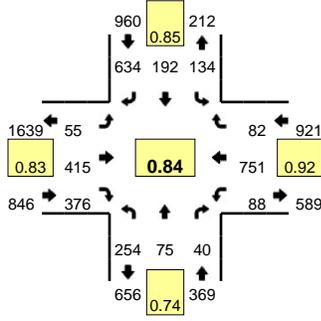
# **APPENDIX B**

## **TRAFFIC COUNT DATA**

**LOCATION:** US 11 -- Cloverdale Rd  
**CITY/STATE:** Troutville, VA

**QC JOB #:** 13322401  
**DATE:** Thu, Mar 12 2015

**Peak-Hour: 7:30 AM -- 8:30 AM**  
**Peak 15-Min: 7:45 AM -- 8:00 AM**



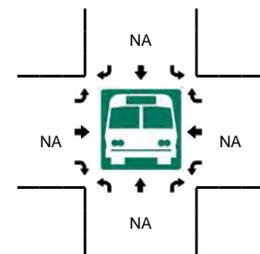
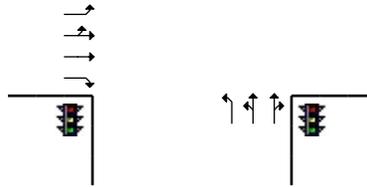
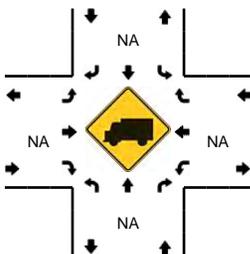
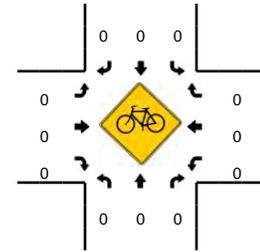
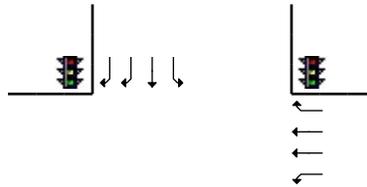
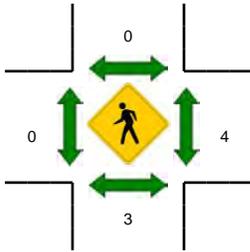
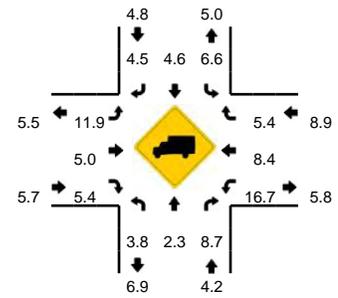
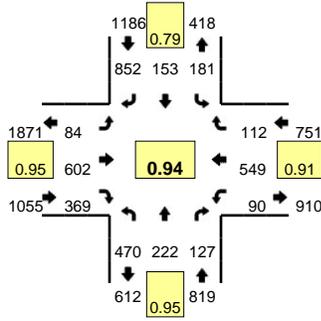
15-Min Count Period Beginning At	US 11 (Northbound)				US 11 (Southbound)				Cloverdale Rd (Eastbound)				Cloverdale Rd (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
7:00 AM	27	27	10	0	13	23	77	0	11	82	54	0	18	133	9	1	485	
7:15 AM	52	17	11	0	29	31	136	0	9	87	62	0	22	181	25	0	662	
7:30 AM	54	18	8	0	28	53	170	0	9	100	75	0	19	208	23	0	765	
7:45 AM	77	30	8	0	43	47	196	0	10	131	119	0	33	197	27	0	918	2830
8:00 AM	66	15	13	0	37	55	144	0	16	72	75	0	17	174	16	0	700	3045
8:15 AM	57	12	11	0	26	37	124	0	20	112	107	0	19	172	16	0	713	3096
8:30 AM	94	42	19	1	20	33	128	0	12	97	89	0	27	182	14	0	758	3089
8:45 AM	96	23	14	0	26	23	136	0	26	123	85	0	23	190	25	0	790	2961
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total	
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
All Vehicles	308	120	32	0	172	188	784	0	40	524	476	0	132	788	108	0	3672	
Heavy Trucks	68	16	0		16	12	44		8	52	52		20	56	24		368	
Pedestrians	0	0	0		0	0	0		0	0	0		0	0	0		0	
Bicycles	0	0	0		0	0	0		0	0	0		0	0	0		0	
Railroad																		
Stopped Buses																		

Comments:

**LOCATION:** US 11 -- Cloverdale Rd  
**CITY/STATE:** Troutville, VA

**QC JOB #:** 13322402  
**DATE:** Wed, Mar 11 2015

**Peak-Hour: 5:00 PM -- 6:00 PM**  
**Peak 15-Min: 5:15 PM -- 5:30 PM**

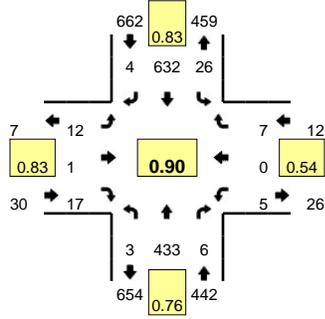


15-Min Count Period Beginning At	US 11 (Northbound)				US 11 (Southbound)				Cloverdale Rd (Eastbound)				Cloverdale Rd (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
4:00 PM	85	45	38	0	30	25	165	0	25	174	82	0	16	102	28	0	815	
4:15 PM	100	48	32	0	36	31	164	0	24	114	85	0	18	124	32	0	808	
4:30 PM	82	43	26	0	43	28	174	0	27	134	63	0	14	78	26	0	738	
4:45 PM	85	49	21	0	35	27	180	0	32	140	77	0	23	150	37	0	856	3217
5:00 PM	112	66	37	0	26	43	195	0	21	121	109	0	19	150	25	0	924	3326
5:15 PM	118	60	34	0	77	59	240	0	12	145	96	0	17	130	25	0	1013	3531
5:30 PM	125	57	28	0	39	25	229	0	24	162	86	0	25	133	31	0	964	3757
5:45 PM	115	39	28	0	39	26	188	0	27	174	78	0	29	136	31	0	910	3811
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total	
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
All Vehicles	472	240	136	0	308	236	960	0	48	580	384	0	68	520	100	0	4052	
Heavy Trucks	16	8	12		12	4	20		12	40	28		12	48	12		224	
Pedestrians		4				0				0				4			8	
Bicycles	0	0	0		0	0	0		0	0	0		0	0	0		0	
Railroad																		
Stopped Buses																		

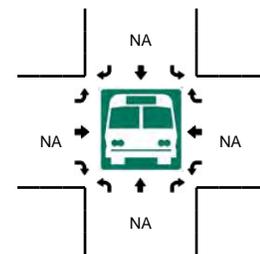
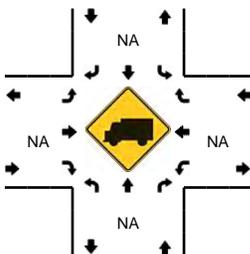
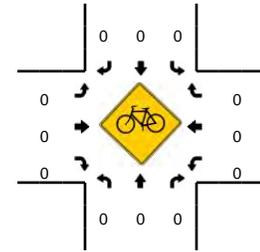
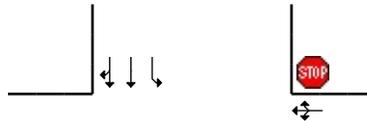
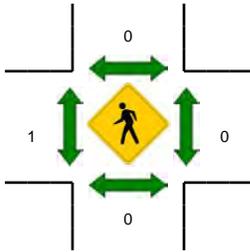
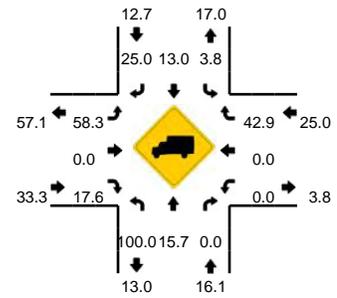
Comments:

**LOCATION:** Rte 11 -- Shopping Mall Ent/Exit  
**CITY/STATE:** Troutville, VA

**QC JOB #:** 13328201  
**DATE:** Thu, Mar 12 2015



**Peak-Hour: 7:45 AM -- 8:45 AM**  
**Peak 15-Min: 8:30 AM -- 8:45 AM**



15-Min Count Period Beginning At	Rte 11 (Northbound)				Rte 11 (Southbound)				Shopping Mall Ent/Exit (Eastbound)				Shopping Mall Ent/Exit (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
7:00 AM	1	57	1	0	1	88	1	0	5	0	5	0	0	0	0	0	159	
7:15 AM	0	87	0	0	0	108	0	1	5	0	5	0	0	0	0	0	206	
7:30 AM	3	81	0	0	5	145	1	1	3	0	1	0	0	0	2	0	242	
7:45 AM	0	102	0	0	2	192	4	2	1	0	8	0	0	0	1	0	312	919
8:00 AM	0	83	2	0	2	148	0	2	4	0	2	0	1	0	3	0	247	1007
8:15 AM	0	97	2	0	9	151	0	2	3	1	2	0	1	0	0	0	268	1069
8:30 AM	3	151	2	0	6	141	0	1	4	0	5	0	3	0	3	0	319	1146
8:45 AM	1	129	5	0	8	134	1	2	5	0	1	0	0	0	2	0	288	1122

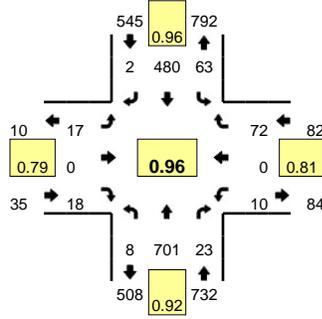
  

Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	
All Vehicles	12	604	8	0	24	564	0	4	16	0	20	0	12	0	12	0	1276
Heavy Trucks	12	76	0		0	108	0		8	0	4		0	0	4		212
Pedestrians		0				0				0				0			0
Bicycles		0				0				0				0			0
Railroad																	0
Stopped Buses																	0

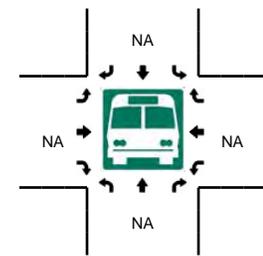
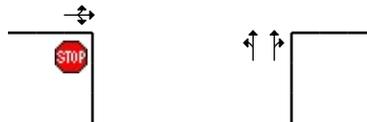
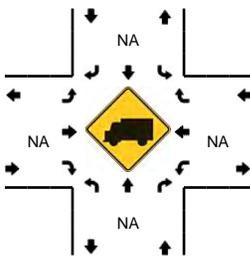
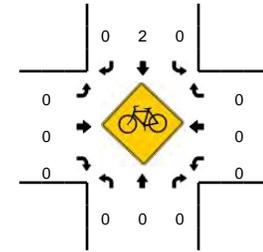
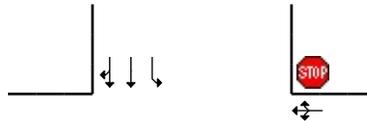
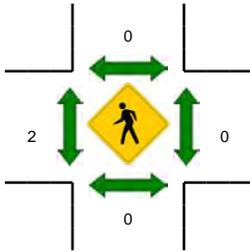
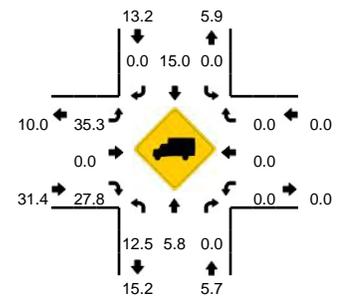
Comments:

**LOCATION:** Rte 11 -- Shopping Mall Ent/Exit  
**CITY/STATE:** Troutville, VA

**QC JOB #:** 13328202  
**DATE:** Thu, Mar 12 2015



**Peak-Hour: 4:30 PM -- 5:30 PM**  
**Peak 15-Min: 5:15 PM -- 5:30 PM**



15-Min Count Period Beginning At	Rte 11 (Northbound)				Rte 11 (Southbound)				Shopping Mall Ent/Exit (Eastbound)				Shopping Mall Ent/Exit (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
4:00 PM	0	127	8	0	15	125	0	3	8	0	5	0	2	0	25	0	318	
4:15 PM	0	145	6	0	17	128	0	4	5	1	3	0	4	0	28	0	341	
4:30 PM	3	165	7	0	14	116	0	1	5	0	6	0	2	0	12	0	331	1338
4:45 PM	2	169	7	0	17	128	2	0	2	0	6	0	4	0	11	0	348	
5:00 PM	1	191	6	0	15	103	0	0	4	0	2	0	2	0	27	0	351	1371
5:15 PM	2	176	3	0	15	133	0	1	6	0	4	0	2	0	22	0	364	1394
5:30 PM	1	165	7	0	18	100	0	5	9	0	2	0	2	0	16	0	325	1388
5:45 PM	5	152	11	0	17	90	0	1	7	0	2	0	3	0	20	0	308	1348
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total	
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
All Vehicles	8	704	12	0	60	532	0	4	24	0	16	0	8	0	88	0	1456	
Heavy Trucks	0	28	0		0	44	0		16	0	8		0	0	0		96	
Pedestrians		0				0				4				0			4	
Bicycles	0	0	0		0	1	0		0	0	0		0	0	0		1	
Railroad																		
Stopped Buses																		

Comments:

# **APPENDIX C**

**SYNCHRO OUTPUT  
EXISTING 2015 CONDITIONS**

7-Eleven - Botetourt County, VA  
1: U.S. 11 & U.S. 220 /U.S. 220A

Existing (2015) Conditions  
Timing Plan: AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	55	415	379	89	751	82	312	92	48	134	194	634
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		275	400		650	325		0	0		0
Storage Lanes	1		1	1		1	1		0	1		2
Taper Length (ft)	100			100			100			100		
Satd. Flow (prot)	1293	3026	1482	1570	3343	1335	1428	2842	0	1597	1792	2608
Flt Permitted	0.950	0.999		0.950			0.950	0.974		0.950		
Satd. Flow (perm)	1293	3026	1482	1570	3343	1335	1428	2842	0	1597	1792	2608
Right Turn on Red			Yes			Yes			Yes			No
Satd. Flow (RTOR)			421			91		12				
Link Speed (mph)		35			35			35				35
Link Distance (ft)		751			961			640				887
Travel Time (s)		14.6			18.7			12.5				17.3
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Heavy Vehicles (%)	27%	14%	9%	15%	8%	21%	15%	12%	25%	13%	6%	9%
Shared Lane Traffic (%)	10%						50%					
Lane Group Flow (vph)	55	467	421	99	834	91	173	329	0	149	216	704
Turn Type	Split	NA	pm+ov	Split	NA	pm+ov	Split	NA		Split	NA	pt+ov
Protected Phases	2	2	4	6	6	8	4	4		8	8	8 2
Permitted Phases			2			6						
Detector Phase	2	2	4	6	6	8	4	4		8	8	8 2
Switch Phase												
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0		4.0	4.0	
Minimum Split (s)	17.0	17.0	17.0	17.0	17.0	17.0	17.0	17.0		17.0	17.0	
Total Split (s)	40.0	40.0	40.0	40.0	40.0	40.0	40.0	40.0		40.0	40.0	
Total Split (%)	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%		25.0%	25.0%	
Yellow Time (s)	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5	
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	6.5	6.5	6.5	6.5	6.5	6.5	6.5	6.5		6.5	6.5	
Lead/Lag												
Lead-Lag Optimize?												
Recall Mode	Min	Min	None	Min	Min	None	None	None		None	None	
Act Effect Green (s)	32.9	32.9	57.4	33.7	33.7	64.8	24.4	24.4		31.1	31.1	70.6
Actuated g/C Ratio	0.22	0.22	0.39	0.23	0.23	0.44	0.16	0.16		0.21	0.21	0.48
v/c Ratio	0.19	0.70	0.51	0.28	1.10	0.14	0.74	0.69		0.44	0.58	0.57
Control Delay	52.0	60.6	3.5	52.6	115.2	3.0	77.9	64.1		57.1	60.6	30.8
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0
Total Delay	52.0	60.6	3.5	52.6	115.2	3.0	77.9	64.1		57.1	60.6	30.8
LOS	D	E	A	D	F	A	E	E		E	E	C
Approach Delay		34.6			99.2			68.8				40.5
Approach LOS		C			F			E				D
Queue Length 50th (ft)	49	236	0	82	-502	0	181	164		128	191	275
Queue Length 95th (ft)	102	324	31	148	#687	17	275	222		214	299	380
Internal Link Dist (ft)		671			881			560				807
Turn Bay Length (ft)			275	400		650	325					
Base Capacity (vph)	293	687	897	356	759	656	324	654		362	407	1239
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	0

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	0
Reduced v/c Ratio	0.19	0.68	0.47	0.28	1.10	0.14	0.53	0.50		0.41	0.53	0.57

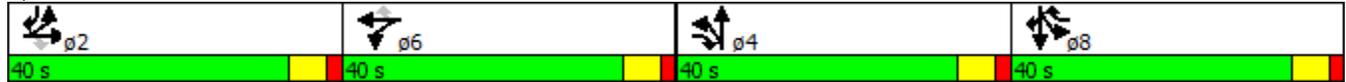
Intersection Summary

Area Type: Other  
 Cycle Length: 160  
 Actuated Cycle Length: 148.3  
 Natural Cycle: 90  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 1.10  
 Intersection Signal Delay: 59.9  
 Intersection Capacity Utilization 72.9%  
 Analysis Period (min) 15

Intersection LOS: E  
 ICU Level of Service C

- ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.
- # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: U.S. 11 & U.S. 220 /U.S. 220A



Intersection

Int Delay, s/veh 1

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	12	1	17	5	0	7	3	433	6	26	632	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	90	90	90	90	90	90	90	90	90	90	90	90
Heavy Vehicles, %	58	2	18	2	2	43	100	16	2	4	13	25
Mvmt Flow	13	1	19	6	0	8	3	481	7	29	702	4

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	1009	1256	353	900	1255	244	707	0	0	488	0	0
Stage 1	762	762	-	491	491	-	-	-	-	-	-	-
Stage 2	247	494	-	409	764	-	-	-	-	-	-	-
Critical Hdwy	8.66	6.54	7.26	7.54	6.54	7.76	6.1	-	-	4.18	-	-
Critical Hdwy Stg 1	7.66	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	7.66	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	4.08	4.02	3.48	3.52	4.02	3.73	3.2	-	-	2.24	-	-
Pot Cap-1 Maneuver	131	170	599	233	170	646	457	-	-	1057	-	-
Stage 1	260	412	-	528	546	-	-	-	-	-	-	-
Stage 2	598	545	-	590	411	-	-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	126	164	599	218	164	646	457	-	-	1057	-	-
Mov Cap-2 Maneuver	126	164	-	218	164	-	-	-	-	-	-	-
Stage 1	258	401	-	523	541	-	-	-	-	-	-	-
Stage 2	585	540	-	554	400	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	23.2	15.5	0.2	0.3
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	457	-	-	231	355	1057	-	-
HCM Lane V/C Ratio	0.007	-	-	0.144	0.038	0.027	-	-
HCM Control Delay (s)	12.9	0.1	-	23.2	15.5	8.5	-	-
HCM Lane LOS	B	A	-	C	C	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.5	0.1	0.1	-	-

7-Eleven - Botetourt County, VA  
 Queuing and Blocking Report

Existing (2015) Conditions  
 AM Peak Hour

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	SB
Directions Served	L	LT	T	R	L	T	T	R	L	LT	TR	L
Maximum Queue (ft)	141	366	295	155	500	779	751	269	272	331	265	229
Average Queue (ft)	52	237	194	81	162	540	494	53	160	214	128	123
95th Queue (ft)	120	351	291	140	448	866	817	289	258	310	241	225
Link Distance (ft)	712	712	712			905	905			541	541	822
Upstream Blk Time (%)						1	1					
Queuing Penalty (veh)						0	0					
Storage Bay Dist (ft)				275	400			650	325			
Storage Blk Time (%)			0			37	6		0	0		
Queuing Penalty (veh)			1			34	5		0	1		

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	SB	SB	SB
Directions Served	T	R	R
Maximum Queue (ft)	262	325	294
Average Queue (ft)	151	217	169
95th Queue (ft)	247	314	298
Link Distance (ft)	822	822	822
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Movement	EB	WB	NB	NB	SB	SB
Directions Served	LTR	LTR	LT	TR	L	TR
Maximum Queue (ft)	75	45	62	22	31	2
Average Queue (ft)	25	11	6	1	9	0
95th Queue (ft)	67	39	54	22	29	3
Link Distance (ft)	171	197	563	563		541
Upstream Blk Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)					75	
Storage Blk Time (%)					0	
Queuing Penalty (veh)					0	

Network Summary

Network wide Queuing Penalty: 42

7-Eleven - Botetourt County, VA  
 1: U.S. 11 & U.S. 220 /U.S. 220A

Existing (2015) Conditions  
 Timing Plan: PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	84	602	369	90	549	112	470	222	127	181	153	852
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		275	400		650	325		0	0		0
Storage Lanes	1		1	1		1	1		0	1		2
Taper Length (ft)	100			100			100			100		
Satd. Flow (prot)	1467	3287	1538	1543	3343	1538	1579	3140	0	1687	1810	2707
Flt Permitted	0.950	0.999		0.950			0.950	0.982		0.950		
Satd. Flow (perm)	1467	3287	1538	1543	3343	1538	1579	3140	0	1687	1810	2707
Right Turn on Red			Yes			Yes			Yes			No
Satd. Flow (RTOR)			410			124		21				
Link Speed (mph)		35			35			35				35
Link Distance (ft)		751			961			640				887
Travel Time (s)		14.6			18.7			12.5				17.3
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Heavy Vehicles (%)	12%	5%	5%	17%	8%	5%	4%	2%	9%	7%	5%	5%
Shared Lane Traffic (%)	10%						42%					
Lane Group Flow (vph)	84	678	410	100	610	124	303	607	0	201	170	947
Turn Type	Split	NA	pm+ov	Split	NA	pm+ov	Split	NA		Split	NA	pt+ov
Protected Phases	2	2	4	6	6	8	4	4		8	8	8.2
Permitted Phases			2			6						
Detector Phase	2	2	4	6	6	8	4	4		8	8	8.2
Switch Phase												
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0		4.0	4.0	
Minimum Split (s)	10.5	10.5	10.5	10.5	10.5	10.5	10.5	10.5		10.5	10.5	
Total Split (s)	40.0	40.0	40.0	40.0	40.0	40.0	40.0	40.0		40.0	40.0	
Total Split (%)	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%		25.0%	25.0%	
Yellow Time (s)	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5	
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	6.5	6.5	6.5	6.5	6.5	6.5	6.5	6.5		6.5	6.5	
Lead/Lag												
Lead-Lag Optimize?												
Recall Mode	Min	Min	None	Min	Min	None	None	None		None	None	
Act Effect Green (s)	33.5	33.5	66.2	32.6	32.6	66.1	32.7	32.7		33.5	33.5	73.5
Actuated g/C Ratio	0.21	0.21	0.42	0.21	0.21	0.42	0.21	0.21		0.21	0.21	0.46
v/c Ratio	0.27	0.98	0.47	0.31	0.89	0.17	0.93	0.91		0.56	0.45	0.75
Control Delay	55.6	89.9	3.0	56.7	76.7	2.7	96.5	78.4		63.3	59.1	40.0
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	0.0
Total Delay	55.6	89.9	3.0	56.7	76.7	2.7	96.5	78.4		63.3	59.1	40.0
LOS	E	F	A	E	E	A	F	E		E	E	D
Approach Delay		57.0			63.3			84.4			46.0	
Approach LOS		E			E			F			D	
Queue Length 50th (ft)	82	392	0	90	328	0	345	333		191	157	463
Queue Length 95th (ft)	142	#534	30	149	#425	19	#547	#445		282	237	560
Internal Link Dist (ft)		671			881			560			807	
Turn Bay Length (ft)			275	400		650	325					
Base Capacity (vph)	310	695	887	326	707	715	334	681		357	382	1257
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	0

7-Eleven - Botetourt County, VA  
 1: U.S. 11 & U.S. 220 /U.S. 220A

Existing (2015) Conditions  
 Timing Plan: PM Peak Hour

Lane Group												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	0
Reduced v/c Ratio	0.27	0.98	0.46	0.31	0.86	0.17	0.91	0.89		0.56	0.45	0.75

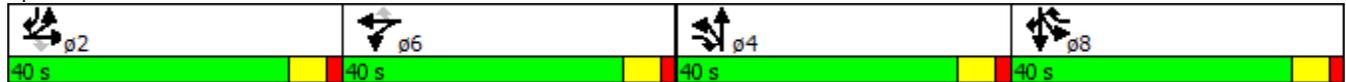
Intersection Summary

Area Type: Other  
 Cycle Length: 160  
 Actuated Cycle Length: 158.3  
 Natural Cycle: 100  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.98  
 Intersection Signal Delay: 60.7  
 Intersection Capacity Utilization 79.4%  
 Analysis Period (min) 15

Intersection LOS: E  
 ICU Level of Service D

# 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: U.S. 11 & U.S. 220 /U.S. 220A



7-Eleven - Botetourt County, VA  
 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Existing (2015) Conditions  
 Timing Plan: PM Peak Hour

Intersection

Int Delay, s/veh 2.4

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Vol, veh/h	17	0	18	10	0	72	8	730	23	70	539	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	90	90	90	90	90	90	90	90	90	90	90	90
Heavy Vehicles, %	35	2	28	2	2	2	13	6	2	2	15	2
Mvmt Flow	19	0	20	11	0	80	9	811	26	78	599	3

Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	1179	1610	301	1297	1600	418	602	0	0	837	0	0
Stage 1	756	756	-	842	842	-	-	-	-	-	-	-
Stage 2	423	854	-	455	758	-	-	-	-	-	-	-
Critical Hdwy	8.2	6.54	7.46	7.54	6.54	6.94	4.36	-	-	4.14	-	-
Critical Hdwy Stg 1	7.2	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Critical Hdwy Stg 2	7.2	5.54	-	6.54	5.54	-	-	-	-	-	-	-
Follow-up Hdwy	3.85	4.02	3.58	3.52	4.02	3.32	2.33	-	-	2.22	-	-
Pot Cap-1 Maneuver	112	104	624	119	105	584	900	-	-	793	-	-
Stage 1	301	414	-	325	378	-	-	-	-	-	-	-
Stage 2	499	373	-	554	413	-	-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	88	92	624	105	93	584	900	-	-	793	-	-
Mov Cap-2 Maneuver	88	92	-	105	93	-	-	-	-	-	-	-
Stage 1	295	373	-	319	371	-	-	-	-	-	-	-
Stage 2	422	366	-	483	372	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	35.1	17.7	0.2	1.1
HCM LOS	E	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	900	-	-	158	375	793	-	-
HCM Lane V/C Ratio	0.01	-	-	0.246	0.243	0.098	-	-
HCM Control Delay (s)	9	0.1	-	35.1	17.7	10	-	-
HCM Lane LOS	A	A	-	E	C	B	-	-
HCM 95th %tile Q(veh)	0	-	-	0.9	0.9	0.3	-	-

7-Eleven - Botetourt County, VA  
 Queuing and Blocking Report

Existing (2015) Conditions  
 PM Peak Hour

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	SB
Directions Served	L	LT	T	R	L	T	T	R	L	LT	TR	L
Maximum Queue (ft)	207	441	407	242	252	399	371	60	351	417	344	271
Average Queue (ft)	77	306	263	85	94	265	233	26	241	295	231	148
95th Queue (ft)	164	419	383	187	200	385	352	53	342	396	338	260
Link Distance (ft)	712	712	712			905	905			541	541	822
Upstream Blk Time (%)										0		
Queuing Penalty (veh)										0		
Storage Bay Dist (ft)				275	400			650	325			
Storage Blk Time (%)			4		0	1			0	4		
Queuing Penalty (veh)			14		0	1			1	11		

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	SB	SB	SB
Directions Served	T	R	R
Maximum Queue (ft)	211	422	385
Average Queue (ft)	109	291	251
95th Queue (ft)	192	409	378
Link Distance (ft)	822	822	822
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Movement	EB	WB	NB	NB	SB
Directions Served	LTR	LTR	LT	TR	L
Maximum Queue (ft)	89	70	57	2	60
Average Queue (ft)	34	31	7	0	23
95th Queue (ft)	79	64	37	3	50
Link Distance (ft)	171	197	563	563	
Upstream Blk Time (%)					
Queuing Penalty (veh)					
Storage Bay Dist (ft)					75
Storage Blk Time (%)					0
Queuing Penalty (veh)					1

Network Summary

Network wide Queuing Penalty: 27

# **APPENDIX D**

**SYNCHRO OUTPUT  
NO-BUILD 2016 CONDITIONS**

7-Eleven - Botetourt County, VA  
 1: U.S. 11 & U.S. 220 /U.S. 220A

No-Build (2016) Conditions  
 Timing Plan: AM Peak Hour

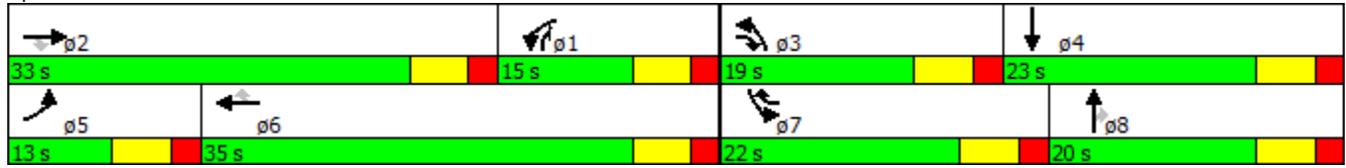
												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	56	422	386	91	764	83	321	96	50	136	197	226
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		275	375		650	325		200	0		0
Storage Lanes	1		1	1		1	1		1	1		0
Taper Length (ft)	100			100			100			100		
Satd. Flow (prot)	1421	2953	1348	1570	3343	1335	3045	1696	1292	1597	3087	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1421	2953	1348	1570	3343	1335	3045	1696	1292	1597	3087	0
Right Turn on Red			Yes			Yes			Yes			No
Satd. Flow (RTOR)		47	261			109			182			
Link Speed (mph)		35			35			35				35
Link Distance (ft)		535			1694			618			887	
Travel Time (s)		10.4			33.0			12.0			17.3	
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Heavy Vehicles (%)	27%	14%	9%	15%	8%	21%	15%	12%	25%	13%	6%	9%
Shared Lane Traffic (%)			36%									
Lane Group Flow (vph)	62	623	275	101	849	92	357	107	56	151	470	0
Turn Type	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	5	2	3	1	6	7	3	8	1	7	4	
Permitted Phases			2			6			8			
Detector Phase	5	2	3	1	6	7	3	8	1	7	4	
Switch Phase												
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0
Total Split (s)	13.0	33.0	19.0	15.0	35.0	22.0	19.0	20.0	15.0	22.0	23.0	
Total Split (%)	14.4%	36.7%	21.1%	16.7%	38.9%	24.4%	21.1%	22.2%	16.7%	24.4%	25.6%	
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lead	Lead	Lead	Lag	Lag	Lead	Lead	Lag	Lag	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes						
Recall Mode	Min	Min	None	Min	Min	Min	None	None	Min	Min	None	
Act Effct Green (s)	6.7	23.8	36.3	8.8	25.8	49.8	12.6	13.6	20.9	17.9	16.0	
Actuated g/C Ratio	0.08	0.28	0.43	0.10	0.30	0.58	0.15	0.16	0.25	0.21	0.19	
v/c Ratio	0.55	0.73	0.38	0.63	0.84	0.11	0.80	0.40	0.12	0.45	0.91dr	
Control Delay	59.6	31.3	2.9	57.0	36.5	1.8	50.9	37.9	0.6	38.5	46.5	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	59.6	31.3	2.9	57.0	36.5	1.8	50.9	37.9	0.6	38.5	46.5	
LOS	E	C	A	E	D	A	D	D	A	D	D	
Approach Delay		25.0			35.4			42.8			44.5	
Approach LOS		C			D			D			D	
Queue Length 50th (ft)	35	157	2	56	228	0	102	53	0	81	134	
Queue Length 95th (ft)	#89	221	27	#127	302	15	#172	107	0	141	#210	
Internal Link Dist (ft)		455			1614			538			807	
Turn Bay Length (ft)			275	375		650	325		200			
Base Capacity (vph)	117	973	731	167	1145	844	467	306	457	361	619	
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.53	0.64	0.38	0.60	0.74	0.11	0.76	0.35	0.12	0.42	0.76	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 85.3  
 Natural Cycle: 70  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.84  
 Intersection Signal Delay: 35.3  
 Intersection Capacity Utilization 66.3%  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 dr Defacto Right Lane. Recode with 1 though lane as a right lane.

Splits and Phases: 1: U.S. 11 & U.S. 220 /U.S. 220A



7-Eleven - Botetourt County, VA  
 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

No-Build (2016) Conditions  
 Timing Plan: AM Peak Hour

Intersection

Int Delay, s/veh 1

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Vol, veh/h	12	1	17	5	0	7	3	441	6	7	19	644	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	-	0	-
Peak Hour Factor	90	90	90	90	90	90	90	90	90	90	90	90	90
Heavy Vehicles, %	58	2	18	2	2	43	100	16	2	1	4	13	25
Mvmt Flow	13	1	19	6	0	8	3	490	7	8	21	716	4

Major/Minor	Minor2			Minor1			Major1			Major2			
Conflicting Flow All	1028	1279	360	916	1278	248	720	0	0	504	497	0	0
Stage 1	776	776	-	500	500	-	-	-	-	-	-	-	-
Stage 2	252	503	-	416	778	-	-	-	-	-	-	-	-
Critical Hdwy	8.66	6.54	7.26	7.54	6.54	7.76	6.1	-	-	6.42	4.18	-	-
Critical Hdwy Stg 1	7.66	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	7.66	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Follow-up Hdwy	4.08	4.02	3.48	3.52	4.02	3.73	3.2	-	-	2.51	2.24	-	-
Pot Cap-1 Maneuver	126	165	593	227	165	641	450	-	-	692	1049	-	-
Stage 1	254	406	-	521	541	-	-	-	-	-	-	-	-
Stage 2	593	540	-	585	405	-	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	124	164	593	217	164	641	450	-	-	917	917	-	-
Mov Cap-2 Maneuver	124	164	-	217	164	-	-	-	-	-	-	-	-
Stage 1	252	406	-	516	536	-	-	-	-	-	-	-	-
Stage 2	581	535	-	565	405	-	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	23.5	15.6	0.2	0.3
HCM LOS	C	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	450	-	-	228	353	917	-	-
HCM Lane V/C Ratio	0.007	-	-	0.146	0.038	0.032	-	-
HCM Control Delay (s)	13.1	0.1	-	23.5	15.6	9.1	-	-
HCM Lane LOS	B	A	-	C	C	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.5	0.1	0.1	-	-

7-Eleven - Botetourt County, VA  
 Queuing and Blocking Report

No-Build (2016) Conditions  
 AM Peak Hour

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	NB
Directions Served	L	T	TR	R	L	T	T	R	L	L	T	R
Maximum Queue (ft)	129	234	239	210	148	252	240	66	203	240	143	67
Average Queue (ft)	57	150	154	61	76	179	171	25	113	145	65	25
95th Queue (ft)	116	223	244	192	143	251	245	58	190	220	129	60
Link Distance (ft)	328	328	328			1642	1642			535	535	
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)				275	375			650	325			200
Storage Blk Time (%)			0	0					0	0		
Queuing Penalty (veh)			0	0					0	0		

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	SB	SB	SB
Directions Served	L	T	TR
Maximum Queue (ft)	176	215	287
Average Queue (ft)	86	102	174
95th Queue (ft)	156	197	296
Link Distance (ft)	823	823	823
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Movement	EB	WB	NB	SB	SB
Directions Served	LTR	LTR	LT	UL	T
Maximum Queue (ft)	81	50	30	33	2
Average Queue (ft)	29	12	3	9	0
95th Queue (ft)	73	41	26	30	3
Link Distance (ft)	175	198	563		535
Upstream Blk Time (%)					
Queuing Penalty (veh)					
Storage Bay Dist (ft)				75	
Storage Blk Time (%)					
Queuing Penalty (veh)					

7-Eleven - Botetourt County, VA  
 1: U.S. 11 & U.S. 220 /U.S. 220A

No-Build (2016) Conditions  
 Timing Plan: PM Peak Hour

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	86	613	375	92	559	114	478	226	129	184	156	44
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		275	375		650	325		200	0		0
Storage Lanes	1		1	1		1	1		1	1		0
Taper Length (ft)	100			100			100			100		
Satd. Flow (prot)	1612	3241	1400	1543	3343	1538	3367	1863	1482	1687	3325	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1612	3241	1400	1543	3343	1538	3367	1863	1482	1687	3325	0
Right Turn on Red			Yes			Yes			Yes			No
Satd. Flow (RTOR)		11	270			127			142			
Link Speed (mph)		35			35			35				35
Link Distance (ft)		535			1694			618			887	
Travel Time (s)		10.4			33.0			12.0			17.3	
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Heavy Vehicles (%)	12%	5%	5%	17%	8%	5%	4%	2%	9%	7%	5%	5%
Shared Lane Traffic (%)			20%									
Lane Group Flow (vph)	96	764	334	102	621	127	531	251	143	204	222	0
Turn Type	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	5	2	3	1	6	7	3	8	1	7	4	
Permitted Phases			2			6			8			
Detector Phase	5	2	3	1	6	7	3	8	1	7	4	
Switch Phase												
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0
Total Split (s)	19.0	42.0	32.0	19.0	42.0	26.0	32.0	28.0	19.0	26.0	22.0	
Total Split (%)	16.5%	36.5%	27.8%	16.5%	36.5%	22.6%	27.8%	24.3%	16.5%	22.6%	19.1%	
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lead	Lead	Lead	Lag	Lag	Lead	Lead	Lag	Lag	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes						
Recall Mode	Min	Min	None	Min	Min	Min	None	None	Min	Min	None	
Act Effct Green (s)	10.7	31.8	53.6	11.0	32.1	55.0	21.7	18.2	29.2	16.7	13.1	
Actuated g/C Ratio	0.10	0.31	0.52	0.11	0.31	0.54	0.21	0.18	0.29	0.16	0.13	
v/c Ratio	0.57	0.75	0.39	0.61	0.59	0.14	0.74	0.76	0.27	0.74	0.52	
Control Delay	61.0	37.6	3.0	63.6	33.3	2.7	45.8	57.3	4.0	60.1	48.3	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	61.0	37.6	3.0	63.6	33.3	2.7	45.8	57.3	4.0	60.1	48.3	
LOS	E	D	A	E	C	A	D	E	A	E	D	
Approach Delay		29.8			32.3			42.5			54.0	
Approach LOS		C			C			D			D	
Queue Length 50th (ft)	67	262	10	71	192	0	184	173	0	140	79	
Queue Length 95th (ft)	124	351	35	#134	264	28	247	#268	27	#240	121	
Internal Link Dist (ft)		455			1614			538			807	
Turn Bay Length (ft)			275	375		650	325		200			
Base Capacity (vph)	210	1178	916	201	1212	938	878	411	555	338	533	
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.46	0.65	0.36	0.51	0.51	0.14	0.60	0.61	0.26	0.60	0.42	

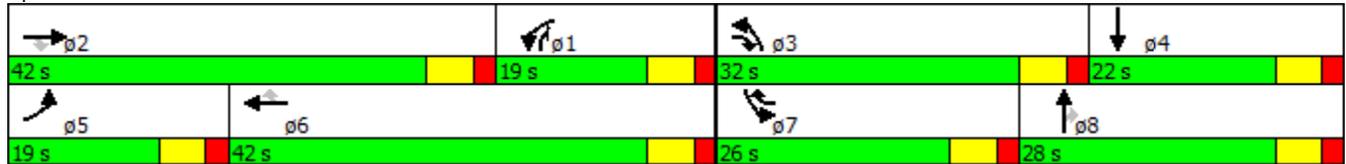
Intersection Summary

Area Type: Other  
 Cycle Length: 115  
 Actuated Cycle Length: 102.4  
 Natural Cycle: 70  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.76  
 Intersection Signal Delay: 36.9  
 Intersection Capacity Utilization 68.1%  
 Analysis Period (min) 15

Intersection LOS: D  
 ICU Level of Service C

# 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: U.S. 11 & U.S. 220 /U.S. 220A



Intersection

Int Delay, s/veh 2.3

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Vol, veh/h	17	0	18	10	0	73	8	741	23	2	69	549	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	-	0	-
Peak Hour Factor	90	90	90	90	90	90	90	90	90	90	90	90	90
Heavy Vehicles, %	35	2	28	2	2	2	13	6	2	1	2	15	2
Mvmt Flow	19	0	20	11	0	81	9	823	26	2	77	610	3

Major/Minor	Minor2			Minor1			Major1			Major2			
Conflicting Flow All	1198	1636	307	1317	1625	424	613	0	0	930	849	0	0
Stage 1	769	769	-	854	854	-	-	-	-	-	-	-	-
Stage 2	429	867	-	463	771	-	-	-	-	-	-	-	-
Critical Hdwy	8.2	6.54	7.46	7.54	6.54	6.94	4.36	-	-	6.42	4.14	-	-
Critical Hdwy Stg 1	7.2	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	7.2	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.85	4.02	3.58	3.52	4.02	3.32	2.33	-	-	2.51	2.22	-	-
Pot Cap-1 Maneuver	108	100	618	115	101	579	891	-	-	371	785	-	-
Stage 1	295	409	-	320	373	-	-	-	-	-	-	-	-
Stage 2	494	368	-	548	408	-	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	92	98	618	110	99	579	891	-	-	755	755	-	-
Mov Cap-2 Maneuver	92	98	-	110	99	-	-	-	-	-	-	-	-
Stage 1	289	409	-	314	366	-	-	-	-	-	-	-	-
Stage 2	417	361	-	530	408	-	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	33.6	17.4	0.2	1.2
HCM LOS	D	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	891	-	-	164	383	755	-	-
HCM Lane V/C Ratio	0.01	-	-	0.237	0.241	0.104	-	-
HCM Control Delay (s)	9.1	0.1	-	33.6	17.4	10.3	-	-
HCM Lane LOS	A	A	-	D	C	B	-	-
HCM 95th %tile Q(veh)	0	-	-	0.9	0.9	0.3	-	-

7-Eleven - Botetourt County, VA  
 Queuing and Blocking Report

No-Build (2016) Conditions  
 PM Peak Hour

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	NB
Directions Served	L	T	TR	R	L	T	T	R	L	L	T	R
Maximum Queue (ft)	186	295	313	278	163	228	239	67	231	259	228	91
Average Queue (ft)	78	207	214	125	83	154	143	29	148	184	141	48
95th Queue (ft)	159	295	307	285	151	228	231	58	227	257	227	87
Link Distance (ft)	328	328	328			1642	1642			535	535	
Upstream Blk Time (%)	0	0	0	0								
Queuing Penalty (veh)	0	1	1	0								
Storage Bay Dist (ft)				275	375			650	325			200
Storage Blk Time (%)			2	0						0	3	
Queuing Penalty (veh)			4	0						0	4	

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	SB	SB	SB
Directions Served	L	T	TR
Maximum Queue (ft)	216	150	119
Average Queue (ft)	129	79	43
95th Queue (ft)	213	140	101
Link Distance (ft)	823	823	823
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Movement	EB	WB	NB	NB	SB
Directions Served	LTR	LTR	LT	TR	UL
Maximum Queue (ft)	73	84	63	6	63
Average Queue (ft)	31	37	7	1	27
95th Queue (ft)	74	75	39	6	56
Link Distance (ft)	175	198	563	563	
Upstream Blk Time (%)					
Queuing Penalty (veh)					
Storage Bay Dist (ft)					75
Storage Blk Time (%)					0
Queuing Penalty (veh)					1

# **APPENDIX E**

**SYNCHRO OUTPUT  
BUILD 2016 CONDITIONS**

7-Eleven - Botetourt County, VA  
 1: U.S. 11 & U.S. 220 /U.S. 220A

Build (2016) Conditions  
 Timing Plan: AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	56	432	391	121	750	83	353	97	50	150	187	226
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		275	0		0	0		0	0		0
Storage Lanes	1		1	1		1	2		1	1		0
Taper Length (ft)	100			100			100			100		
Satd. Flow (prot)	1421	2955	1348	1570	3343	1335	3045	1696	1292	1597	3079	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1421	2955	1348	1570	3343	1335	3045	1696	1292	1597	3079	0
Right Turn on Red			Yes			Yes			Yes			No
Satd. Flow (RTOR)		43	247			109			182			
Link Speed (mph)		35			35			35				35
Link Distance (ft)		535			157			292				887
Travel Time (s)		10.4			3.1			5.7				17.3
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Heavy Vehicles (%)	27%	14%	9%	15%	8%	21%	15%	12%	25%	13%	6%	9%
Shared Lane Traffic (%)			35%									
Lane Group Flow (vph)	62	632	282	134	833	92	392	108	56	167	459	0
Turn Type	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	5	2	3	1	6	7	3	8	1	7	4	
Permitted Phases			2			6			8			
Detector Phase	5	2	3	1	6	7	3	8	1	7	4	
Switch Phase												
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0
Total Split (s)	13.0	31.0	20.0	17.0	35.0	23.0	20.0	19.0	17.0	23.0	22.0	
Total Split (%)	14.4%	34.4%	22.2%	18.9%	38.9%	25.6%	22.2%	21.1%	18.9%	25.6%	24.4%	
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lead	Lead	Lead	Lag	Lag	Lead	Lead	Lag	Lag	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes										
Recall Mode	Min	Min	None	Min	Min	Min	None	None	Min	Min	None	
Act Effct Green (s)	6.7	23.0	36.5	10.3	26.5	51.4	13.5	13.0	21.8	18.8	15.3	
Actuated g/C Ratio	0.08	0.27	0.42	0.12	0.31	0.60	0.16	0.15	0.25	0.22	0.18	
v/c Ratio	0.56	0.77	0.40	0.72	0.81	0.11	0.82	0.42	0.12	0.48	0.95dr	
Control Delay	60.6	34.8	3.4	60.2	34.9	1.7	51.7	40.4	0.5	38.5	50.2	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	60.6	34.8	3.4	60.2	34.9	1.7	51.7	40.4	0.5	38.5	50.2	
LOS	E	C	A	E	C	A	D	D	A	D	D	
Approach Delay		27.3			35.2			44.4			47.0	
Approach LOS		C			D			D			D	
Queue Length 50th (ft)	35	167	6	74	223	0	113	55	0	90	134	
Queue Length 95th (ft)	#89	234	31	#159	295	15	m#185	m107	m0	152	#214	
Internal Link Dist (ft)		455			77			212			807	
Turn Bay Length (ft)			275									
Base Capacity (vph)	116	891	719	201	1131	859	497	285	471	375	574	
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	

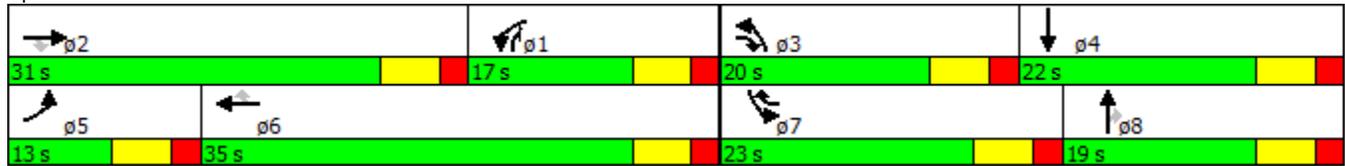
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.53	0.71	0.39	0.67	0.74	0.11	0.79	0.38	0.12	0.45	0.80	

Intersection Summary

Area Type: Other  
 Cycle Length: 90  
 Actuated Cycle Length: 86.3  
 Natural Cycle: 75  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.84  
 Intersection Signal Delay: 36.7  
 Intersection Capacity Utilization 66.6%  
 Analysis Period (min) 15  
 Intersection LOS: D  
 ICU Level of Service C

# 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.  
 m Volume for 95th percentile queue is metered by upstream signal.  
 dr Defacto Right Lane. Recode with 1 though lane as a right lane.

Splits and Phases: 1: U.S. 11 & U.S. 220 /U.S. 220A



7-Eleven - Botetourt County, VA  
 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Build (2016) Conditions  
 Timing Plan: AM Peak Hour

Intersection

Int Delay, s/veh 1.3

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Vol, veh/h	12	1	17	5	0	7	3	445	6	29	19	647	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	-	0	-
Peak Hour Factor	90	90	90	90	90	90	90	90	90	90	90	90	90
Heavy Vehicles, %	58	2	18	2	2	43	100	16	2	2	4	13	25
Mvmt Flow	13	1	19	6	0	8	3	494	7	32	21	719	4

Major/Minor	Minor2			Minor1			Major1			Major2			
Conflicting Flow All	1082	1336	362	971	1334	251	723	0	0	509	501	0	0
Stage 1	828	828	-	504	504	-	-	-	-	-	-	-	-
Stage 2	254	508	-	467	830	-	-	-	-	-	-	-	-
Critical Hdwy	8.66	6.54	7.26	7.54	6.54	7.76	6.1	-	-	6.44	4.18	-	-
Critical Hdwy Stg 1	7.66	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	7.66	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Follow-up Hdwy	4.08	4.02	3.48	3.52	4.02	3.73	3.2	-	-	2.52	2.24	-	-
Pot Cap-1 Maneuver	113	152	591	207	153	638	448	-	-	683	1046	-	-
Stage 1	234	384	-	518	539	-	-	-	-	-	-	-	-
Stage 2	591	537	-	545	383	-	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	111	151	591	198	152	638	448	-	-	786	786	-	-
Mov Cap-2 Maneuver	111	151	-	198	152	-	-	-	-	-	-	-	-
Stage 1	232	384	-	513	534	-	-	-	-	-	-	-	-
Stage 2	579	532	-	526	383	-	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	25.5	16.3	0.2	0.7
HCM LOS	D	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	448	-	-	209	331	786	-	-
HCM Lane V/C Ratio	0.007	-	-	0.159	0.04	0.068	-	-
HCM Control Delay (s)	13.1	0.1	-	25.5	16.3	9.9	-	-
HCM Lane LOS	B	A	-	D	C	A	-	-
HCM 95th %tile Q(veh)	0	-	-	0.6	0.1	0.2	-	-

Intersection

Int Delay, s/veh 0.4

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Vol, veh/h	0	40	460	33	0	699
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	0	-	50	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	90	90	90	90	90	90
Heavy Vehicles, %	2	2	25	2	2	25
Mvmt Flow	0	44	511	37	0	777

Major/Minor	Minor1		Major1		Major2	
Conflicting Flow All	899	256	0	0	511	0
Stage 1	511	-	-	-	-	-
Stage 2	388	-	-	-	-	-
Critical Hdwy	6.29	7.14	-	-	5.34	-
Critical Hdwy Stg 1	6.64	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.67	3.92	-	-	3.12	-
Pot Cap-1 Maneuver	311	633	-	-	669	-
Stage 1	490	-	-	-	-	-
Stage 2	633	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	311	633	-	-	669	-
Mov Cap-2 Maneuver	311	-	-	-	-	-
Stage 1	490	-	-	-	-	-
Stage 2	633	-	-	-	-	-

Approach	WB		NB		SB
HCM Control Delay, s	11.1		0		0
HCM LOS	B				

Minor Lane/Major Mvmt	NBT	NBR	WBLn1	SBL	SBT
Capacity (veh/h)	-	-	633	669	-
HCM Lane V/C Ratio	-	-	0.07	-	-
HCM Control Delay (s)	-	-	11.1	0	-
HCM Lane LOS	-	-	B	A	-
HCM 95th %tile Q(veh)	-	-	0.2	0	-

							
Movement	EBT	EBR	WBL	WBT	NBL	NBR	
Lane Configurations							
Volume (veh/h)	598	34	0	954	0	26	
Sign Control	Free			Free	Stop		
Grade	0%			0%	0%		
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	
Hourly flow rate (vph)	664	38	0	1060	0	29	
Pedestrians							
Lane Width (ft)							
Walking Speed (ft/s)							
Percent Blockage							
Right turn flare (veh)							
Median type	None			None			
Median storage (veh)							
Upstream signal (ft)	157						
pX, platoon unblocked			0.83		0.83	0.83	
vC, conflicting volume			702		948	351	
vC1, stage 1 conf vol							
vC2, stage 2 conf vol							
vCu, unblocked vol			227		524	0	
tC, single (s)			4.1		6.8	6.9	
tC, 2 stage (s)							
tF (s)			2.2		3.5	3.3	
p0 queue free %			100		100	97	
cM capacity (veh/h)			1109		400	899	
Direction, Lane #	EB 1	EB 2	WB 1	WB 2	WB 3	WB 4	NB 1
Volume Total	443	259	265	265	265	265	29
Volume Left	0	0	0	0	0	0	0
Volume Right	0	38	0	0	0	0	29
cSH	1700	1700	1700	1700	1700	1700	899
Volume to Capacity	0.26	0.15	0.16	0.16	0.16	0.16	0.03
Queue Length 95th (ft)	0	0	0	0	0	0	2
Control Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	9.1
Lane LOS							A
Approach Delay (s)	0.0		0.0				9.1
Approach LOS							A
Intersection Summary							
Average Delay			0.1				
Intersection Capacity Utilization			27.6%		ICU Level of Service		A
Analysis Period (min)			15				

7-Eleven - Botetourt County, VA  
 Queuing and Blocking Report

Build (2016) Conditions  
 AM Peak Hour

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	NB
Directions Served	L	T	TR	R	L	T	T	R	L	L	T	R
Maximum Queue (ft)	135	238	278	227	174	173	169	66	244	200	154	72
Average Queue (ft)	63	152	169	77	115	145	129	23	143	116	75	30
95th Queue (ft)	139	228	261	215	201	172	176	57	229	198	141	66
Link Distance (ft)	332	332	332		71	71	71	71	202	202	202	202
Upstream Blk Time (%)	0		0		31	44	34	0	2	0	0	
Queuing Penalty (veh)	1		0		77	110	84	0	3	0	0	
Storage Bay Dist (ft)				275								
Storage Blk Time (%)			0	0								
Queuing Penalty (veh)			1	0								

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	SB	SB	SB
Directions Served	L	T	TR
Maximum Queue (ft)	213	224	340
Average Queue (ft)	96	92	202
95th Queue (ft)	186	191	354
Link Distance (ft)	819	819	819
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Movement	EB	WB	NB	SB	SB	SB
Directions Served	LTR	LTR	LT	UL	T	TR
Maximum Queue (ft)	92	53	35	41	4	6
Average Queue (ft)	29	12	3	15	0	0
95th Queue (ft)	77	41	26	39	4	6
Link Distance (ft)	170	198	563		166	166
Upstream Blk Time (%)	0					
Queuing Penalty (veh)	0					
Storage Bay Dist (ft)				75		
Storage Blk Time (%)				0		
Queuing Penalty (veh)				0		

**Intersection: 3: U.S. 11 & RIRO**

Movement	WB	NB	NB	NB	NB
Directions Served	R	T	T	T	R
Maximum Queue (ft)	50	10	19	8	27
Average Queue (ft)	23	1	1	1	14
95th Queue (ft)	50	11	16	9	33
Link Distance (ft)	170	44	44	44	
Upstream Blk Time (%)		0	0	0	0
Queuing Penalty (veh)		0	0	0	0
Storage Bay Dist (ft)					50
Storage Blk Time (%)				0	0
Queuing Penalty (veh)				0	0

**Intersection: 4: RIRO & U.S. 220A**

Movement	EB	EB	WB	WB	WB	WB	B11	NB
Directions Served	T	TR	T	T	T	T	T	R
Maximum Queue (ft)	5	6	143	137	122	15	2	43
Average Queue (ft)	0	0	34	51	30	1	0	20
95th Queue (ft)	8	9	126	125	102	21	3	48
Link Distance (ft)	71	71	170	170	170	170	175	96
Upstream Blk Time (%)		0	1	0	0			
Queuing Penalty (veh)		0	0	0	0			
Storage Bay Dist (ft)								
Storage Blk Time (%)								
Queuing Penalty (veh)								

**Intersection: 16: U.S. 220**

Movement	EB	EB	WB	SB
Directions Served	T	T	T	R
Maximum Queue (ft)	5	19	16	90
Average Queue (ft)	0	1	2	13
95th Queue (ft)	7	17	18	63
Link Distance (ft)	187	187	332	683
Upstream Blk Time (%)				
Queuing Penalty (veh)				
Storage Bay Dist (ft)				
Storage Blk Time (%)				
Queuing Penalty (veh)				

**Network Summary**

Network wide Queuing Penalty: 276

7-Eleven - Botetourt County, VA  
 1: U.S. 11 & U.S. 220 /U.S. 220A

Build (2016) Conditions  
 Timing Plan: PM Peak Hour

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Volume (vph)	86	624	380	121	546	114	510	227	129	198	146	44
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)	0		275	0		0	0		0	0		0
Storage Lanes	1		1	1		1	2		1	1		0
Taper Length (ft)	100			100			100			100		
Satd. Flow (prot)	1612	3241	1400	1543	3343	1538	3367	1863	1482	1687	3318	0
Flt Permitted	0.950			0.950			0.950			0.950		
Satd. Flow (perm)	1612	3241	1400	1543	3343	1538	3367	1863	1482	1687	3318	0
Right Turn on Red			Yes			Yes			Yes			No
Satd. Flow (RTOR)		11	236			127			142			
Link Speed (mph)		35			35			35				35
Link Distance (ft)		535			157			292				887
Travel Time (s)		10.4			3.1			5.7				17.3
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
Heavy Vehicles (%)	12%	5%	5%	17%	8%	5%	4%	2%	9%	7%	5%	5%
Shared Lane Traffic (%)			20%									
Lane Group Flow (vph)	96	777	338	134	607	127	567	252	143	220	211	0
Turn Type	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	pm+ov	Prot	NA	
Protected Phases	5	2	3	1	6	7	3	8	1	7	4	
Permitted Phases			2			6			8			
Detector Phase	5	2	3	1	6	7	3	8	1	7	4	
Switch Phase												
Minimum Initial (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
Minimum Split (s)	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0	13.0
Total Split (s)	19.0	41.0	33.0	20.0	42.0	27.0	33.0	27.0	20.0	27.0	21.0	
Total Split (%)	16.5%	35.7%	28.7%	17.4%	36.5%	23.5%	28.7%	23.5%	17.4%	23.5%	18.3%	
Yellow Time (s)	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0	4.0
All-Red Time (s)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0
Lead/Lag	Lead	Lead	Lead	Lag	Lag	Lead	Lead	Lag	Lag	Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes						
Recall Mode	Min	Min	None	Min	Min	Min	None	None	Min	Min	None	
Act Effect Green (s)	10.8	32.0	55.0	12.6	33.8	57.8	23.1	18.3	30.9	17.8	13.0	
Actuated g/C Ratio	0.10	0.30	0.52	0.12	0.32	0.55	0.22	0.17	0.29	0.17	0.12	
v/c Ratio	0.58	0.78	0.40	0.72	0.57	0.14	0.77	0.78	0.27	0.77	0.51	
Control Delay	62.5	40.3	3.7	69.8	33.0	2.6	47.2	60.6	3.9	62.0	49.6	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Total Delay	62.5	40.3	3.7	69.8	33.0	2.6	47.2	60.6	3.9	62.0	49.6	
LOS	E	D	A	E	C	A	D	E	A	E	D	
Approach Delay		31.9			34.3			44.3			55.9	
Approach LOS		C			C			D			E	
Queue Length 50th (ft)	68	281	17	96	193	0	201	177	0	154	76	
Queue Length 95th (ft)	124	364	41	#190	258	27	262	#290	26	#258	117	
Internal Link Dist (ft)		455			77			212			807	
Turn Bay Length (ft)			275									
Base Capacity (vph)	203	1108	894	209	1174	950	882	380	556	344	484	
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	

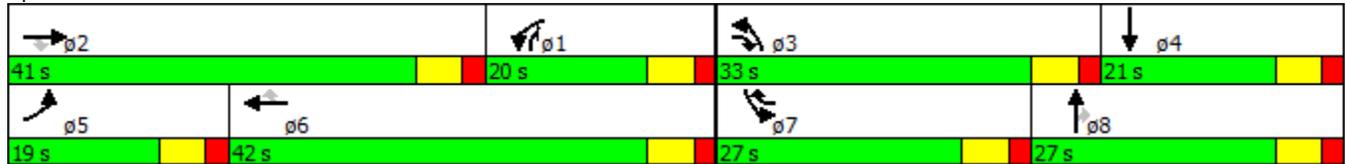
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.47	0.70	0.38	0.64	0.52	0.13	0.64	0.66	0.26	0.64	0.44	

Intersection Summary

Area Type: Other  
 Cycle Length: 115  
 Actuated Cycle Length: 105.2  
 Natural Cycle: 75  
 Control Type: Actuated-Uncoordinated  
 Maximum v/c Ratio: 0.78  
 Intersection Signal Delay: 38.9  
 Intersection Capacity Utilization 70.9%  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Intersection LOS: D  
 ICU Level of Service C

Splits and Phases: 1: U.S. 11 & U.S. 220 /U.S. 220A



7-Eleven - Botetourt County, VA  
 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Build (2016) Conditions  
 Timing Plan: PM Peak Hour

Intersection

Int Delay, s/veh 2.7

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Vol, veh/h	17	0	18	10	0	73	8	745	23	23	69	552	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free						
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	75	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	-	0	-
Peak Hour Factor	90	90	90	90	90	90	90	90	90	90	90	90	90
Heavy Vehicles, %	35	2	28	2	2	2	13	6	2	1	2	15	2
Mvmt Flow	19	0	20	11	0	81	9	828	26	26	77	613	3

Major/Minor	Minor2			Minor1			Major1			Major2			
Conflicting Flow All	1251	1690	308	1369	1679	427	617	0	0	934	853	0	0
Stage 1	819	819	-	858	858	-	-	-	-	-	-	-	-
Stage 2	432	871	-	511	821	-	-	-	-	-	-	-	-
Critical Hdwy	8.2	6.54	7.46	7.54	6.54	6.94	4.36	-	-	6.42	4.14	-	-
Critical Hdwy Stg 1	7.2	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Critical Hdwy Stg 2	7.2	5.54	-	6.54	5.54	-	-	-	-	-	-	-	-
Follow-up Hdwy	3.85	4.02	3.58	3.52	4.02	3.32	2.33	-	-	2.51	2.22	-	-
Pot Cap-1 Maneuver	98	92	617	105	94	576	888	-	-	369	782	-	-
Stage 1	273	388	-	318	372	-	-	-	-	-	-	-	-
Stage 2	492	367	-	514	387	-	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	83	90	617	100	92	576	888	-	-	576	576	-	-
Mov Cap-2 Maneuver	83	90	-	100	92	-	-	-	-	-	-	-	-
Stage 1	268	388	-	312	365	-	-	-	-	-	-	-	-
Stage 2	415	360	-	497	387	-	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	37.2	18.1	0.2	1.8
HCM LOS	E	C		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	888	-	-	150	366	576	-	-
HCM Lane V/C Ratio	0.01	-	-	0.259	0.252	0.177	-	-
HCM Control Delay (s)	9.1	0.1	-	37.2	18.1	12.6	-	-
HCM Lane LOS	A	A	-	E	C	B	-	-
HCM 95th %tile Q(veh)	0	-	-	1	1	0.6	-	-

Intersection

Int Delay, s/veh 0.4

Movement	WBL	WBR	NBT	NBR	SBL	SBT
Vol, veh/h	0	42	824	34	0	647
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	0	-	50	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	90	90	90	90	90	90
Heavy Vehicles, %	2	2	9	2	2	15
Mvmt Flow	0	47	916	38	0	719

Major/Minor	Minor1		Major1		Major2	
Conflicting Flow All	1275	458	0	0	916	0
Stage 1	916	-	-	-	-	-
Stage 2	359	-	-	-	-	-
Critical Hdwy	6.29	7.14	-	-	5.34	-
Critical Hdwy Stg 1	6.64	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.67	3.92	-	-	3.12	-
Pot Cap-1 Maneuver	189	470	-	-	430	-
Stage 1	279	-	-	-	-	-
Stage 2	654	-	-	-	-	-
Platoon blocked, %			-	-		
Mov Cap-1 Maneuver	189	470	-	-	430	-
Mov Cap-2 Maneuver	189	-	-	-	-	-
Stage 1	279	-	-	-	-	-
Stage 2	654	-	-	-	-	-

Approach	WB		NB		SB
HCM Control Delay, s	13.5		0		0
HCM LOS	B				

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	- 470	430	-
HCM Lane V/C Ratio	-	- 0.099	-	-
HCM Control Delay (s)	-	- 13.5	0	-
HCM Lane LOS	-	- B	A	-
HCM 95th %tile Q(veh)	-	- 0.3	0	-

							
Movement	EBT	EBR	WBL	WBT	NBL	NBR	
Lane Configurations							
Volume (veh/h)	908	43	0	781	0	34	
Sign Control	Free			Free	Stop		
Grade	0%			0%	0%		
Peak Hour Factor	0.90	0.90	0.90	0.90	0.90	0.90	
Hourly flow rate (vph)	1009	48	0	868	0	38	
Pedestrians							
Lane Width (ft)							
Walking Speed (ft/s)							
Percent Blockage							
Right turn flare (veh)							
Median type	None			None			
Median storage (veh)							
Upstream signal (ft)	157						
pX, platoon unblocked			0.79		0.79	0.79	
vC, conflicting volume			1057		1250	528	
vC1, stage 1 conf vol							
vC2, stage 2 conf vol							
vCu, unblocked vol			536		781	0	
tC, single (s)			4.1		6.8	6.9	
tC, 2 stage (s)							
tF (s)			2.2		3.5	3.3	
p0 queue free %			100		100	96	
cM capacity (veh/h)			811		262	855	
Direction, Lane #	EB 1	EB 2	WB 1	WB 2	WB 3	WB 4	NB 1
Volume Total	673	384	217	217	217	217	38
Volume Left	0	0	0	0	0	0	0
Volume Right	0	48	0	0	0	0	38
cSH	1700	1700	1700	1700	1700	1700	855
Volume to Capacity	0.40	0.23	0.13	0.13	0.13	0.13	0.04
Queue Length 95th (ft)	0	0	0	0	0	0	3
Control Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	9.4
Lane LOS							A
Approach Delay (s)	0.0		0.0				9.4
Approach LOS							A
<b>Intersection Summary</b>							
Average Delay			0.2				
Intersection Capacity Utilization			36.5%		ICU Level of Service		A
Analysis Period (min)			15				

7-Eleven - Botetourt County, VA  
 Queuing and Blocking Report

Build (2016) Conditions  
 PM Peak Hour

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	NB
Directions Served	L	T	TR	R	L	T	T	R	L	L	T	R
Maximum Queue (ft)	128	319	331	267	177	165	151	58	283	212	245	123
Average Queue (ft)	67	218	227	131	126	136	107	27	176	150	142	51
95th Queue (ft)	120	315	331	278	200	176	164	53	257	213	231	109
Link Distance (ft)	332	332	332		71	71	71	71	202	202	202	202
Upstream Blk Time (%)		0	0	0	42	41	25	0	4	1	4	
Queuing Penalty (veh)		1	1	0	85	83	51	0	9	3	9	
Storage Bay Dist (ft)				275								
Storage Blk Time (%)			3	0								
Queuing Penalty (veh)			6	0								

Intersection: 1: U.S. 11 & U.S. 220 /U.S. 220A

Movement	SB	SB	SB
Directions Served	L	T	TR
Maximum Queue (ft)	219	128	106
Average Queue (ft)	127	70	41
95th Queue (ft)	218	126	95
Link Distance (ft)	819	819	819
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)			
Storage Blk Time (%)			
Queuing Penalty (veh)			

Intersection: 2: U.S. 11 & 84 Lumber/Mountain Road Plaza

Movement	EB	WB	NB	NB	SB
Directions Served	LTR	LTR	LT	TR	UL
Maximum Queue (ft)	93	67	53	7	72
Average Queue (ft)	34	33	6	1	28
95th Queue (ft)	92	59	34	6	60
Link Distance (ft)	170	198	563	563	
Upstream Blk Time (%)	1				
Queuing Penalty (veh)	0				
Storage Bay Dist (ft)					75
Storage Blk Time (%)					0
Queuing Penalty (veh)					1

**Intersection: 3: U.S. 11 & RIRO**

Movement	WB	NB	NB	NB
Directions Served	R	T	T	R
Maximum Queue (ft)	50	30	9	27
Average Queue (ft)	25	3	1	14
95th Queue (ft)	51	24	8	33
Link Distance (ft)	170	44	44	
Upstream Blk Time (%)		0	0	0
Queuing Penalty (veh)		1	0	0
Storage Bay Dist (ft)				50
Storage Blk Time (%)			0	0
Queuing Penalty (veh)			0	0

**Intersection: 4: RIRO & U.S. 220A**

Movement	EB	WB	WB	WB	B11	NB
Directions Served	T	T	T	T	T	R
Maximum Queue (ft)	5	190	149	91	9	50
Average Queue (ft)	0	57	50	20	1	22
95th Queue (ft)	8	177	133	73	12	50
Link Distance (ft)	71	170	170	170	175	96
Upstream Blk Time (%)		3	0			
Queuing Penalty (veh)		0	0			
Storage Bay Dist (ft)						
Storage Blk Time (%)						
Queuing Penalty (veh)						

**Intersection: 16: U.S. 220**

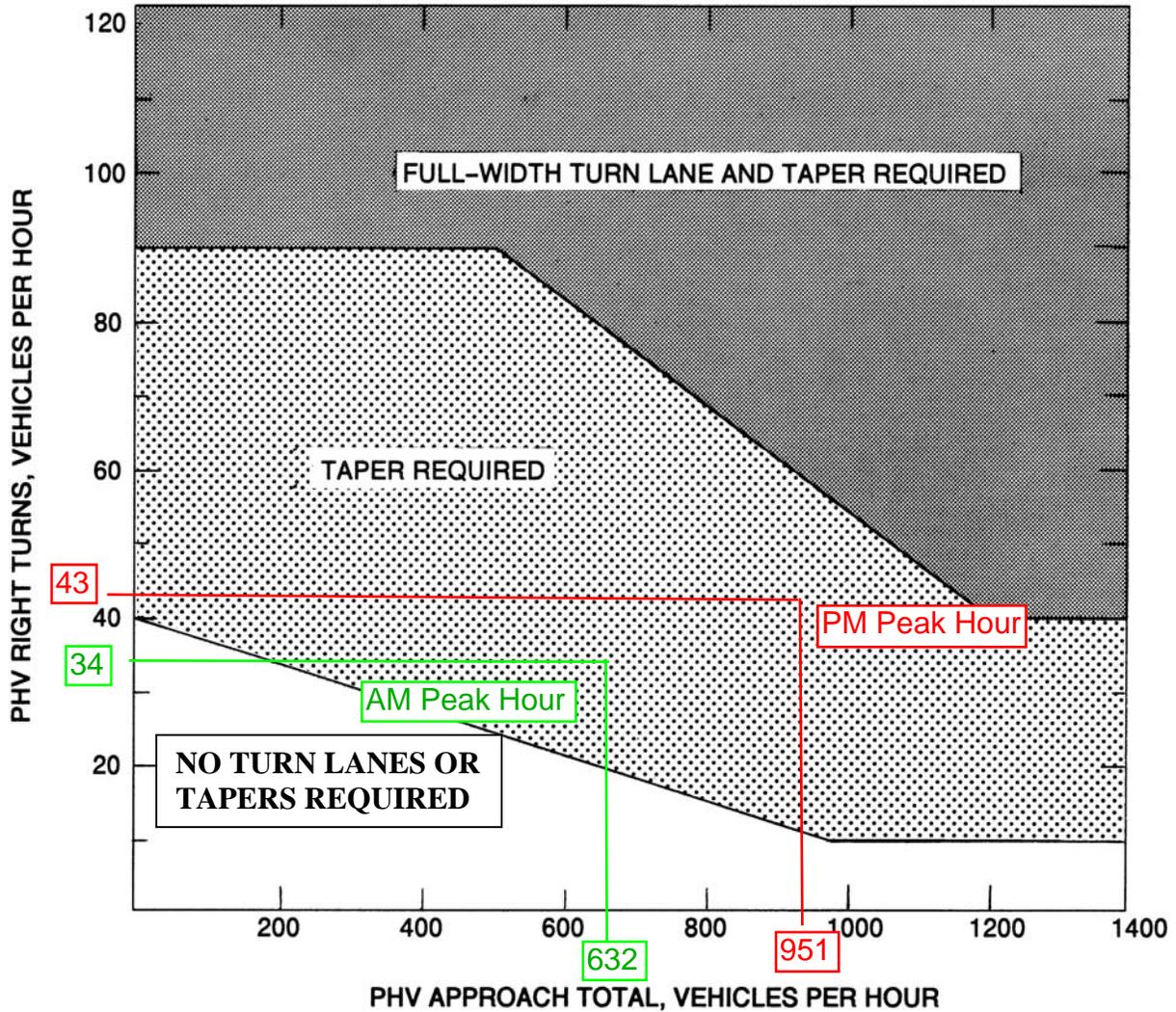
Movement	EB	EB	WB	SB
Directions Served	T	T	T	R
Maximum Queue (ft)	34	76	4	14
Average Queue (ft)	5	11	0	1
95th Queue (ft)	53	79	5	14
Link Distance (ft)	187	187	332	683
Upstream Blk Time (%)	0	1		
Queuing Penalty (veh)	0	0		
Storage Bay Dist (ft)				
Storage Blk Time (%)				
Queuing Penalty (veh)				

**Network Summary**

Network wide Queuing Penalty: 253

# **APPENDIX F**

## **VDOT TURN LANE WARRANTS**



Appropriate Radius required at all Intersections and Entrances (Commercial or Private).

**LEGEND**

**PHV**- - Peak Hour Volume (also Design Hourly Volume equivalent)

**Adjustment for Right Turns**

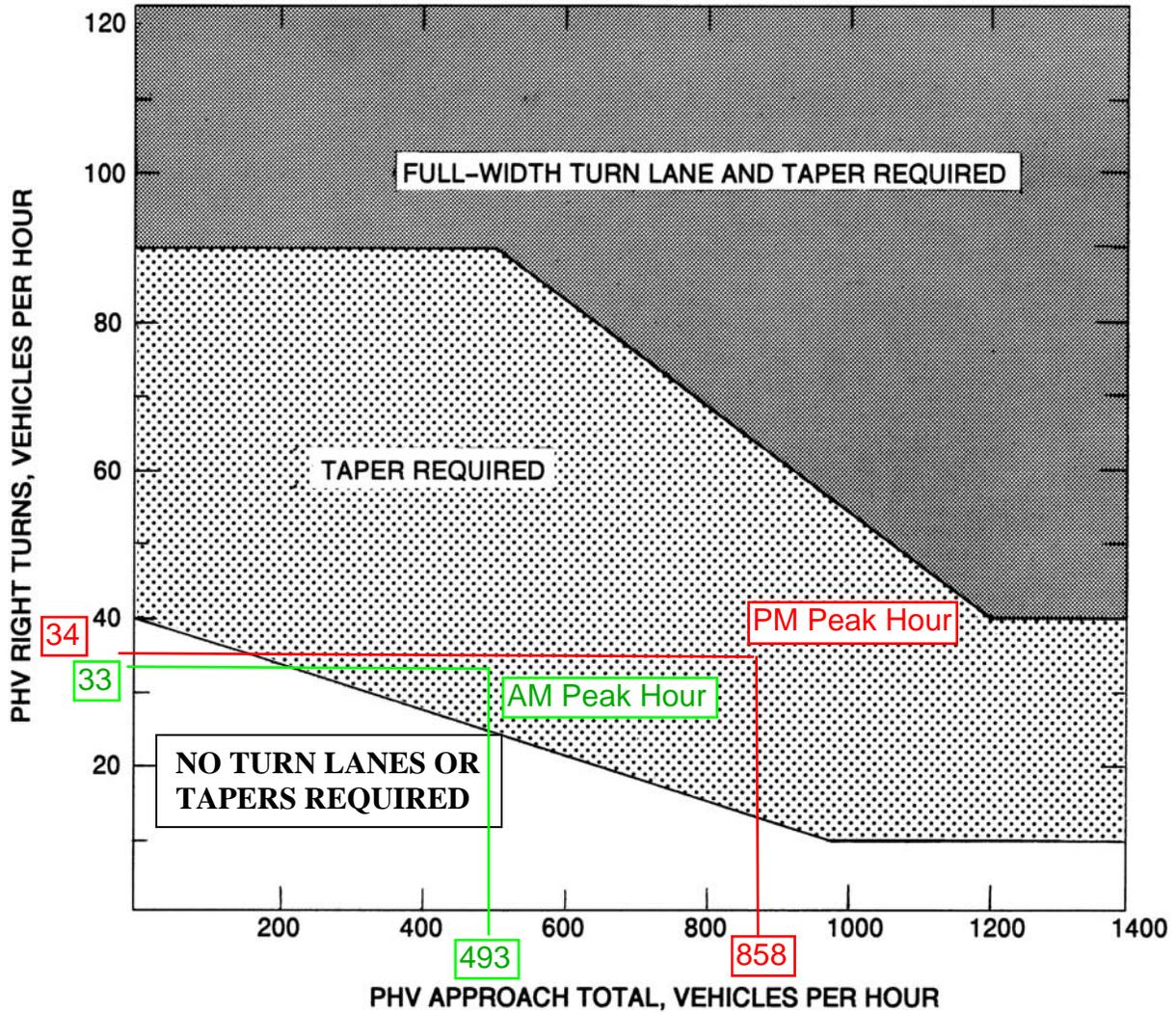
If PHV is not known use formula:  $PHV = ADT \times K \times D$

K = the percent of AADT occurring in the peak hour

D = the percent of traffic in the peak direction of flow

Note: An average of 11% for K x D will suffice.

**FIGURE 3-27 GUIDELINES FOR RIGHT TURN TREATMENT (4-LANE HIGHWAY)**



Appropriate Radius required at all Intersections and Entrances (Commercial or Private).

**LEGEND**

**PHV**- - Peak Hour Volume (also Design Hourly Volume equivalent)

**Adjustment for Right Turns**

If PHV is not known use formula:  $PHV = ADT \times K \times D$

K = the percent of AADT occurring in the peak hour

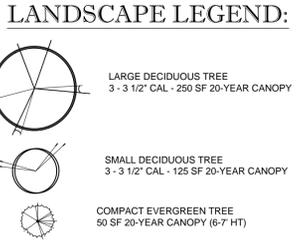
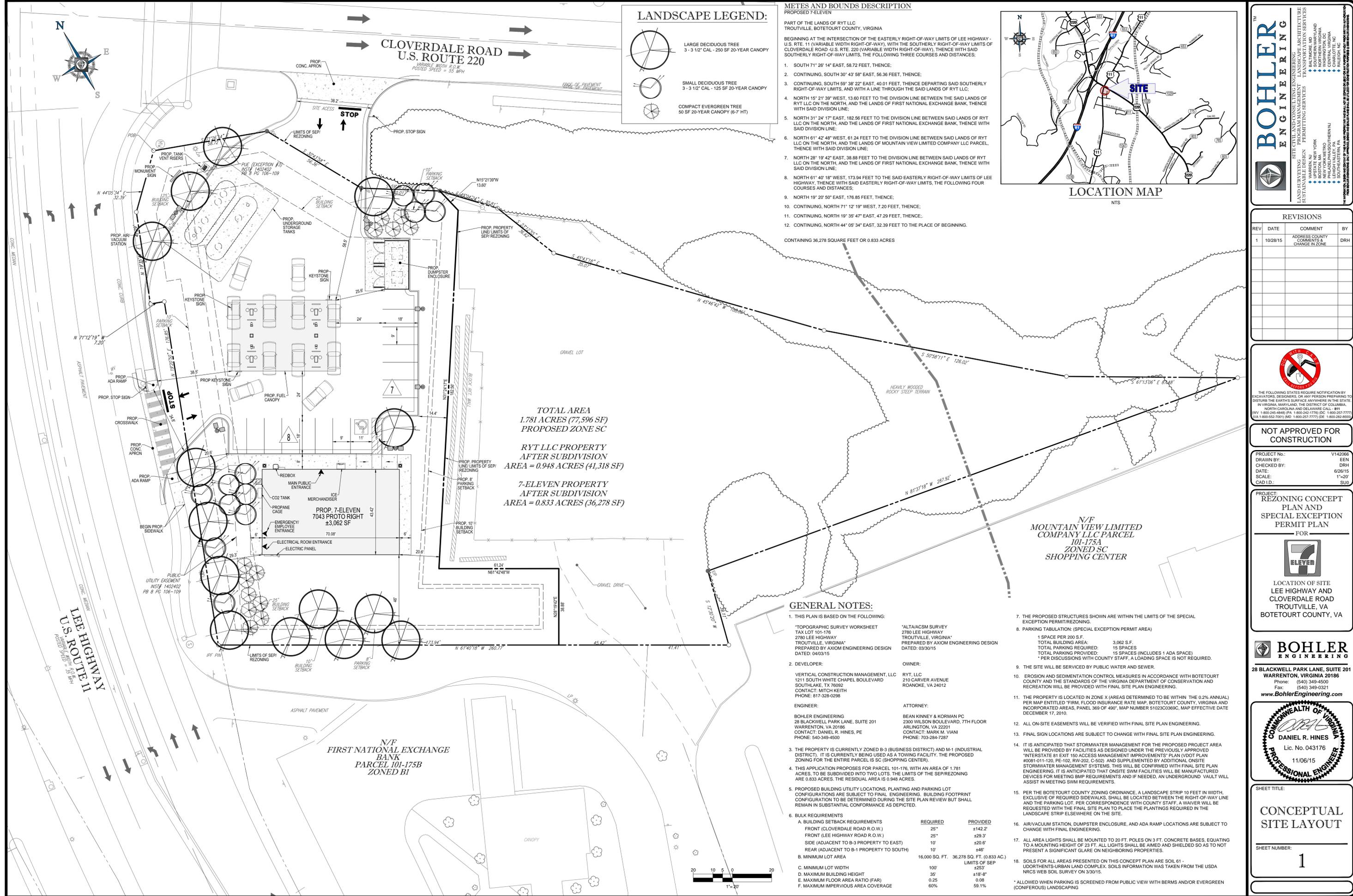
D = the percent of traffic in the peak direction of flow

Note: An average of 11% for K x D will suffice.

**FIGURE 3-27 GUIDELINES FOR RIGHT TURN TREATMENT (4-LANE HIGHWAY)**



4343 Cox Road  
Glen Allen, VA 23060  
Phone: 804.217.8560  
Fax: 804.217.8563  
[www.rameykemp.com](http://www.rameykemp.com)



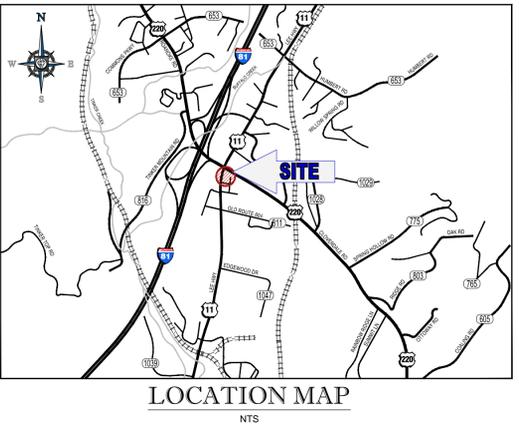
### METES AND BOUNDS DESCRIPTION

PROPOSED 7-ELEVEN  
PART OF THE LANDS OF RYT LLC  
TROUTVILLE, BOTETOURT COUNTY, VIRGINIA

BEGINNING AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LIMITS OF LEE HIGHWAY - U.S. RTE. 11 (VARIABLE WIDTH RIGHT-OF-WAY), WITH THE SOUTHERLY RIGHT-OF-WAY LIMITS OF CLOVERDALE ROAD - U.S. RTE. 220 (VARIABLE WIDTH RIGHT-OF-WAY), THENCE WITH SAID SOUTHERLY RIGHT-OF-WAY LIMITS, THE FOLLOWING THREE COURSES AND DISTANCES:

1. SOUTH 71° 26' 14" EAST, 58.72 FEET, THENCE;
2. CONTINUING, SOUTH 30° 43' 58" EAST, 58.36 FEET, THENCE;
3. CONTINUING, SOUTH 59° 38' 22" EAST, 40.01 FEET, THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LIMITS, AND WITH A LINE THROUGH THE SAID LANDS OF RYT LLC;
4. NORTH 15° 21' 39" WEST, 13.60 FEET TO THE DIVISION LINE BETWEEN THE SAID LANDS OF RYT LLC ON THE NORTH, AND THE LANDS OF FIRST NATIONAL EXCHANGE BANK, THENCE WITH SAID DIVISION LINE;
5. NORTH 31° 24' 17" EAST, 182.56 FEET TO THE DIVISION LINE BETWEEN SAID LANDS OF RYT LLC ON THE NORTH, AND THE LANDS OF MOUNTAIN VIEW LIMITED COMPANY LLC PARCEL, THENCE WITH SAID DIVISION LINE;
6. NORTH 61° 42' 48" WEST, 81.24 FEET TO THE DIVISION LINE BETWEEN SAID LANDS OF RYT LLC ON THE NORTH, AND THE LANDS OF MOUNTAIN VIEW LIMITED COMPANY LLC PARCEL, THENCE WITH SAID DIVISION LINE;
7. NORTH 28° 19' 42" EAST, 38.88 FEET TO THE DIVISION LINE BETWEEN SAID LANDS OF RYT LLC ON THE NORTH, AND THE LANDS OF FIRST NATIONAL EXCHANGE BANK, THENCE WITH SAID DIVISION LINE;
8. NORTH 61° 40' 18" WEST, 173.94 FEET TO THE SAID EASTERLY RIGHT-OF-WAY LIMITS OF LEE HIGHWAY, THENCE WITH SAID EASTERLY RIGHT-OF-WAY LIMITS, THE FOLLOWING FOUR COURSES AND DISTANCES:
9. NORTH 19° 20' 50" EAST, 176.85 FEET, THENCE;
10. CONTINUING, NORTH 71° 12' 19" WEST, 7.20 FEET, THENCE;
11. CONTINUING, NORTH 19° 35' 47" EAST, 47.29 FEET, THENCE;
12. CONTINUING, NORTH 44° 05' 34" EAST, 32.39 FEET TO THE PLACE OF BEGINNING.

CONTAINING 36,278 SQUARE FEET OR 0.833 ACRES



TOTAL AREA  
1.781 ACRES (77,596 SF)  
PROPOSED ZONE SC

RYT LLC PROPERTY  
AFTER SUBDIVISION  
AREA = 0.948 ACRES (41,318 SF)

7-ELEVEN PROPERTY  
AFTER SUBDIVISION  
AREA = 0.833 ACRES (36,278 SF)

### GENERAL NOTES:

1. THIS PLAN IS BASED ON THE FOLLOWING:
  - * TOPOGRAPHIC SURVEY WORKSHEET TAX LOT 101-176 2780 LEE HIGHWAY TROUTVILLE, VIRGINIA PREPARED BY AXIOM ENGINEERING DESIGN DATED: 03/30/15
  - * ALTA/ACSM SURVEY 2780 LEE HIGHWAY TROUTVILLE, VIRGINIA PREPARED BY AXIOM ENGINEERING DESIGN DATED: 03/30/15
2. DEVELOPER:
  - VERTICAL CONSTRUCTION MANAGEMENT, LLC 1211 SOUTH WHITE CHAPEL BOULEVARD SOUTHLAKE, TX 76092 CONTACT: MITCH KEITH PHONE: 817-328-0298
  - OWNER: RYT, LLC 210 CARVER AVENUE ROANOKE, VA 24012
  - ENGINEER: BOHLER ENGINEERING 28 BLACKWELL PARK LANE, SUITE 201 WARRENTON, VA 20186 CONTACT: DANIEL R. HINES, PE PHONE: 540-349-4500
  - ATTORNEY: BEAN KINNEY & KORMAN PC 2300 WILSON BOULEVARD, 7TH FLOOR ARLINGTON, VA 22201 CONTACT: MARK M. VIANI PHONE: 703-284-7287
3. THE PROPERTY IS CURRENTLY ZONED B-3 (BUSINESS DISTRICT) AND M-1 (INDUSTRIAL DISTRICT). IT IS CURRENTLY BEING USED AS A TOWING FACILITY. THE PROPOSED ZONING FOR THE ENTIRE PARCEL IS SC (SHOPPING CENTER).
4. THIS APPLICATION PROPOSES FOR PARCEL 101-176, WITH AN AREA OF 1.781 ACRES, TO BE SUBDIVIDED INTO TWO LOTS. THE LIMITS OF THE SEPRZONING ARE 0.833 ACRES. THE RESIDUAL AREA IS 0.948 ACRES.
5. PROPOSED BUILDING UTILITY LOCATIONS, PLANTING AND PARKING LOT CONFIGURATIONS ARE SUBJECT TO FINAL ENGINEERING. BUILDING FOOTPRINT CONFIGURATION TO BE DETERMINED DURING THE SITE PLAN REVIEW BUT SHALL REMAIN IN SUBSTANTIAL CONFORMANCE AS DEPICTED.
6. BULK REQUIREMENTS
 

	REQUIRED	PROVIDED
A. BUILDING SETBACK REQUIREMENTS		
FRONT (CLOVERDALE ROAD R.O.W.)	25'	±142.2'
FRONT (LEE HIGHWAY ROAD R.O.W.)	25'	±29.3'
SIDE (ADJACENT TO B-3 PROPERTY TO EAST)	10'	±20.6'
REAR (ADJACENT TO B-1 PROPERTY TO SOUTH)	10'	±46'
B. MINIMUM LOT AREA	16,000 SQ. FT.	36,278 SQ. FT. (0.833 AC.)
C. MINIMUM LOT WIDTH	100'	LIMITS OF SEP ±253'
D. MAXIMUM BUILDING HEIGHT	35'	±18'-8"
E. MAXIMUM FLOOR AREA RATIO (FAR)	0.25	0.08
F. MAXIMUM IMPERVIOUS AREA COVERAGE	60%	59.1%
7. THE PROPOSED STRUCTURES SHOWN ARE WITHIN THE LIMITS OF THE SPECIAL EXCEPTION PERMIT/REZONING.
8. PARKING TABULATION: (SPECIAL EXCEPTION PERMIT AREA)
 

1 SPACE PER 200 S.F.	
TOTAL BUILDING AREA:	3,062 S.F.
TOTAL PARKING REQUIRED:	15 SPACES
TOTAL PARKING PROVIDED:	15 SPACES (INCLUDES 1 ADA SPACE)
* PER DISCUSSIONS WITH COUNTY STAFF, A LOADING SPACE IS NOT REQUIRED.	
9. THE SITE WILL BE SERVICED BY PUBLIC WATER AND SEWER.
10. EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH BOTETOURT COUNTY AND THE STANDARDS OF THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION WILL BE PROVIDED WITH FINAL SITE PLAN ENGINEERING.
11. THE PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, BOTETOURT COUNTY, VIRGINIA AND INCORPORATED AREAS, PANEL 369 OF 490", MAP NUMBER 51023C0369C, MAP EFFECTIVE DATE DECEMBER 17, 2010.
12. ALL ON-SITE EASEMENTS WILL BE VERIFIED WITH FINAL SITE PLAN ENGINEERING.
13. FINAL SIGN LOCATIONS ARE SUBJECT TO CHANGE WITH FINAL SITE PLAN ENGINEERING.
14. IT IS ANTICIPATED THAT STORMWATER MANAGEMENT FOR THE PROPOSED PROJECT AREA WILL BE PROVIDED BY FACILITIES AS DESIGNED UNDER THE PREVIOUSLY APPROVED "INTERSTATE 81 EXIT 150 ACCESS MANAGEMENT IMPROVEMENTS" PLAN (VDOT PLAN #0081-011-120, PE-102, RW-202, C-502) AND SUPPLEMENTED BY ADDITIONAL ONSITE STORMWATER MANAGEMENT SYSTEMS. THIS WILL BE CONFIRMED WITH FINAL SITE PLAN ENGINEERING. IT IS ANTICIPATED THAT ONSITE SWM FACILITIES WILL BE MANUFACTURED DEVICES FOR MEETING BMP REQUIREMENTS AND IF NEEDED, AN UNDERGROUND VAULT WILL ASSIST IN MEETING SWM REQUIREMENTS.
15. PER THE BOTETOURT COUNTY ZONING ORDINANCE, A LANDSCAPE STRIP 10 FEET IN WIDTH, EXCLUSIVE OF REQUIRED SIDEWALKS, SHALL BE LOCATED BETWEEN THE RIGHT-OF-WAY LINE AND THE PARKING LOT. PER CORRESPONDENCE WITH COUNTY STAFF, A WAIVER WILL BE REQUESTED WITH THE FINAL SITE PLAN TO PLACE THE PLANTINGS REQUIRED IN THE LANDSCAPE STRIP ELSEWHERE ON THE SITE.
16. AIR/VACUUM STATION, DUMPSTER ENCLOSURE, AND ADA RAMP LOCATIONS ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING.
17. ALL AREA LIGHTS SHALL BE MOUNTED TO 20 FT. POLES ON 3 FT. CONCRETE BASES, EQUATING TO A MOUNTING HEIGHT OF 23 FT. ALL LIGHTS SHALL BE AIMED AND SHIELDED SO AS TO NOT PRESENT A SIGNIFICANT GLARE ON NEIGHBORING PROPERTIES.
18. SOILS FOR ALL AREAS PRESENTED ON THIS CONCEPT PLAN ARE SOIL 611 - UDORHENS-URBAN LAND COMPLEX. SOILS INFORMATION WAS TAKEN FROM THE USDA NRCS WEB SOIL SURVEY ON 3/30/15.
  - * ALLOWED WHEN PARKING IS SCREENED FROM PUBLIC VIEW WITH BERMS AND/OR EVERGREEN (CONIFEROUS) LANDSCAPING

## BOHLER ENGINEERING

11111 LEE HIGHWAY 11, SUITE 201, WARRENTON, VA 20186  
 PHONE: (540) 349-4500  
 FAX: (540) 349-0321  
 WWW.BOHLERENGINEERING.COM

SITE SERVICES: LANDSCAPE ARCHITECTURE, CIVIL ENGINEERING, SURVEYING, PROGRAM MANAGEMENT, TRANSPORTATION SERVICES, SUSTAINABLE DESIGN, PERMITTING SERVICES

OFFICES: BAITIMORE, MD; BOSTON, MA; CHARLOTTE, NC; DENVER, CO; FORT WORTH, TX; HOUSTON, TX; MEMPHIS, TN; NEW YORK, NY; PHOENIX, AZ; RICHMOND, VA; WASHINGTON, DC

### REVISIONS

REV	DATE	COMMENT	BY
1	10/28/15	ADDRESS COUNTY COMMENTS & CHANGE IN ZONE	DRH

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE CALL: 811 (WV 1-800-245-4848) (PA 1-800-245-1776) (DC 1-800-257-7777) (VA 1-800-552-7071) (MD 1-800-257-7777) (DE 1-800-382-8565)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: V142066  
 DRAWN BY: EEN  
 CHECKED BY: DRH  
 DATE: 6/26/15  
 SCALE: 1"=20'  
 CAD I.D.: SU0

REZONING CONCEPT PLAN AND SPECIAL EXCEPTION PERMIT PLAN FOR

LOCATION OF SITE  
LEE HIGHWAY AND CLOVERDALE ROAD  
TROUTVILLE, VA  
BOTETOURT COUNTY, VA

## BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201  
WARRENTON, VIRGINIA 20186  
 Phone: (540) 349-4500  
 Fax: (540) 349-0321  
 www.BohlerEngineering.com

COMMONWEALTH OF VIRGINIA

DANIEL R. HINES  
Lic. No. 043176  
11/06/15  
PROFESSIONAL ENGINEER

SHEET TITLE:  
**CONCEPTUAL SITE LAYOUT**

SHEET NUMBER:  
**1**





## Botetourt County, Virginia *Development Services*

5 W. Main Street, Suite 100  
Fincastle, Virginia 24090  
Phone (540) 473-8248  
or (540) 473-8320  
Fax (540) 473-2018

July 8, 2015

RYT LLC  
Robert Young  
210 Carver Avenue NE  
Roanoke, VA 24012

**Construction Compliance**  
Erosion & Sediment Control  
Inspections & Enforcement  
Permit Applications &  
Plan Reviews

**RE: Request for Rezoning and Special Exception permit for convenience store  
and gasoline station, TM #101-176**

**Planning**  
Subdivisions  
Zoning  
Site Plans  
Land Conservation

Dear Mr. Young:

This letter is in response to your application for a request to rezone your property to B-2, Business, as well as a Special Exception Permit to operate a convenience store and gasoline station at 2780 Lee Highway in Troutville, Virginia. At this time, your application is considered incomplete. In order to meet the September 2015 public hearing deadline, the following items must be addressed by **July 14, 2015** by resubmitting three (3) complete sorted application packages with the following additional information. The comments are as follows:

1. Please clarify property acreages shown on the concept plan, application, survey, and letter of intent.
2. As proposed, this application seeks to subdivide the subject property. In accordance with the Botetourt County Zoning Ordinance, the subject property cannot be subdivided as proposed. Zoning regulations limit the minimum district size of a B-3 lot to seven acres or reduced to four acres by SEP approval, and the minimum lot size requirements are 40,000 square feet for Business, B-3. Further, the section of the property that is shown as being zoned B-3 on the concept plan is zoned B-3 and M-1 and should be shown as such on the concept plan. In addition, if this property were to be subdivided, it would also require 100 feet of road frontage and access from a state-maintained street.
3. Please clarify if the concept plan shows the current or the future configurations of VDOT's access management project.
4. Please clarify if the concept plan shows the current or the future configurations of VDOT's access management project.
5. Staff suggests including "sidewalks" as part of Proffer #2.
6. On the signature page for the Statement of Proffers, please insert "TM 101-176" in the heading.
7. Please have proffers signed and notarized.
8. On the Review Board Elevations, Sheet RBE-1, for the Elevation – Front, please indicate the proposed use for the space above an entry way. Please explain "High Impact EIFS".
9. What are the external fixtures adjacent to the building along U. S. Route 11? What are the sketches indicating? Is an outside bathroom proposed?

10. Concerning signage, please submit plans including calculations for all proposed signs, and a proposed sketch of the proposed monument sign. Note that directional signs may be placed on subject property only and not within the VDOT right-of-way but may not have any advertising regarding 7-11 on them unless they are counted as part of the total signage allowed on the property. The Planning Commission may suggest that a monument sign in conformance with a proposed sketch be a condition for approval.
11. Regarding landscaping, please show the landscaping strip as mentioned in note 15.
12. Staff has concerns about the building location and orientation on the site, and the lack of windows and design along the property facing Route 11. In addition, what is the purpose of the blackout window and empty space above this window (See Review Board Elevations, Sheet RBE-1.) Please explain “High Impact EIFS”?
13. Are there plans for the large sign currently located on this property to be removed? The Planning Commission may propose that the sign be removed as a condition for approval.
14. Regarding lighting, please provide a sketch of the proposed lighting fixtures. The Planning Commission may propose certain types of light fixtures as a condition for approval.
15. The space for the loading area appears to cross the property line and is located in the parking setback. How is new merchandise processed from the delivery truck to the store? Please indicate where delivery trucks will park and unload stock.
16. Staff has concerns about the building materials, such as the fiber cement panel the prefinished metal canopy and anodized aluminum.
17. Please advise of any potential changes to the existing retaining wall.
18. What are the hours of operation? What are the hours of loading and refueling?
19. Please include a PDF of the signed application, in addition to a PDF of the Traffic Impact Analysis.

Please resubmit three (3) complete sorted packages with the above-mentioned information by **July 14, 2015** for further review.

If there are no further comments at that time, please submit 15 collated hardcopies and 1 (one) PDF format of the same by **August 3, 2015**. If you cannot meet these deadlines, the application will be delayed and rescheduled for later public hearing dates. If you have any questions, please contact me at 540.473.8320.

Best Regards,

Nicole Pendleton, AICP, CFM  
Planning Manager/Zoning Administrator

c: Zachary Williams, Attorney



Botetourt County, Virginia  
*Development Services*

5 W. Main Street, Suite 100  
Fincastle, Virginia 24090  
Phone (540) 473-8248  
or (540) 473-8320  
Fax (540) 473-2018

November 2, 2015

RYT LLC  
Robert Young  
210 Carver Avenue NE  
Roanoke, VA 24012

Construction Compliance  
Erosion & Sediment Control  
Inspections & Enforcement  
Permit Applications &  
Plan Reviews

**RE: Request for Rezoning and Special Exception permit for convenience store  
and gasoline station, TM #101-176**

Planning  
Subdivisions  
Zoning  
Site Plans  
Land Conservation

Dear Mr. Young:

This letter is in response to your application for a request to rezone your property to SC, Shopping Center as well as a Special Exception Permit to operate a convenience store and gasoline station at 2780 Lee Highway in Troutville, Virginia. At this time, your application is considered incomplete. In order to meet the December 2015 public hearing deadline, the following items must be addressed by **November 9, 2015** by resubmitting three (3) complete sorted application packages with the following additional information. The comments are as follows:

1. Please provide a written response to my preliminary comment letter dated July 8, 2015 and emailed July 17, 2015.
2. Future application packages must be collated and assembled into individual sets.
3. The applicant is the property owner. However, Vertical Construction Management LLC is shown as the property owner on the Statements of Intent. Vertical Construction Management LLC may apply on behalf of the applicant. Please update your Statement of Intent accordingly.
4. Your revised application package did not include the previously submitted Traffic Impact Analysis. Please include the appropriate amount of copies as part of your resubmittal and include an electronic copy. Please submit the Traffic Impact Analysis to as a part of this package and to Mr. Brian Blevins of the Virginia Department of Transportation.
5. Prior to public hearing, proffers must be signed and notarized by the current property owner.
6. Proposed signage does not meet the Botetourt County Sign Ordinance. Please address and include details on the following:
  - a. Please provide more detail regarding the proposed signage package and include total sign calculations, particularly on Page 10.
  - b. The total calculations should account for the proposed window signage.
  - c. The Concept Plan 1 shows a monument style sign. The signage package shows a Pylon sign. Please explain this discrepancy.
  - d. The Concept Plan shows directional signs within the setbacks.
  - e. Only one free-standing sign is permitted per lot.
  - f. Please clarify exterior promotional signs and include them in sign calculations.
7. Please account for stacking spaces for the gas pumps.
8. Please provide application materials for the proposed text amendment.

*RYT LLC – Rezoning and SEP*

*November 2, 2015*

*Page 2*

When each of the above items have been resolved, please resubmit three (3) **complete sorted** packages with the above-mentioned information by **November 9, 2015** for further review.

If there are no further comments at that time, please submit 15 collated hardcopies and 1 (one) PDF format of the same by **December 1, 2015**. If you cannot meet these deadlines, the application will be delayed and rescheduled for later public hearing dates. If you have any questions, please contact me at 540.473.8320.

Best Regards,

C. Nicole Pendleton, AICP, CZA, CFM  
Planning Manager/Zoning Administrator

c: Mark Viani, Attorney  
Zachary Williams, Attorney  
Charlie Yowell,



# **BACKGROUND REPORT**

**Planning Commission - Public Hearing  
December 2015**

Prepared by the Department of Community Development

## **PROJECT SUMMARY**

The applicant petitioned the Board of Supervisors in October to authorize a public hearing for a text amendment to increase the minimum district size of a Neighborhood Shopping Center District from nine to 12 acres. The Board approved that petition. An amendment to the minimum district size of the Shopping Center (SC) District is the first of three requests from the applicant.

RYT LLC also requests to rezone 1.781 acres of a Business (B-3) Use District, and Industrial (M-1) Use District to Shopping Center (SC) and is seeking a Special Exception Permit on 0.833 acres for a convenience store to include fuel sales.

## **STAFF COMMENTS**

This request was originally submitted in the summer of 2015; however, the property could not be subdivided and meet the development requirements for both parcels. Due to the location of this project at "The Gateway Center" as described by the Board in their 2040 Vision, staff met with representatives in July to discuss concerns regarding this project. Notably, we discussed the existing and proposed uses of the property, as well as the proposed layout, signage, and design. During the meeting, we suggested the entire property be rezoned.

Following the discussion in which the applicant and staff reviewed preliminary comments, staff learned that RYT LLC wished to subdivide off the property fronting on Lee Highway (Route 11) and retain a portion of property behind the frontage. Staff met with Mr. Young in September to discuss both the existing and proposed use of the property. This property is currently being used for storage for inoperable vehicles. Should the portion of the property currently zoned Business (B-3) Use District be rezoned, and the resulting redevelopment of the site of the existing towing operations office to a convenience store occur, RYT LLC could not continue to utilize the property on the hill for storage of more than 5 inoperable vehicles, which is defined by the zoning ordinance as an automobile graveyard. As a result, Mr. Young has submitted a proffer which states that he will store no more than 5 inoperable vehicles on the portion of the property he wishes to retain for his own use. In addition, the rezoning of the property to the Shopping Center (SC) Use District, eliminates the need for both properties, if subdivided, to have road frontage paired with access on a state-maintained road. Redevelopment would be an improvement to the existing condition of the site, and a rezoning to the Shopping Center (SC) Use District would align with the existing Shopping Center and provide more opportunity for future compatible redevelopment.

The applicant resubmitted their request to rezone the entire property to the Shopping Center (SC) Use District, and provided a response to a preliminary and secondary comment letter. Please review the cover letter dated November 6, 2015 and prepared by Zachary G. Williams of Bean Kinney and Korman Attorneys.

After review of the resubmittal, staff maintains a level of concern with how the project, as proposed, would fit into the redevelopment of the Gateway Center. Specially, staff has concerns about the view of the building when approaching the property heading north on Lee Highway, about the large and vacant sign structure on the property, as well as the building materials, landscaping and signage. Given that this is the first proposed re-development in the Gateway Center area, staff recommends additional conditions in order to ensure that this project can serve as an example of the type and style of the development that in in harmony with the vision for the area. While the proposed use provides for the redevelopment of a distressed site and the Shopping Center Use District is in greater consistency with the Comprehensive Plan, care should be given to ensure that the design not only reflects the 2040 Botetourt Vision, but can be an example of the standards to be sought in the rest of the Gateway Center area.

### **PLANNING COMMISSION ACTION**

The Planning Commission must make a recommendation to the Board of Supervisors as to the approval, approval with conditions, or denial of these requests.

### **APPLICATION INFORMATION**

Applicant: RYT LLC  
Request: To increase the minimum district size of the Neighborhood type Shopping Center (SC) Use District from 9 to 12 acres; To rezone from Business, B-3 to Shopping Center, SC with proffered conditions, and seeks a SEP on a portion of the property.  
Tax Map Number: 101-176  
Magisterial District: Valley  
Report Prepared By: N. Pendleton  
PC Meeting: December 7, 2015  
BOS Meeting: December 17, 2015

### **LEGAL ADVERTISEMENT**

Valley Magisterial District: RYT, LLC requests the following: a text amendment to Section 25-284. District Requirements, of Chapter 25 Zoning of the Botetourt County Code to increase the maximum district size of the Neighborhood-type Shopping Center from nine to twelve acres; to rezone, with possible proffered conditions, a 1.781-acre lot from a Business (B-3) Use District and Industrial (M-1) Use District to a Shopping Center (SC) Use District; and requests a Special Exception Permit on 0.833 acres, with possible conditions, for a convenience store, to include fuel sales, located at 2780 Lee Highway (U.S. Route 11), Troutville, VA. The property is located in the southern corner of the intersection of Lee Highway and Cloverdale Road (ALT U. S. Route 220), identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcel 176.

### **EXISTING CONDITIONS & BACKGROUND**

The property is currently used for a towing company as well as storage of inoperable vehicles. The land use history on the site is as follows:

1993: 1.457 acres rezoned from B-2 to B-3 for B-3 uses at an existing service station with a condition that “all inoperable vehicles located on the hill behind the Exxon station would be removed from the property.”

2004: Mr. Lovell ceased operation of Lovell's Exxon.

2005: Mr. Young and others purchased the site from PM Properties Inc.

2006: Mr. Young applied for a rezoning of the M-1 portion of the property. At a February Planning Commission meeting, Mr. Young submitted proffers in conjunction with inoperable vehicles being stored on the property. Prior to the Board of Supervisors hearing, Mr. Young requested that the matter be referred back to the Planning Commission in order to change his proffers. In May 2006, Mr. Young's rezoning request was denied due to poorly planned site access and the potential for the property to become a "junkyard." This was related to his proffer that the inoperable vehicles would be stored on the property for no longer than 45 days, as opposed to 10 days in his original proffer statement.

There also was a proffer which stated "The rear access from the shopping center cannot be used for direct access to the rezoned property."

Mr. Young's request was denied.

In addition to this history, the site has been reported to be in violation of the Zoning Ordinance several times. Those complaints follow:

- March 2005, Complaint regarding the use as a towing operation. Towing is permitted in B-3.
- September 2005, Complaint received regarding illegal signs and use.
- November 2008, Complaint received regarding the screening of inoperative vehicles.
- November 2013, Courtesy letter mailed for outside storage
- October 2014, Courtesy letter mailed regarding the screening of inoperative vehicles. Mr. Young responded by placing screening material on the fence.
- November 2015, Complaint received regarding outside storage of vehicles.

**TEXT AMENDMENT REQUEST** Section 25-581 Zoning Amendment of the Zoning Ordinance requires that "In the case of a text amendment, a landowner may file a petition for a resolution of intent to amend the ordinance text to be acted upon by the board of supervisors. The board shall either adopt such resolution, initiating the text amendment requested, or deny such petition."

The Board of Supervisors authorized this public hearing at their October 27, 2015 meeting.

Mark Viani, of Bean, Kinney & Korman, on behalf of RYT, LLC, and on behalf of Vertical Construction Management, LLC, the applicants for a pending land use application to develop a new 7-Eleven gasoline station and convenience store at 2780 Lee Highway in Troutville (Tax Map #101-176), requested the text amendment to increase the maximum district size of the "neighborhood" type Shopping Center (SC) Use District from 9 acres to 12 acres.

This request is in line with the maximum district sizes of other "types" of Shopping Center districts in the ordinance. This district size has been in place since the 1983 Zoning Ordinance and was not amended with the 2002 update. The request is necessary for the subsequent rezoning request, as 8+ acres of adjoining property is zoned for Shopping Center; adding the requested 1.781 acres would exceed the maximum district size. As a reference, the other types of Shopping Centers are Community and Regional, and are defined by their purposes, district sizes, setbacks and minimum lot sizes.

This amendment would only affect future development of new shopping center or expansions of existing developments zoned for the Neighborhood type Shopping Center Use District. The 2010 Comprehensive Plan states that there are less than 30 parcels in the county zoned SC totaling just over 100 acres.

The Board of Supervisors will need to take action on this request prior to taking action on the rezoning of the entire parcel.

### **PROPOSED DEVELOPMENT**

The applicant is proposing a 3,062 square foot convenience store with a canopy area and 8 fuel pumps. Fifteen parking spaces are proposed, and two access points are proposed which are to be right in and right out on Lee Highway as well as on Cloverdale Road, as the proposed reconstruction will add non-crossable concrete medians.

### **ARCHITECTURAL RENDERINGS AND LAYOUT**

While the elevations submitted as part of the signage package show a façade for the building and fuel canopy with more architectural detail than a typical convenience store and neutral color selection, there are components of the building materials that could be improved upon. In the preliminary comment letter, we noted our concern with certain building materials such as the fiber cement panel, the prefinished metal canopies and the anodized aluminum. In addition, when approaching the store from Lee Highway traveling towards Troutville, the view of the building will be the rear and right elevation, which can be seen in the Sign Package as a brick and cinderblock side with exterior cabinets for CO2 storage, metal doors, and a blackout window. Landscaping along this side of the building may provide screening.

No renderings or building materials are provided for the fueling pumps and canopy. The Planning Commission may consider conditions related to the elevations submitted as part of the sign package, and may wish to consider conditions related to the materials, design and signage of the fuel canopy.

When staff met with representatives for the applicant, we had suggested they provide us with images of this prototype as built in other locations, as they mention in their application that “7-Eleven is using an attractive an upscale prototype for this location. This prototype is commonly utilized in upscale, high traffic locations in the Mid-Atlantic region.” To date, we have not receive those images.

The applicant also states that the “7-Eleven site will be buffered and landscaped to provide an attractive and well-maintained development at this location.” The applicant noted that they intend to request a waiver to place landscaping required in the landscaping strip where parking is adjacent to the right-of-way elsewhere on the site. The Planning Commission may want to require additional landscaping as a condition of approval. In addition, conditions related to the material of the dumpster enclosure and screening may be imposed.

### **LIGHTING**

Staff requested that more detail be submitted about the lighting for the site and stated that the Planning Commission may propose certain types of light fixtures as a condition for approval. The applicant provided specifications on the fixtures proposed to be used and stated that additional detail will be provided at the site plan review stage.

**SIGNAGE**

Sec. 25-462. Sign standards and regulations governs the amount of signage permitted by each zoning district, as well as by the type of signs:

*Due to the unique nature of a SC, PUD, TND, POP or PIP involving various configurations of mixed uses, the signs permitted in these zoning districts shall be submitted as part of the overall development plan at the time of application for such use. The planning commission shall review the proposed regulations in regard to square footage, number of signs, architectural design, lighting, landscaping, height and setback, and other sign requirements.*

If this request is approved, the Planning Commission should require that a signage plan be adopted as a condition of this request. Staff suggests the following:

- A maximum amount of square footage should be required as a condition of this request. In keeping with other business zoning districts, staff recommends no more than 120 square feet of signage be permitted (251.81 square footage submitted).
- A monument sign which is in conformance with the sign ordinance should be required as a condition of this request, and free-standing, pole or ground-mounted signs should be excluded. The zoning ordinance limits monument signs are to 60 square feet in size, 10 feet in height, and they are to be setback 15 feet from the property line. Given the layout of this site as well the amount of property owned by VDOT, the Planning Commission could consider a condition that a monument sign be located only 10 feet from the property line.

The applicant submitted a sign package with the application. The submitted package is not in conformance with the Zoning Ordinance.

<i>Sign</i>	<i>Size</i>	<i>Max Permitted</i>	<i>Notes</i>
<i>Front Elevation Wall Mounted Sign</i>	44.7	70	1 square foot per linear foot of building frontage, up to 100 sf
<i>Citibank Window Sign</i>	3.2		16 sf or 25% of window area, whichever is less
<i>Right Elevation Wall Mounted Sign</i>	27.5	44	1 square foot per linear foot of building frontage, up to 100 sf
<i>Fuel Canopy (Logo Only)</i>	9		
<i>Fuel Canopy (Logo Only)</i>	9		
<i>Fuel Canopy (Logo Only)</i>	9		
<i>Window Vinyl</i>	Not provided		
<i>Monument sign</i>	149.41	60	12 feet tall (10 feet allowed), located in setbacks (15 feet)
<b>Total</b>	<b>251.81</b>		

In addition, there is an existing sign structure which is not being utilized on the property, and which is not subject to the SEP request, so the Planning Commission and Board cannot impose conditions. Staff inquired if there were plans for this to be removed, and the applicant states that there are currently no plans by 7-Eleven or the property owner to use the large sign.

**ADJACENT AND SURROUNDING USES / ZONING**

	<b>Zoning</b>	<b>Owner (Land Use)</b>
<b>North</b>	Business, B-2	BNE RESTAURANT GROUP IV LLC C/O RASH & ASSOC /Hardees Restaurant
<b>East</b>	Shopping Center	Mountain View Limited Company LLC /Shopping Center
<b>West</b>	Business, B-2	Preston David H. et als / Country Cookin’ Restaurant
	Business, B-2	RI CS3 LLC / Kangaroo Convenience Store
	Business, B-3	RYT LLC
<b>South</b>	Business, B-1	First National Exchange Bank

**2010 COMPREHENSIVE PLAN**

The 2010 Comprehensive Plan identifies future land uses in this area as Commercial.

*Commercial*

This category designates areas where commercial developments have occurred and where future commercial developments are encouraged. Public water and sewer is generally available or planned for these areas.

A rezoning from the Business (B-3) Use District, and from the Industrial (M-1) Use District to Shopping Center (SC) is consistent with the Commercial Future Land Use designation.

In addition, the Comprehensive Plan recommends strategies such as creating more distinctive and memorable gateways at points of entry to Botetourt County. Gateways should provide a sense of transition and arrival, and should be designed to make a strong and positive impact. Further “This type of approach is exemplified by the need for a more designed and attractive gateway at I-81 Exit 150.” The Gateway Corridor Design Quality should promote high quality development along gateway corridors to improve aesthetics and encourage higher levels of investment. Design of new development should contribute to the overall visual quality of the corridor and define the street space.

This property is located in the area identified by the Board of Supervisors as The Gateway Center in their Botetourt 2040 Vision:

***The Gateway Center***

*Exit 150 is a gateway not only to Botetourt County, but to the entire Roanoke Valley, the Shenandoah Valley, Central Virginia, and the Virginia Highlands. It is the starting point for visitors in search of scenic beauty, history, culture, outdoor adventures, and shopping. Economic development and land use policies and programs facilitate the area as a destination all its own. It is a nucleus of premier retailers, restaurants, and entertainment luring travelers off the highway and visitors from throughout the region. Through design and dedicated effort, it serves as the glue that economically and physically unites all areas of our county and that extends opportunity to all.*

As such, care should be given to ensure that the proposed use will be consistent with the goals and strategies outlined in the October 2015 *Exit 150 Market Study and Conceptual Master Plan*.

## **UTILITIES**

The subject property is served by public water and sewer.

## **TRAFFIC**

2013 VDOT traffic data indicates that on Route 220 and Route 220 Alternate, there is an Annual Average Daily Traffic (AADT) of 34,000 vehicles per day west of Lee Highway and approximately 18,000 vehicles per day east of Lee Highway and across the property frontage. On Lee Highway (Route 11) there are approximately 12,000 vehicles per day from Shadwell Drive to the intersection of US Route 11 and Cloverdale Road (ALT220) and 6,800 vehicles per day north of Cloverdale Road.

The Traffic Impact Analysis prepared by Ramey Kemp and Associates provides this information, as well as existing lane configurations, on page 7 (Figure 3).

## **VDOT**

VDOT comments are attached. The VDOT review of the Traffic Impact Analysis is still underway.

## **FIRE AND RESCUE**

The Troutville Fire and Rescue Station, located 2.6 miles north of the subject property, provides fire and rescue services to this property.

## **SCHOOLS**

The school system will not be impacted by this request.

## **PUBLIC COMMENT**

No public comments have been submitted at this time. Additional comments may be forthcoming at the public hearings.

## **PROPOSED PROFFERS**

The applicant submitted the following proffers; these proffers would govern development on the entire 1.781 acres.

1. The property will be developed in substantial conformance with the "Rezoning Concept Plan and Special Exception Permit Plan for 7-Eleven, Lee Highway and Cloverdale Road, Troutville, Botetourt County, Virginia" prepared by Bohler Engineering dated October 28, 2015.
2. The Developer shall install any and all turn lanes, tapers, traffic lights, pavement, widening, curbing, sidewalks and other road improvements required by VDOT for this project.
3. No more than five inoperative motor vehicles per lot will be stored on that portion of the property not subject to the special exception application.

However, the Planning Commission and Board of Supervisors can impose conditions on the property subject to the SEP request.

## **SUGGESTED CONDITIONS**

If approved, staff suggests the following conditions in addition to the proffered conditions as submitted by the applicant:

1. Prior to submittal of any site plans for review by the Department of Community Development, the property will be subdivided into two parcels as shown on the "Rezoning Concept Plan and Special Exception Permit Plan for 7-Eleven, Lee Highway and Cloverdale Road, Troutville, Botetourt County, Virginia" prepared by Bohler Engineering dated October 28, 2015 and described by the metes and bounds description on the concept plan.
2. There shall be no more than 120 square footage of signage on the lot.
3. Other than one monument sign not to exceed 60 square feet in size, and ten feet in height, no free-standing signs shall be permitted. Pole signs or ground-mounted signs are prohibited. The allowed monument sign should be set back from the right-of-way at least ten feet from the property line.
4. No temporary window signs are permitted.
5. The dumpster shall be gated and enclosed with a solid brick wall in color to match the building.
6. With the exception of the movie kiosk, the CO2 tank and propane cage, no outdoor vending machines or display of merchandise shall be permitted.
7. Any vacuum or air pump machines shall be screened with evergreen plant material, and shall be depicted on the final site plan.
8. The proposed building shall be constructed in substantial conformance with the elevations provided in the 7-Eleven signage plan submitted by Cummings Signs and dated November 5, 2015.
9. The gas canopy pillars shall be encased in brick in the same color of the building to a height of four feet.
10. A bike rack will be provided on premises.
11. The special exception permit shall be valid for a period of no longer than 24 months, unless, during such 24-month period: (1) a site plan is approved; (2) a building permit is obtained and the erection or alteration of a structure is started and diligently pursued, or (2) an occupancy permit is obtained and a use commenced. Such period of validity may be extended for good cause shown, by application to the body that approved the special exception permit.

## **DRAFT MOTIONS**

### **Text Amendment**

#### **Approval:**

I move that the text amendment to revise Section 25-284. District Requirements of the Botetourt County Zoning Ordinance to increase the maximum district size of the "neighborhood" type Shopping Center (SC) Use District from 9 acres to 12 acres, be forwarded to the Board of Supervisors with a recommendation of approval on the basis that the proposed text amendments are consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

#### **Denial:**

I move that the text amendment to revise Section 25-284. District Requirements of the Botetourt County Zoning Ordinance to increase the maximum district size of the "neighborhood" type Shopping Center (SC) Use District from 9 acres to 12 acres, be forwarded to the Board of Supervisors with a recommendation of denial for the following reasons...

...and on the basis that the proposed text amendment is NOT consistent with the comprehensive plan and the purposes and intent of the zoning ordinance.

**Approval for Rezoning:**

I move that the zoning map amendment for **RYT LLC** be forwarded to the Board of Supervisors with recommendation for approval with the following proffered conditions as submitted by the applicant and included in the staff report;

And on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Approval, with revisions, Rezoning:**

I move that the zoning map amendment for **RYT LLC** be forwarded to the Board of Supervisors with recommendation for approval subject to the following revisions to the concept plan and/or proffers [*list any recommended changes that are agreeable to the applicant*], on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Denial, Rezoning:**

I move that the zoning map amendment for the property of **RYT LLC** be forwarded to the Board of Supervisors with recommendation for denial on the basis that the requirements of Section 25-581(k)(4) of the Zoning Ordinance have not been satisfied due to the following reasons:_____

**Approval, SEP:**

I move that the special exception permit for a **Convenience Store with fuel for RYT LLC** be forwarded to the Board of Supervisors with a recommendation of (approval or approval with the following conditions)

- 1.
2. ....

And on the basis that the applicant has satisfactorily demonstrated that the proposed use will have little to no adverse effects upon the community or other properties in the vicinity of the proposed use or structures according to the Zoning Ordinance Section 25-583 and that the proposal would serve the public necessity, convenience, general welfare and is good zoning practice.

**Denial, SEP:**

I move that the special exception permit for a **Convenience Store with fuel for RYT LLC** be forwarded to the Board of Supervisors with a recommendation of denial. Based upon Zoning Ordinance Section 25-583 the following items have not been satisfied

- 1.
2. (list findings/reasons for denial)



BOTETOURT COUNTY, VIRGINIA

TM 101-176 RYT LLC/7-Eleven Requests





# COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION  
714 South Broad Street  
Salem, VA 24153

CHARLES A. KILPATRICK, P.E.  
COMMISSIONER

November 16, 2015

Ms. Nicole Pendleton  
Planning and Zoning Administrator  
County Of Botetourt  
5 West Main Street, Suite 100  
Fincastle, VA 24090

RE: Planning Commission Request—Rezoning B-3/M-1 to SC; Special Exception SC  
Request for Convenience Store and Gasoline Station  
Botetourt County  
Route 11, Lee Highway, Cloverdale, VA

Dear Ms. Pendleton,

We have reviewed the above mentioned rezoning and special exception request and offer the following comments:

1. A Land Use Permit will be required for the redevelopment and change in use of the existing entrance(s).
2. The VDOT Road Design Manual, Appendix F: Access Management Design Standards for Entrances and Intersections must be adhered to where applicable for commercial entrances. This includes but is not limited to commercial entrance spacing and intersection sight distance. The intersection sight distance must be field verified and measures taken to ensure the minimum required distances can be met.
3. The Traffic Impact Analysis was received by our office on November 6, 2015 and is currently under review. Comments/concurrence will be provided under a separate letter once the review is complete. Concurrence with the TIA must be issued by the Department before any approval of the development plans.
4. Depending on the planned dates of construction for this project, work shall be coordinated with the Department regarding the improvements associated with VDOT Project #0081-011-120, C502 to the intersection of Route 11 and Route 220 Alternate.

Ms. Nicole Pendleton

November 16, 2015

Page 2 of 2

Should you have any questions, please do not hesitate to call. Thank you.

Sincerely,



Brian K. Blevins, P.E.

Salem Area Land Use Engineer

VDOT, Transportation and Land Use

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