

**AGENDA**  
**BOTETOURT COUNTY BOARD OF SUPERVISORS**  
**TUESDAY, NOVEMBER 22, 2016**  
**GREENFIELD EDUCATION AND TRAINING CENTER**  
**ROOMS 226, 227, AND 228**  
**DALEVILLE, VIRGINIA 24083**  
**BEGINNING AT 12:45 P. M. (Closed Session)**  
**2:00 P. M. (Public Session)**

**I. Business Items:**

- Call to Order.
- Introduction of new employee and presentation of County watch to a retiring employee. (Vest/Farmer)
- Public comment period.

**II. Consent Agenda:**

1. Approval of minutes of the regular meeting held on October 25, 2016.
2. Approval of Additional Appropriations. (Zerrilla)
3. Approval of Accounts Payable and ratification of the Short Accounts Payable List. (Zerrilla)

**III. General Items:**

4. Consideration of an amendment to a Performance Agreement and authorization of a Purchase Agreement for the sale of real estate to Dynax America Corporation. (Moorman)
5. Ratification of the Director of Emergency Management's declaration to ban open burning in the County. (Fuqua/Larrowe)
6. Consideration of a resolution requesting that the General Assembly amend the Code of Virginia to allow all counties to levy a tax on cigarettes. (Larrowe)
7. Other Items:
  - Committee reports--
    - Greenfield Historic Preservation Advisory Commission (Sexton)

**IV. Appointments:**

8. A. The term of the Amsterdam District representative on the Planning Commission expires on January 1, 2017. This is a four year term.  
  
B. Ratification of the appointment of Colonel Bobby Russell as an at-large member of the Blue Ridge Behavioral Healthcare Board of Directors. This term will expire on December 31, 2018.

**V. Items at Specific Times:**

9. 12:45 P. M. Closed session to discuss personnel matters regarding specific individuals; the acquisition of real property for public uses or the disposition of publicly held real property where discussion in open session would adversely affect the bargaining position or negotiating strategy of the public body; discussion concerning a prospective business or industry or the expansion of an existing business or industry where no previous announcement has been made of the business or industry's interest in locating or expanding its facilities in the County; and consultation with legal counsel regarding specific legal matters as per Section 2.2-3711(A) (1), (3), (5), and (7) of the Code of Virginia of 1950, as amended.

## V. Items at Specific Times (cont.):

10. 2:30 P. M. Highway Department:
  - A. Monthly update report. (Hamm)
  - B. Consideration of resolution of support for an application by the Town of Fincastle for VDoT Revenue Sharing Program funds for a sidewalk improvement project. (Tickner)
11. 3:00 P. M. Presentation on The Advancement Foundation's program to increase small business start-ups/expansions. (Annette Patterson)
12. 3:15 P. M. Update on the 2016 General Election process. (Clark)
13. 3:30 P. M. Presentation on School System Energy Efficiency and Performance Contracting Opportunities. (Busher)
14. 4:00 P. M. Public hearing to amend the 2010 Comprehensive Plan to incorporate the Gateway Crossing Area Plan, update the Future Land Use Maps to incorporate new future land use designations in the Gateway Crossing (Interstate 81, Exit 150) study area, and to designate Urban Development Areas (UDAs) in accordance with Section 15.2-2223.1 of the Code of Virginia. (Pendleton)

The Planning Commission recommended approval of these amendments.

- 6:00 P. M. Public hearings:
  15. Amsterdam Magisterial District, Timberbrook Associates LLC, Timberbrook Associates X LLC, and GW Botetourt Commons LLC, request a Change of Proffers in the Shopping Center (SC) Use District to modify existing proffers which restricted the type, color, size, and font of signage, to develop a signage plan for the Botetourt Commons development located from 125 to 137 Commons Parkway (Route 1044); 20 to 56 Kingston Drive; and 100 to 124 Kingston Drive, Daleville, which are located 0.12 miles west of the Commons Parkway/Kingston Drive intersection and 0.09 miles north of the Commons Parkway/Kingston Drive intersection, identified on the Real Property Identification Maps of Botetourt County as Section 101(13), Parcels 2, and 5, and Section 101 (14), Parcel 7. (Pearson)

The Planning Commission recommended approval of this request.

16. Amsterdam Magisterial District, Ashley Investments, LLC, requests a Commission Permit in accord with §15.2-2232 of the Code of Virginia for the construction of a public road, in addition to a request for rezoning from an Agricultural (A-1) Use District to a Residential (R-1) Use District, with possible proffered conditions, on 32.081 acres of a 35.154-acre parcel for residential use at 2763 Trinity Road, Troutville. The development is proposed to be accessed via Scarlet Drive (Route 1129). This parcel is located approximately 0.45 miles south of the Roanoke Road (U.S. Route 220)/Trinity Road (State Route 670) intersection, identified on the Real Property Identification Maps of Botetourt County as Section 88, Parcel 82F. (Pendleton)

The Planning Commission recommended denial of this request.

Continue the meeting until 8:30 A. M. on December 9 or 10, 2016, in Room 229 of the Greenfield Education and Training Center for a strategic planning session.

**NOTE:** The **December** regular meeting will be held on Thursday, December 22, 2016, beginning at 2:00 P. M. in Rooms 226-228 at the Greenfield Education and Training Center.

The regular meeting of the Botetourt County Board of Supervisors was held on Tuesday, October 25, 2016, in Rooms 226-228 of the Greenfield Education and Training Center in Daleville, Virginia, beginning at 12:45 P. M.

PRESENT: Members: Mr. L. W. Leffel, Jr., Chairman  
Mr. Todd L. Dodson, Vice-Chairman  
Mr. John B. Williamson, III  
Dr. Donald M. Scothorn  
Mr. Billy W. Martin, Sr.

ABSENT: Members: None

Others present at the meeting:

Mr. Gary Larrowe, County Administrator  
Mr. David Moorman, Deputy County Administrator  
Mr. Michael W. S. Lockaby, County Attorney

The Chairman called the meeting to order at 12:47 P. M.

On motion by Mr. Leffel, seconded by Mr. Dodson, and carried by the following recorded vote, the Board went into Closed Session to discuss personnel matters regarding specific individuals; the acquisition of real property for public uses or the disposition of publicly held real property where discussion in open session would adversely affect the bargaining position or negotiating strategy of the public body; discussion concerning a prospective business or industry or the expansion of an existing business or industry where no previous announcement has been made of the business or industry's interest in locating or expanding its facilities in the County; and consultation with legal counsel regarding specific legal matters as per Section 2.2-3711A (1), (3), (5), and (7) of the Code of Virginia of 1950, as amended. (Resolution Number 16-10-02)

AYES: Mr. Williamson, Mr. Martin, Mr. Dodson, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

The Chairman called the meeting back to order at 2:06 P. M.

On motion by Mr. Leffel, seconded by Mr. Dodson, and carried by the following recorded vote, the Board returned to regular session from Closed Session and adopted the following resolution by roll-call vote. (Resolution Number 16-10-03)

AYES: Mr. Leffel, Mr. Dodson, Mr. Martin, Mr. Williamson, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

**BE IT RESOLVED**, that to the best of the Board members' knowledge only public business matters lawfully exempt from open meeting requirements and only such matters as were identified in the motion to go into Closed Session were heard, discussed or considered during the Closed Session.

Mr. Leffel welcomed everyone to the meeting and asked for a moment of silence.

Mr. Martin then led the group in reciting the pledge of allegiance.

Mr. Jim Farmer, Director of Parks and Recreation, then introduced Mr. Morgan Edwards and Mr. Zack Saunders to the Board as new Parks Maintenance staff members. He noted that Mr. Edwards has a two-year degree from Virginia Tech and previously worked at Radford University and Mr. Saunders previously worked at a local landscaping firm.

The Board welcomed Mr. Edwards and Mr. Saunders to employment with Botetourt County.

Mrs. Katherine Carter, Botetourt Unit Coordinator with the Cooperative Extension Service, then introduced Ms. Kathleen Reid to the Board. She stated that Ms. Reid was recently hired as the Agricultural and Natural Resources Agent for Roanoke and Botetourt counties. She noted that Ms. Reid's office will be located in Roanoke but she will serve the citizens of Botetourt County as well.

Mrs. Carter stated that Ms. Reid is originally from Indiana, received her Master's degree from Michigan State University, and has six years of experience in urban and rural gardening.

The Board welcomed Ms. Reid to the Roanoke Valley.

Ms. Reid stated that she is happy to be here and looks forward to working with the Roanoke and Botetourt communities.

Mr. Leffel stated that this is a good time for Ms. Reid to be working in Botetourt County due to our efforts to increase agricultural-related businesses.

After questioning by Mr. Williamson, Ms. Reid stated that she will be based at the Roanoke County Extension Service Office and will have meetings and appointments in Botetourt whenever necessary.

After questioning by Mr. Leffel, it was noted that there was no one present to speak during the public comment period.

There being no discussion, on motion by Mr. Leffel, seconded by Mr. Martin, and carried by the following recorded vote, the Board approved the following consent agenda items: (Resolution Number 16-10-04)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Approval of minutes of the regular meeting held on September 27, 2016;

Approval of minutes of the joint meeting with the School Board held on October 3, 2016;

Approval of the following transfers and additional appropriations:

Transfer \$927.64 to Sheriff's Department - Vehicle & Power Equipment Supplies, 100-4031200-31200-6009, from the various departments as follows for vehicle repairs at the County Garage:

\$ 15.79 Dep. Co. Admin-Rep. & Maint –Veh., 100-4012120-12120-3312  
 \$ 83.58 Devel. Svces.-Rep. & Maint.–Vehicles, 100-4081200-81200-3312  
 \$101.03 Animal Control – Veh. & Power Supp., 100-4035100-35100-6009  
 \$ 20.65 Sports Complex–Rep. & Maint.–Veh., 100-4071300-71300-3312  
 \$192.94 Maintenance –Rep. & Maint.–Vehicles, 100-4043000-43000-3312  
 \$275.01 Fire & EMS. – Rep. & Maint.–Vehicles, 100-4035500-35500-3312  
 \$ 39.40 General Svces.-Rep. & Maint.–Veh., 100-4040000-40000-3312  
 \$ 65.31 Parks & Rec. – Veh. & Power Supp., 100-4071100-71100-6009  
 \$ 57.18 Van Program–Rep. & Maint.–Vehicles, 100-4071500-71500-3312  
 \$ 67.25 Library – Repairs & Maint. – Vehicles, 100-4073100-73100-3312  
 \$ 9.50 Econ. Devel. – Veh. & Power Supp., 100-4081500-81500-6009

Transfer budgeted funds totaling \$334,064.99 from Tourism Department, 100-4081600-81600 to Economic Development Department, 100-4081500-81500. This will combine budget resources from each area into one department.

Transfer budgeted funds of \$300,000 from CIP – Industrial Site Infrastructure, 100-4094000-81510-9402-808, to Transfer to EDA, 100-4091800-91800-3800-000. These are reappropriated funds accumulated to support EDA payment obligations involving the Shell Building in Greenfield.

Additional appropriation in the amount of \$1,352.39 to the following Correction & Detention accounts: \$1,252.39 to Medical and Lab Supplies, 100-4033100-33100-6004; and \$100.00 to Uniforms, 100-4033100-33100-6011. These are medical co-pays and miscellaneous cost reimbursements.

Additional appropriation in the amount of \$85.83 to Dispatch – Uniforms, 100-4031400-31400-6011. This represents an expenditure reimbursement.

Additional appropriation in the amount of \$2,054.77 to Sheriff's Department – various accounts, 100-4031200-31200. These funds represent several cost reimbursements, including Forest Patrol, providing police services at events, and the sale of brass casings from the firing range.

Additional appropriation in the amount of \$1,732.50 to Sheriff's Department – RAID Patrol, 100-4031200-31200-5830. This is a quarterly reimbursement of RAID Program expenses for the Botetourt County Sheriff's Office Alternative Program.

Additional appropriation in the amount of \$125.00 to Library – Books and Subscriptions, 100-4073100-73100-6012. These are donated funds from the Bonsack Ruritan Club and the Tuesday Morning Club.

Additional appropriation in the amount of \$22,918.93 to Volunteer Fire & Rescue – County Volunteer Fire Depts., 100-4032200-32200-5641. This is an insurance claim reimbursement for damages to an apparatus.

Additional appropriation in the amount of \$1,540.00 to Volunteer Fire & Rescue – Part-Time Wages, 100-4032200-32200-1300. These are funds received for precept services.

Additional appropriation in the amount of \$1,599.00 to Volunteer Fire & Rescue – Instruction & Training, 100-4032200-32200-3180. These are funds received for EMT student books and testing fees.

Additional appropriation in the amount of \$25,000 to Volunteer Fire & Rescue – Capital Outlay – Other Capital, 100-4032200-32200-8012. These are funds received from Arkay Packaging Corporation.

Additional appropriation in the amount of \$6.93 to Library – Maintenance Service Contracts, 100-4073100-73100-3320. This is a refund check received from Canon Solutions.

Additional appropriation in the amount of \$58.50 to Deputy County Administrator – Convention & Education, 100-4012120-12120-5540. These are reimbursed funds regarding a Botetourt County Chamber of Commerce event.;

Approval of Accounts Payable and ratification of the Short Accounts Payable List; and

Approval of the following resolution congratulating the First Baptist Church of Cloverdale on their 150<sup>th</sup> anniversary:

**WHEREAS**, since 1866, the First Baptist Church of Cloverdale has been a valued member of the Cloverdale community and Botetourt County as a whole; and,

**WHEREAS**, the Church has offered assistance, guidance, and fellowship for its members and the community at large through good times and bad and has been a place for those in need to seek security and wisdom within its walls; and,

**WHEREAS**, the Church is celebrating its 150<sup>th</sup> anniversary in November 2016; and,

**WHEREAS**, this is an historic and noteworthy occasion for both the County and the congregation;

**NOW, THEREFORE, BE IT RESOLVED**, that the Board of Supervisors of Botetourt County extends the First Baptist Church of Cloverdale and its membership congratulations on its 150<sup>th</sup> anniversary and expresses its appreciation for the Church's past and future years of service to the Cloverdale community and Botetourt County.

Consideration was then held on approval of the FY 2017 reappropriation resolution. Mr. Tony Zerrilla, Director of Finance, stated that this reappropriation is to continue programs and capital equipment purchases begun in the FY 2016 budget that were not completed by the end of the fiscal year (June 30, 2016).

Mr. Zerrilla stated that this request totals \$224,163; \$132,000 for matching grant funds for the purchase of volunteer fire and rescue breathing apparatus, \$75,000 for a new ambulance which is on order, and \$17,163 to Correction and Detention for security system upgrades at the Regional Jail.

Mr. Zerrilla stated that there was approximately \$3.1 million remaining in the FY 16 General Fund budget balances as of June 30, and with the reappropriations approved by the Board over the past few months including today's requests, there is approximately \$595,565 remaining. Mr. Zerrilla stated that including Debt Service, Social Services, and School balances, \$913,213 in funds remain from the FY 16 budget allocation.

After questioning by Mr. Williamson, Mr. Zerrilla stated that these funds will remain in the General Fund.

Mr. Williamson further stated that with the Board having to consider reappropriation requests for the past four months due to the State's requirement that, if more than 1% of the total budget is rolled over into the next fiscal year that a public hearing be held, the General Fund Budget Committee and the staff should consider whether, if needed, to schedule a public hearing next year instead of several months' of reappropriation/rollover requests.

There being no further discussion, on motion by Mr. Williamson, seconded by Dr. Scothorn, and carried by the following recorded vote, the Board approved the following supplemental appropriation request for FY 2017. (Resolution Number 16-10-05)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Destination Acct #	Account Description	Amount	Explanation/Reason For
100-4032200-32200- 8005	Vol Fire & Res.-Cap Out.-Mtr. Veh. Equip.	\$132,000	Matching grant funds – breathing apparatus
100-4035500-35500- 8012	Fire & EMS-Cap. Outlay-Other Cap.	\$75,000	For ambulance on order
100-4033100-33100- 8001	Corr. & Detention – Cap. Outlay-Mach. & Equip.	<u>\$17,163</u>	FY16 invoices previously held
TOTAL	General Fund Operations	<u>\$224,163</u>	

Consideration was then held on a contract to purchase approximately 6 acres for the development of Eagle Rock Park along the James River. Mr. Jim Farmer, Director of Parks and Recreation, stated that in October 2015, the Board adopted a resolution in support of developing a greenway in Eagle Rock to be used in future grant applications. He further stated that in July 2016 the Board appropriated \$72,000 for a matching grant to purchase approximately 6 acres on the James River north of Eagle Rock owned by Jeremy Thomas.

Mr. Farmer stated that in September the County was awarded a \$72,000 grant for up to 50% of the appraised value of the property. He noted that the County has negotiated a contract for an agreed-upon sales price of \$90,000 for this property.

Mr. Farmer noted that the County Attorney has reviewed this contract and staff is recommending Board approval of this agreement.

After questioning by Mr. Williamson, Mr. Farmer stated that incidental costs, including a phase 1 environmental review (\$6,000), for this property's purchase will be approximately \$24,500. He noted that the incidentals will be paid out of the balance of the \$72,000 after the County's one-half of the purchase price (\$45,000) is deducted.

Mr. Leffel stated that he appreciated the work done by Mr. Farmer to negotiate this property's purchase as it will be a great asset for Eagle Rock and the James River.

There being no further discussion, on motion by Mr. Leffel, seconded by Mr. Dodson, and carried by the following recorded vote, the Board accepted the sales contract for the purchase of approximately 6 acres from Mr. Jeremy Thomas [Tax Map 27B (2), Parcels 2, 2A, 2B and 2C] and authorized the County Administrator to sign the contract on the County's behalf, upon final review and approval by the County Attorney. (Resolution Number 16-10-06)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Consideration was then held on a resolution of support for Scenic River designation for the James River between Iron Gate and Eagle Rock. Mr. Jim Farmer, Director of Parks and Recreation, stated that the Scenic River program began in 1970 to encourage protection and preservation of the State's rivers. He noted that this designation constitutes official recognition of value and provides a measure of protection not afforded other rivers. Mr. Farmer stated that this designation does not give the State control over land use and carries no land use controls.

He noted that the section of the James River from Eagle Rock to Springwood received scenic designation in 1985 and the County approved a resolution of support in August 2016 that the section from Springwood to the Botetourt/Rockbridge County line be designated as a Scenic River by the Virginia General Assembly.

Mr. Farmer stated that in September 2016 the County requested that the Virginia Department of Conservation and Recreation (DCR) evaluate the 14 mile section of the James River from Iron Gate to Eagle Rock to ascertain whether it meets the criteria for Scenic River designation. He noted that this review was completed and received a favorable recommendation from DCR and a resolution in support has been drafted to this effect for the Board's consideration today.

Mr. Farmer noted that, if approved, the Virginia General Assembly will be requested to amend State Code Section 10.1-413A to include the entire length of the James River from Iron Gate to the Botetourt/Rockbridge County line as a Scenic River during their 2017 session.

There being no discussion, on motion by Mr. Leffel, seconded by Mr. Dodson, and carried by the following recorded vote, the Board adopted the following resolution in support of the extension of the Scenic River designation for the James River from Iron Gate to Eagle Rock and requesting that the Virginia General Assembly amend Section 10.1-413A of the Code of Virginia to include the entire length of the James River from Iron Gate to the Botetourt/Rockbridge County line as a Scenic River.

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Resolution Number 16-10-07

**WHEREAS**, the Virginia Scenic Rivers Program was enacted by the Virginia General Assembly in 1970 for the purpose of identification, protection, and preservation of certain rivers, or sections of rivers, which possess high quality natural beauty; and

**WHEREAS**, the Virginia Department of Conservation and Recreation has been charged with administering the Scenic Rivers Program and developing an objective evaluation process to judge the suitability of river segments; and

**WHEREAS**, the James River in Botetourt County from Eagle Rock to Springwood received Scenic River Designation in 1985; and

**WHEREAS**, the Town of Buchanan and Botetourt County asked the Virginia Department of Conservation and Recreation to evaluate the 14-mile length of the James River in Botetourt County from Springwood to the Botetourt/Rockbridge County line for consideration of extending the existing designation of this section as a Scenic River as enabled by the Code of Virginia; and

**WHEREAS**, Botetourt County subsequently asked the Virginia Department of Conservation and Recreation to evaluate the 16-mile length of the James River in Botetourt County from Iron Gate to Eagle Rock for Scenic River Designation as enabled by the Code of Virginia; and

**WHEREAS**, the Department of Conservation and Recreation conducted the evaluation and determined both sections of the James River meet the criteria for Scenic River designation; and

**WHEREAS**, the Board of Supervisors would like to pursue formal designation through this process, which requires a resolution of support from the Board of Supervisors and a request to the Virginia General Assembly to amend the Code of Virginia to include this extension;

**NOW, THEREFORE, BE IT RESOLVED THAT**, the Botetourt County Board of Supervisors supports the formal designation of the extension of the Scenic River designation for the James River from Springwood to the Botetourt/Rockbridge County line, and from Iron Gate to Eagle Rock, and hereby requests the Virginia General Assembly to amend VAC 10.1-413 A, *James River State Scenic River* to this effect.

Consideration was then held on a resolution declaring November 26, 2016, as "Small Business Saturday." Mrs. Dolores Vest, with the Botetourt County Chamber of Commerce, stated that the Chamber is requesting that the Board adopt a resolution declaring November 26 as "Small Business Saturday" in the County. She noted that a majority of the County's businesses have 20 employees or less.

Mrs. Vest stated that the "Small Business Saturday" designation began several years ago to encourage citizens to shop small and shop local on the Saturday after Thanksgiving. Mrs. Vest stated that she will be working with area Chambers of Commerce and local businesses to publicize this event.

She requested that the Board adopt the resolution declaring November 26 as "Small Business Saturday."

There being no discussion, on motion by Mr. Williamson, seconded by Mr. Martin, and carried by the following recorded vote, the Board adopted the following resolution declaring November 26, 2016, as "Small Business Saturday."

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Resolution Number 16-10-08

**WHEREAS**, Botetourt County believes that small businesses are the backbone of our economy and the glue that holds communities together; and

**WHEREAS**, small businesses employ 90 percent of the employees in the private sector in Botetourt County;

**WHEREAS**, Botetourt County supports our local businesses that create jobs, boost our local economy, and preserve our neighborhoods; and

**WHEREAS**, a majority of consumers agree it is important to support the small businesses they value in their communities; and

**WHEREAS**, the Botetourt County Chamber of Commerce, along with advocacy groups and public and private organizations across the country have endorsed the Saturday after Thanksgiving as Small Business Saturday; and

**WHEREAS**, residents of our community, and communities across the country, are being asked to support small businesses and merchants on Small Business Saturday and throughout the year;

**NOW, THEREFORE**, the Botetourt County Board of Supervisors do hereby proclaim November 26, 2016, as:

***“Small Business Saturday”***

And that Botetourt County:

- supports the designation of a “Small Business Saturday”; and
- supports efforts—
  - to encourage consumers to shop locally; and
  - to increase awareness of the value of locally owned small businesses and the impact of locally owned small businesses on the economy of Botetourt County.

Consideration was then held on a request to advertise for a public hearing on proposed text amendments to Chapter 25. Zoning of the Botetourt County Code to permit residential units above business uses in certain zoning districts. Mr. Drew Pearson, County Planner, stated that the Planning Office received a request from Mr. Tim Lucas, owner of Downhome Pharmacy, that the Board consider a Zoning Ordinance amendment to create a use category that would allow residential units to be located above commercial development within certain zoning districts. Mr. Pearson stated that Mr. Lucas is interested in constructing a new building to house his pharmacy at the entrance to the Cottages of SteepleChase off of Read Mountain Road and would like to develop residential units on the second floor of this structure.

Mr. Pearson stated that the Planning Office staff has reviewed this request and believe that it is a good opportunity to review the Zoning Ordinance to determine the viability of allowing different housing options in the County. He noted that the staff has drafted some preliminary ordinance language and believe that these proposed amendments would be available for consideration by the Planning Commission and Board in December.

After questioning by Mr. Dodson and Mr. Williamson regarding the safety issues of having residential units located above commercial businesses, Mr. Pearson stated that he has worked with these types of uses in the past. He noted that any project of this type, whether new construction or the retrofit of an existing structure, would be considered a change in use and all appropriate building permits would have to be obtained. He noted that the Building Official's

review of these permit applications would include whether the proposal is in compliance with the appropriate building and fire codes which includes requirements for appropriate fire separation between the two uses.

After questioning by Mr. Williamson, Mr. Pearson stated that the wording of these ordinance amendments on whether to allow residential uses above commercial properties through a Special Exceptions Permit (SEP) process would be based on the Supervisors' preferences. He noted that this use could be considered "by right" in the Business B-1 and B-2 Use Districts and then, for example, considered as a SEP in the Shopping Center and Traditional Neighborhood Districts.

After discussion, Mr. Pearson stated that the safety of allowing residential and commercial uses in the same structure would be ensured through the County's building and fire codes during the plan review process. Mr. Pearson noted that he previously worked on several such projects and the building codes are stringently involved in the building permit review and approval process.

After questioning by Mr. Dodson, Mr. Pearson stated that the staff have developed a rough draft of these proposed Zoning Ordinance amendments based on Mr. Lucas' request. He further stated that staff is requesting permission from the Board to move forward with development of these Zoning Ordinance text amendments and the public hearing process.

Dr. Scothorn stated that he has discussed this request with Mr. Lucas. Dr. Scothorn stated that the County needs additional housing options for new residents.

Mr. Leffel suggested that the staff and Board members consider the "big picture" issues with these proposed ordinance amendments and their potential impacts on the entire County and not just on Mr. Lucas' specific request. Mr. Leffel stated that he would like to be assured that the staff has done their due diligence in drafting these proposed amendments.

Mr. Pearson stated that he and Nicole Pendleton, Planning Manager, have discussed these amendments and will conduct further review of whether this proposed use would be suitable in other zoning districts. He noted that they do not believe that it will take long to draft these amendments.

There being no further discussion, on motion by Dr. Scothorn, seconded by Mr. Martin, and carried by the following recorded vote, the Board directed staff to advertise for a public hearing at the December regular Planning Commission meeting and, with Planning Commission action, the Board of Supervisors' December regular meeting on proposed amendments to Division 9 – Business District B-1 Section 25-222. Permitted Uses and other applicable sections of the Zoning Ordinance to permit residential units above commercial developments within certain zoning districts. (Resolution Number 16-10-09)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Mr. Williamson stated that he thinks that this is a great idea but it will be a big change for the County to allow residential dwellings in B-1 and B-2 Use Districts. He requested that the Supervisors receive a draft copy of the proposed amendments as soon as they are available.

After questioning by Mr. Dodson, Mr. Pearson stated that the rough draft of these amendments has not yet been forwarded to the County Attorney for his review and input but this will be done now that the Board has directed staff to proceed with Mr. Lucas' text amendment request.

Mr. Dodson stated that he likes the idea of residential uses located above commercial entities but wants to ensure that it is done right.

A public hearing was then held on the removal of language from the Diamondback Subdivision, Section 1, plat regarding the potential acceptance of British Woods Drive into the State Secondary System of Highways. Mr. Kevin Shearer, General Services Manager, stated that as reviewed with the Board last month, British Woods Drive (Route 1010) runs through British Woods and Diamondback Subdivisions, both of which were developed in the 1970s/1980s. He stated that the portion of this road in British Woods Subdivision is currently in VDoT's Secondary System of Highways; however, the approximately one mile section in Diamondback is a private road.

Mr. Shearer stated that the Diamondback property owners have requested that the road be accepted into the Secondary System for ownership and maintenance; however, the "Notes" section on the 1981 plat contains language ("NOTE: Street Right-Of-Way is not presently in the Secondary System of the State Highway Department and will not be taken into such system until it has been brought up to the standards for such highways set by the State Department of Highways. The cost of bringing such Right-of-Way up to such standards shall be the responsibility of the developer of the parcels or the owner of the parcel or both.") that bringing the right-of-way up to VDoT standards is the responsibility of the landowners. He noted that this language prevents the road from being eligible for improvements under VDoT's Rural Addition funds program.

Mr. Shearer stated that the landowners have requested that this language be removed from the plat. He noted that the Virginia General Assembly recently approved Section 55-50.4 of the Code of Virginia which allows private roads such as this section of British Woods Drive to be eligible for State funding to bring the roadway up to current VDoT standards and be accepted into the Secondary System. He further noted that this State Code Section requires that 100% of the property owners on this private section of road agree to amend the plat to remove the recorded limitation on use of State funds and the County has received signed Deeds of Consent from all of the landowners in the subdivision to this effect.

Mr. Shearer stated that the plat also contains contradictory language as follows: "NOTE: Street Right-of-Way hereby dedicated to the State Department of Highway." He stated that typical language on such plats is that the right-of-way is dedicated to the "County" for road use and, by removing this language, the property becomes eligible for Rural Addition funds and can be turned over to the VDoT after it is upgraded.

Mr. Shearer stated that a public hearing on this plat vacation request has been duly advertised as per Section 15.2-2272 of the Code of Virginia. He requested that the Board open the hearing and allow any citizens present to speak and, if agreeable, adopt the "Ordinance of Vacation" as drafted by the County Attorney.

Mr. Williamson stated that this has been a "long road" to travel to have this road eligible for funding and future acceptance into the VDoT Secondary System.

After questioning by Mr. Leffel, it was noted that there was no one present to speak regarding this request. The public hearing was then closed.

On motion by Dr. Scothorn, seconded by Mr. Dodson, and carried by the following recorded vote, the Board adopted the following "Ordinance of Vacation" pertaining to the removal of two "Notes" from the Diamondback Subdivision, Section 1, plat and authorized staff to enter into discussions with VDoT to determine the next and best steps to proceed with upgrading the

private road using VDoT funds for the ultimate purpose of acceptance of the roadway into the VDoT Secondary System of Highways.

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

Resolution Number 16-10-10

**WHEREAS**, the plat of Section 1 of the Diamondback Subdivision was duly recorded in Plat Book 10, Page 105 in the Clerk's Office of the Circuit Court of Botetourt County on July 9, 1981; and,

**WHEREAS**, said plat contains notes reading:

NOTE: Street Right-Of-Way is not presently in the Secondary System of the State Highway Department and will not be taken into such system until it has been brought up to the standards for such highways set by the State Department of Highways. The cost of bringing such Right-of-Way up to such standards shall be the responsibility of the developer of the parcels or the owner of the parcel or both.

And,

NOTE: Street Right-of-Way hereby dedicated to the State Department of Highways.

Which plat notes must be removed; and,

**WHEREAS**, in accordance with § 55-50.4 of the Code of Virginia, 1950, as amended, all landowners in the subdivision have consented to the removal of the note regarding responsibility for improvement of the road in the Diamondback Subdivision to State standards, and by resolution dated September 27, 2016, the Board of Supervisors has accepted same; and,

**WHEREAS**, a public hearing has been advertised and held as required by law and the Botetourt County Board of Supervisors has maturely considered all public comments,

**NOW, THEREFORE BE IT RESOLVED AND ORDAINED THAT:**

The plat notes are hereby vacated; and

The Clerk of the Board of Supervisors shall cause a certified copy of this ordinance to be recorded in the deed books in the Clerk's Office of the Circuit Court of Botetourt County, Virginia, and indexed appropriately in the Grantor's and Grantee's Index.

Mr. Brian Blevins, Area Land Use Engineer with the Virginia Department of Transportation, was then present to speak to the Board.

In reviewing the monthly report, Mr. Blevins stated that the project to replace two narrow bridges on Route 220 north of Eagle Rock is in the beginning stages. He noted that work is being done to install construction signs and environmental controls, construct field office entrances, staging/borrow area, clearing and grubbing, etc. Mr. Blevins stated that work continues on the I-81 bridge repair projects over the James River and Tinker Creek near Troutville. Regarding the Exit 150 project, he noted that base pavement has been installed on Gateway Crossing. Mr. Blevins stated that it is too early to know when the new roadway will be open to traffic; however, the project is moving along and is almost on schedule.

Mr. Blevins stated that work continues on the bridge at the Route 779/672 intersection and the estimated completion date is November/December 2016. He further noted that a majority of the paving work scheduled in the County this year has been completed and the sweeper should be out beginning in the first week of November to sweep gravel off of the roadways.

Mr. Blevins noted that VDoT is conducting a second review of Roanoke Gas's land development/land use permit to upgrade its gas lines in the County. He further noted that two private entrance, 5 utility, and 1 special event permits were issued by VDoT in the past month. Mr. Blevins stated that VDoT staff is continuing with pavement patching work on Brugh's Mill Road, Blue Ridge Turnpike, Farmer's Road, and Breckinridge Mill Road, as well as tree trimming and mowing along secondary roadways. He also stated that signage warning drivers about areas along Route 640 (Lithia Road) being prone to flooding have been installed.

After questioning by Mr. Martin, Mr. Blevins stated that VDoT personnel reviewed the McFalls Road project two weeks ago. He noted that they hope to begin work on the roadway this year with construction/paving scheduled for next summer. Mr. Martin asked that he be kept informed about this project.

Mr. Williamson thanked VDoT for the pavement improvements along the shoulders of Brugh's Mill Road, Blue Ridge Turnpike, and Farmer's Road. He then questioned the status of the environmental review of Lithia Road.

Mr. Blevins stated that this study has been prepared; however, VDoT personnel are still reviewing and finalizing the report. He noted that the report includes options for roadway improvements from minimal impacts up to a more substantial project with costs varying from \$200,000 to \$2 million based on the alternatives.

After further questioning by Mr. Williamson, Mr. Blevins stated that VDoT personnel are still reviewing possible funding sources for this project.

Mr. Williamson stated that Trevey Road was again washed out during the heavy rains a couple of weeks ago. He noted that there is now a 30" drop-off in the shoulder/ditch area along sections of this gravel roadway. Mr. Williamson stated that he believes that the road should be designated a one-way street with turnouts installed for vehicles to pass each other.

After discussion, Mr. Blevins stated that it would probably be a couple of years before money was available to do any significant work on Trevey Road.

Mr. Williamson then requested that a pothole on the left-hand side of Old Hollow Road coming from the Route 11 end be repaired. Mr. Williamson also asked that VDoT review a sight distance issue at the Poor Farm Road/Springwood Road intersection and determine whether the dirt bank on the left-hand side of the intersection could be cut back 12" – 18" to improve driver visibility of traffic coming toward Fincastle from Springwood.

Mr. Blevins stated that he will have their staff review the sight distance at this intersection.

Mr. Dodson then stated that he appreciates VDoT's work in the County. He noted that the monthly report does not include an update listing for the Route 220 traffic study from Greenfield to Route 460.

Mr. Blevins stated that he will obtain the necessary information and have this traffic study update included on the next monthly report.

Mr. Leffel stated that it is nice to see work beginning on the Route 220 safety improvement project north of Eagle Rock.

There being no further discussion, the Board thanked Mr. Blevins for his report.

Consideration was then held on various appointments.

It was noted that, due to term limits, Mrs. Wanda Wingo is not eligible for reappointment as the Blue Ridge District representative on the Library Board of Trustees. It was noted that Mr. Scot Finley has been contacted and he is willing to be appointed to this position.

Mr. Martin noted that Mr. Finley is present at today's meeting.

On motion by Mr. Martin, seconded by Mr. Williamson, and carried by the following recorded vote, the Board appointed Mr. J. Scot Finley of 191 White Oak Drive, Blue Ridge, Virginia 24064, as the Blue Ridge District representative on the Library Board of Trustees for a four year term to expire on December 31, 2020, and directed staff to send a letter to Mrs. Wanda Wingo thanking her for her eight years of service on the Library Board. (Resolution Number 16-10-11)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

It was noted that Ms. Judith Barnett has declined to serve on the Greenfield Historic Preservation Commission and the County had received a letter from the Botetourt County Historical Society requesting that Ms. Cheryl Sullivan Willis be appointed to fill this vacancy.

On motion by Mr. Dodson, seconded by Mr. Leffel, and carried by the following recorded vote, the Board appointed Ms. Cheryl Sullivan Willis of 1853 Roanoke Road, Daleville, Virginia 24083 to the Greenfield Historic Preservation Commission. (Resolution Number 16-10-12)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

On motion by Mr. Leffel, seconded by Mr. Dodson, and carried by the following recorded vote, the Board reappointed Mrs. Donna Henderson as the County's representative on the Blue Ridge Behavioral Healthcare Board of Directors for a three year term to expire on December 31, 2019. (Resolution Number 16-10-13)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

The Chairman then called for a 10 minute break.

The Chairman called the meeting back to order at 3:03 P. M.

Mr. Charlie Johnson, Development Manager with Apex Clean Energy, was then present to provide an update on the Rocky Forge wind farm project. Mr. Johnson stated that to date they have been very busy in following through on the State and federal permitting process for this facility. He noted that the Virginia Department of Environmental Quality (DEQ) has been the State's point of contact during this permitting process, along with several of their "sister agencies."

Mr. Johnson stated that a supplemental public comment period was implemented based on new information received and this should be completed within a couple of weeks. He noted that the minimal environmental impact report should be completed by January 27, 2017 and they have received approval of their fish and wildlife plans from the Department of Game and Inland Fisheries. Mr. Johnson stated that they are also working with the Army Corps of Engineers and the Virginia Resources Commission on reviews of the project's impact, as well as with VDoT on the needed improvements to State Route 622 (Dagger Spring Road). He noted that VDoT requirements are more stringent than on their previous projects.

After discussion, Mr. Johnson stated that they are still waiting on a determination from the Federal Aviation Administration on the project's impact on air traffic but they expect to receive a response soon. He further stated that Apex continues to comply with the County's

conditions on their Special Exceptions Permit for this project. He noted that there are four meteorological towers on the site and they continue to take wind measurements for their use in evaluating this site.

Mr. Johnson stated that this is a large investment for Apex and they have been working hard to find a purchaser of the electrical power that will be generated by this project. He stated that they continue to refine the project and noted that there are a “lot of pieces” involved in trying “to maintain their schedule.” Mr. Johnson stated that they are on schedule for commercial operations to begin in 2018 with construction anticipated to start in 2017. He noted that this is a little later than what was originally anticipated; however, this is the first commercial wind project in the State and the review and permitting process is taking longer than anticipated.

Mr. Johnson stated that they continue to believe that this is a great project for the County and the State.

After questioning by Mr. Williamson, Mr. Johnson stated that the turbines should be delivered in the summer of 2017 with commercial generation of electricity to begin in October 2018.

There being no further discussion, the Board thanked Mr. Johnson for this update.

Consideration was then held on a request to advertise for a public hearing to amend the Comprehensive Plan to incorporate Urban Development Areas (UDAs) and the Gateway Crossing Area Plan. Mrs. Nicole Pendleton, Planning Manager, stated that through various studies and plans, an assessment has been ongoing for two years to determine the development potential and vision for how the Exit 150 area could develop over time through infill and redevelopment.

She noted that two immediate action plans were realized in the Exit 150 Market Study and Conceptual Land Use Plan’s implementation strategies: update the Comprehensive Plan to incorporate the Gateway Crossing vision including the Future Land Use Map, and update the Zoning Ordinance to align the development regulation with the vision.

Mrs. Pendleton stated that Renaissance Planning was hired in June 2016 to conduct this study after the County’s receipt of \$65,000 in technical assistance funds from the Virginia Office of Intermodal Planning and Investment (OIP). She noted that field visits and stakeholder meetings were held to obtain public comment on the issues and needs for the Exit 150 area. Mrs. Pendleton noted that over 60 people attended the stakeholder meeting held in September.

Mrs. Pendleton requested authorization for a public hearing at the Board’s November regular meeting to amend the Comp Plan to incorporate the Gateway Crossing Area Plan and designate UDAs at Exit 150 and Daleville Town Center. She noted that the outcome of this process is to have an area plan that takes the concept for Exit 150 and turns it into a policy framework for a walkable and bikeable community.

After discussion, Mrs. Pendleton further noted that staff believes that both the Gateway Crossing and Daleville Town Center areas should be considered as UDAs. She stated that, once the Comp Plan is amended, staff will then work with Renaissance Planning to develop Zoning Ordinance amendments to incorporate the Plan’s updates into enforceable regulations.

Mrs. Pendleton stated that the consultant also reviewed the County’s future growth potential; however, this review did not include the repercussions of the recent economic development announcements, i.e., Eldor Corporation, Ballast Point, and the Community College System’s Shared Services Center.

She stated that, in addition to the amendments to the Future Land Use Maps, an additional public hearing will be required to designate two separate UDAs—Daleville Town Center consisting of 185 acres, and Gateway Crossing consisting of approximately 741 acres.

After questioning by Mr. Williamson, Mrs. Pendleton stated that she hopes that there will be another round of State funding available in the future to assist the Towns in the UDA development process.

Mrs. Pendleton stated that the Exit 150 Market Study was used to create the vision for this area. She noted that the area was divided into 4 quadrants—north, south, east and west.

Mrs. Pendleton stated that feedback from the public meetings included a request for better access and connection between the Appalachian Trail and the regional greenway system, more affordable housing, more commercial businesses, Route 220 access management, and a continuation of the focus on tourism and landscaping.

She stated that the Study's goals are to develop a mixed use center, walkable areas, and unlock new development opportunities by providing street access on Routes 220 and 11. Mrs. Pendleton then reviewed the Study's details for each of the four quadrants including layout out concepts for general land use, transportation, and design features.

She noted that the north quadrant includes the land on both sides of Route 220 from Tinker Mountain Road to Commons Parkway. She further noted that the proposal includes a mixed-use neighborhood including commercial, a trail along Route 220 from Gateway Crossing to Daleville Town Center, and an improved Park and Ride facility.

After questioning by Mr. Williamson, Mrs. Pendleton stated the options for Appalachian Trail hikers to cross Route 220 include the potential for a lighted crosswalk, a resting median in the middle of the northbound and southbound lanes of traffic, or a pedestrian bridge over the entire roadway.

Mrs. Pendleton stated that the west quadrant between the Appalachian Trail and I-81 is proposed to consist of a mixed use residential area; however this area needs improved vehicular access. She noted that the consultant suggested that an extension of Commons Parkway could be developed to allow better access to this property or some other access route that does not involve Tinker Mountain Road. Mrs. Pendleton noted that there is the potential for a waiver to be obtained from VDoT regarding the addition of intersections on Route 220 as shown in the proposed plan.

Mrs. Pendleton stated that the east quadrant includes the property from I-81 to the Norfolk Southern Railroad and Alternate 220 including Gateway Crossing. She noted that this area is proposed to include a mix of uses including high-density commercial, trails, and additional lighting and landscaping. Mrs. Pendleton further noted that it is proposed that Gateway Crossing be extended southward across Alternate 220 to Old Route 604 in order to keep the commercial properties to the east and south of I-81.

She stated that the south quadrant is the area between Alternate 220 and I-81 and south to Simmons Industrial Park and includes the existing industrial/commercial/shopping center properties. She further stated that the market study suggested that the large undeveloped parcel between Route 11 and I-81 could be a hospital, corporate headquarters, or destination retail outlet.

After questioning by Mr. Williamson, Mrs. Pendleton stated that the Exit 150 Study did not include review of a potential greenway under I-81 and Route 11 south along Tinker Creek.

Mr. David Moorman, Deputy County Administrator, stated that this trail is a possibility being explored via staff participation in greenway planning but there is a concern regarding availability of easements for the use as a greenway.

After further discussion, Mrs. Pendleton requested that authorization be given for staff to advertise these Comprehensive Plan amendments, which include the Gateway Crossing Plan, designation of the Urban Development Areas, updates to the "Trends" section, and various maps, for public hearing at the November PC and Board meetings.

She noted that, with these proposed amendments, the County is in compliance with the State requirements to update the Comprehensive Plan every five years. She noted that the staff will continue to review possible updates to the Comp Plan over the next few months including future land use and housing. Mrs. Pendleton stated that these updates, which are to keep the Comp Plan "alive and functioning," will include scheduling community meetings to obtain citizen input.

After discussion, Mrs. Pendleton stated that staff will receive a "high-level" analysis by the end of the year from the consultants on new Zoning Ordinance definitions and zoning map amendments to correspond to the Comp Plan updates. She noted that major amendments to the commercial zoning districts are anticipated.

After questioning by Mr. Williamson, Mrs. Pendleton stated that staff may review the zoning maps and the Zoning Ordinance changes together; however, this will be determined based on the timing and the costs to do so. She further stated that updating the Comprehensive Plan would "drive" updates to the Zoning Ordinance. She noted that the Gateway Crossing Overlay District may have different regulations such as setbacks, parking, landscaping, access, etc., than other zoning districts.

After further discussion by Mr. Williamson, Mrs. Pendleton stated that the staff and consultant will consider all options to determine what is most appropriate to meet the County's needs.

There being no further discussion, on motion by Mr. Dodson, seconded by Mr. Williamson, and carried by the following recorded vote, the Board directed staff to advertise for a public hearing at the November regular Planning Commission meeting and, with Planning Commission action, the Board of Supervisors' November regular meeting, on proposed amendments to the Botetourt County Comprehensive Plan to incorporate the Gateway Crossing Area Plan and designate Urban Development Areas in accordance with the Section 15.2-2223.1 of the Code of Virginia. (Resolution Number 16-10-14)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

After questioning by Mr. Williamson, Mr. Ken McFadyen, Economic Development Director, stated that a kick-off meeting with the consultant and County staff on the housing study was held last week. He noted that a lot of data was received from the marketing study that was updated 2015. Mr. McFadyen stated that a listing of available areas where additional housing could be constructed was created; however, potential development of these properties is dependent on the availability of utilities. Mr. McFadyen anticipated that the consultant's report would be available for staff review in approximately 30 days.

Mr. Williamson stated that the housing study information is an important component of the Board's strategic planning process. He noted that it has been two years since the Board

adopted this plan and he believes that Mr. Dodson has been in discussions with the County Administrator about scheduling a one-half day meeting of the Board and staff to discuss the status of these projects and what updates are needed.

Mr. Larrowe stated that he is in the process of scheduling a meeting with County staff to begin planning for this session. He noted that it is anticipated that this session would be scheduled in December.

Mr. Larrowe then stated that some of the Board of Supervisors members will be attending the Virginia Association of Counties annual meeting at The Omni Homestead in Bath County in early November. He noted that it is possible that some County business may be discussed during this conference.

Mr. Williamson then suggested that the County contact Roanoke County and Roanoke City to see if there are any topics in their 2017 legislative agendas that the County could provide endorsement or support for with our General Assembly representatives.

Mr. Larrowe stated that he will discuss joint issues of concern with the Roanoke County Administrator and Roanoke City Manager. He noted that the County had sent letters to Senator Steve Newman and Delegates Terry Austin and Chris Head a couple of months ago requesting a State funding/taxation option to provide monies for improvements along the I-81 corridor similar to those implemented in the eastern part of the State and northern Virginia.

Mr. Larrowe stated that he knows that transportation funding is a top priority for some of the Roanoke Valley localities. He noted that the Board's resolution regarding a designated funding stream for I-81 improvements was forwarded to the I-81 Corridor Coalition based in Blacksburg for dissemination to their members.

After questioning by Dr. Scothorn, Mr. Larrowe stated that the County will notify the residents of Diamondback Subdivision regarding the Board's action vacating language from the development's recorded plat. He noted that the next step in this process is to work toward having this roadway brought up to VDoT standards for future consideration of acceptance into the Secondary System for maintenance.

After questioning by Mr. Dodson, Mr. Cody Sexton, Information Specialist, stated that the Greenfield Historic Preservation Commission held their first meeting on October 11 and reviewed the group's project guidelines and charge of action. He noted that the Commission has agreed to the idea of hiring a consultant to provide a menu of options for the future development of Greenfield preservation area including developing a fundraising plan for site improvement costs.

Mr. Sexton stated that the group's next meeting is scheduled for November 15 on-site as some of the members have not visited the property. He noted that the deadline for completion of the Commission's work is August 2017.

There being no further discussion, the Chairman then called for a break at 3:47 P. M. The Chairman called the meeting back to order at 4:30 P. M.

A public hearing was then held on a request in the Buchanan Magisterial District from Paul G. and Joyce T. Pillion to rezone four lots ranging in size from 0.25 to 0.89 acres from an

Agricultural-Rural Residential (AR) Use District to an Agricultural (A-1) Use District, with possible proffered conditions, to maintain the existing single family dwelling and combine the lots, located at 319 Thrasher Road (State Route 625), Buchanan, approximately 0.13 miles southeast of its intersection with Springwood Road (State Route 630), and identified on the Real Property Identification Maps of Botetourt County as Section 51A, Parcels 33, 34, 36, and 37.

It was noted that the Planning Commission had recommended conditional approval of this request.

Mr. Drew Pearson, County Planner, stated that the applicants would like to combine these four lots into one lot which would total 2.65 acres.

After questioning by Mr. Williamson, Mr. Pearson stated that these lots are currently considered non-conforming lots under the Zoning Ordinance due to their small size.

Mr. Pearson stated that these properties consist of one single family dwelling and approximately 6 accessory structures. He noted that the property is located within the Federal Emergency Management Agency's (FEMA) 100 year floodplain (Zone A) for the James River. He noted that this designation would not prohibit structures from being built in the floodplain; however, any structures would be required to elevate their first floors above the base flood elevation.

Mr. Pearson stated that this issue was brought to the County's attention when the Building Official was notified that a carport was being constructed on the Pillions' property without a building permit. He noted that the Planning/Zoning staff reviewed the building permit application and discovered that the carport was not located on the same parcel as the single family dwelling. Mr. Pearson stated that the property owners were given several options to bring this site into compliance with the Zoning and Building Codes and they decided to rezone the property from an Agricultural-Rural Residential AR Use District to an Agricultural A-1 Use District which has a minimum lot size of 2.25 acres and combine these four small lots into one parcel.

Mr. Pearson then read the following proffered conditions recommended by the Planning Commission for this request--"The four parcels included in the application will be combined together as shown upon the survey prepared by McMurry Surveyors, Inc., dated August 3, 2016; The proposed 3-bay carport will remain open on all sides and only be used for the parking of vehicles."

Mr. Pearson stated that the adjacent parcels consist of a mix of A-1 and AR districts as well as the James River. He noted that the 2010 Comprehensive Plan identifies this area as a conservation/100 year floodplain use.

After discussion, Mr. Pearson stated that no other single family dwelling can be constructed on this property once the four parcels are combined into one lot.

After questioning by Mr. Williamson, Mr. Pearson stated that from the staff's standpoint it would be preferable that this property be rezoned so that this use would be consistent with the Comp Plan's designation for this area.

Mr. Pearson noted that the Planning Office has not received any calls or comments from the adjacent property owners about this proposed rezoning. He further noted that the applicants were present at the meeting to answer any questions.

After questioning by Mr. Williamson, Mr. Pillion stated that there has not been any floodwater in the house since the flood of 1985. He noted that floodwaters encroached on the property in 1996 but did not get into the house.

After further questioning by Mr. Williamson, Mr. Pillion stated that he purchased the gazebo and dug the post holes to install the decks around the structure himself.

Mr. Martin stated that he attended the Planning Commission meeting on this request. He noted that the applicant was not aware of the building/zoning requirements when he began construction of the carport. Mr. Martin stated that there was no citizen opposition to this request and the Planning Commission unanimously recommended conditional approval of this rezoning.

After questioning by Mr. Leffel, it was noted that there was no one present to speak regarding this request. The public hearing was then closed.

On motion by Mr. Williamson, seconded by Mr. Dodson, and carried by the following recorded vote, the Board approved this rezoning request with the following conditions. Therefore, be it ordained by the Botetourt County Board of Supervisors that the Botetourt County Zoning Ordinance and the Botetourt County Real Property Identification Maps be amended in the following respect and no other. (Resolution Number 16-10-15)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

**PAUL G. AND JOYCE T. PILLION**

In the Buchanan Magisterial District to rezone four lots ranging in size from 0.25 to 0.89 acres from an Agricultural-Rural Residential (AR) Use District to an Agricultural (A-1) Use District, with possible proffered conditions, to maintain the existing single family dwelling and combine the lots, located at 319 Thrasher Road (State Route 625), Buchanan, approximately 0.13 miles southeast of its intersection with Springwood Road (State Route 630), and identified on the Real Property Identification Maps of Botetourt County as Section 51A, Parcels 33 (0.25 acre), 34 (0.26 acre), 36 (0.5 acre), and 37 (0.89 acre).

1. The four parcels included in the application will be combined together as shown upon the survey prepared by McMurry Surveyors, Inc., dated August 3, 2016.
2. The proposed 3-bay carport will remain open on all sides and only be used for the parking of vehicles.

There being no further discussion, on motion by Mr. Dodson, seconded by Dr. Scothorn, and carried by the following recorded vote, the meeting was adjourned at 4:43 P. M. (Resolution Number 16-10-16)

AYES: Mr. Williamson, Mr. Dodson, Mr. Martin, Mr. Leffel, Dr. Scothorn

NAYS: None

ABSENT: None

ABSTAINING: None

**AGENDA ITEM:** Requests for Additional Appropriations.

The following supplemental appropriations are needed for the reasons indicated. Unless the Board has questions or concerns, it is recommended that they be approved by a single resolution as follows:

PASS-THRU APPROPRIATIONS:

1. Additional appropriation in the amount of \$436.50 to Parks & Recreation – Repairs & Maintenance – Buildings, 100-4071100-71100-3313. These are funds received from the Troutville Booster Club for repairs to a storage building.
2. Additional appropriation in the amount of \$627.23 to the following Correction & Detention Department accounts: \$527.23 to Medical & Lab Supplies, 100-4033100-33100-6004; and \$100.00 to Uniforms, 100-4033100-33100-6011. These funds are for the receipt of expenditure reimbursements.
3. Additional appropriation in the amount of \$1,192.91 to the following Sheriff's Department accounts: \$992.50 to Vehicle Supplies – Fuel, 100-4031200-31200-6008; and \$200.41 to Subsistence & Lodging, 100-4031200-31200-5530. This is for funds received regarding extradition expenses.
4. Additional appropriation in the amount of \$1,215.29 to the following Sheriff's Department accounts: \$1,128.92 to Wages – Overtime, 100-4031200-31200-1200; and \$86.37 to FICA, 100-4031200-31200-2100. These are funds received for providing police escort and security services.
5. Additional appropriation in the amount of \$229.74 to the following Sheriff's Department accounts: \$120.36 to Firing Range Expenses, 100-4031200-31200-6015; and \$109.38 to Uniforms, 100-4031200-31200-6011. The former is for the sale of brass casings and the latter is a reimbursement.

 11-17-16

**BOTETOURT COUNTY, VIRGINIA  
ACCOUNTS PAYABLE SUMMARY  
NOVEMBER, 2016**

	<u>\$ Amount</u>
<b>Total Expenditures For the Month - Regular ,</b>	<b>\$ <u>704,090.71</u></b>
<b>Consisting of:</b>	
<b>General Fund</b>	<b>\$ 695,024.90</b>
<b>Debt Service Fund</b>	<b>9,065.81</b>
<b>Total</b>	<b>\$ <u>704,090.71</u></b>

(Includes \$550,000 for purchase of firetruck)

<b>Short Accounts Payable</b>	<b>\$ <u>292,374.61</u></b>
<b>Consisting of:</b>	
<b>General Fund</b>	<b>\$ 289,319.61</b>
<b>Debt Service Fund</b>	<b>3,055.00</b>
<b>Total</b>	<b>\$ <u>292,374.61</u></b>

**Botetourt County, VA**  
**Checks Due 11/22/2016**

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4011100-11010-3100-000	Board of Supervisors - Professional Services	MUNICIPAL CODE CORPORATION	3,719.39
100-4011100-11010-3100-000	Board of Supervisors - Professional Services	GUYNN & WADDELL PC	8,233.33
100-4011100-11010-3600-000	Board of Supervisors - Advertising	VIRGINIA MEDIA	180.00
100-4011100-11010-3600-000	Board of Supervisors - Advertising	VIRGINIA MEDIA	195.00
100-4011100-11010-3600-000	Board of Supervisors - Advertising	VIRGINIA MEDIA	30.00
100-4011100-11010-3600-000	Board of Supervisors - Advertising	VIRGINIA MEDIA	46.25
100-4011100-11010-3600-000	Board of Supervisors - Advertising	VIRGINIA MEDIA	180.00
100-4011100-11010-3600-000	Board of Supervisors - Advertising	VIRGINIA MEDIA	195.00
100-4011100-11010-5530-000	Board of Supervisors - Subsistence & Lodging	Bank of America	31.08
100-4011100-11010-5530-000	Board of Supervisors - Subsistence & Lodging	Bank of America	78.46
100-4011100-11010-6014-000	Board of Supervisors - Other Operating Supplies	COUNTY ADMINSTRATOR PETTY CASH	432.00
		<b>Board of Supervisors</b>	<b>13,320.51</b>
100-4012110-12110-2300-000	County Administrator - Hospital/Medical Plan	CORVESTA SERVICES INC	109.26
100-4012110-12110-3320-000	County Administrator - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	152.17
100-4012110-12110-3320-000	County Administrator - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	40.73
100-4012110-12110-3320-000	County Administrator - Maint Service Contracts	Bank of America	8.73
100-4012110-12110-5230-000	County Administrator - Telecommunications	LUMOS NETWORKS	223.96
100-4012110-12110-5510-000	County Administrator - Mileage	Bank of America	31.97
100-4012110-12110-5510-000	County Administrator - Mileage	SUSAN FAIN	3.78
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	30.23
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	19.56
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	12.91
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	41.97
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	28.51
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	31.72
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	4.00
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	4.00
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	9.30
100-4012110-12110-5530-000	County Administrator - Subsistence & Lodging	Bank of America	5.00
100-4012110-12110-5810-000	County Administrator - Dues & Assoc Membership	NATIONAL ASSOCIATION OF COUNTIES	663.00
100-4012110-12110-6001-000	County Administrator - Office Supplies	SUPPLY ROOM COMPANIES	10.91
100-4012110-12110-6001-000	County Administrator - Office Supplies	SUPPLY ROOM COMPANIES	11.00
100-4012110-12110-6001-000	County Administrator - Office Supplies	Bank of America	14.95
		<b>County Administrator</b>	<b>1,457.66</b>
100-4012120-12120-2300-000	Deputy County Admin - Hospital/Medical Plan	CORVESTA SERVICES INC	109.26
100-4012120-12120-3100-000	Deputy County Admin - Professional Services	VISA BOTCOADM	45.00
100-4012120-12120-3320-000	Deputy County Admin - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	258.03
100-4012120-12120-3320-000	Deputy County Admin - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	191.20
100-4012120-12120-3320-000	Deputy County Admin - Maint Service Contracts	Bank of America	8.73
100-4012120-12120-5230-000	Deputy County Admin - Telecommunications	LUMOS NETWORKS	75.19
100-4012120-12120-5530-000	Deputy County Admin - Subsistence & Lodging	DAVID MOORMAN	7.87
100-4012120-12120-5530-000	Deputy County Admin - Subsistence & Lodging	THREE LI'L PIGS BARBEQUE	526.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4012120-12120-5530-000	Deputy County Admin - Subsistence & Lodging	Bank of America	32.61
100-4012120-12120-5530-000	Deputy County Admin - Subsistence & Lodging	Bank of America	4.00
100-4012120-12120-5530-000	Deputy County Admin - Subsistence & Lodging	Bank of America	7.00
100-4012120-12120-5530-000	Deputy County Admin - Subsistence & Lodging	Bank of America	15.20
100-4012120-12120-5540-000	Deputy County Admin - Convention & Education	Bank of America	20.00
100-4012120-12120-5540-000	Deputy County Admin - Convention & Education	Bank of America	290.00
100-4012120-12120-6001-000	Deputy County Admin - Office Supplies	Bank of America	6.50
100-4012120-12120-6008-000	Deputy County Admin - Vehicle & Pwr Equip Fuels	Bank of America	10.00
100-4012120-12120-6008-000	Deputy County Admin - Vehicle & Pwr Equip Fuels	Bank of America	10.00
100-4012120-12120-6008-000	Deputy County Admin - Vehicle & Pwr Equip Fuels	Bank of America	13.45
100-4012120-12120-6008-000	Deputy County Admin - Vehicle & Pwr Equip Fuels	Bank of America	23.35
100-4012120-12120-6012-000	Deputy County Admin - Books & Subscriptions	Bank of America	35.00
		<b>Deputy County Admin</b>	<b>1,688.39</b>
100-4012310-12310-2300-000	Commissioner of Revenue - Hospital/Medical Plan	CORVESTA SERVICES INC	218.52
100-4012310-12310-2500-000	Commissioner of Revenue - Disability Insurance	VACORP	13.54
100-4012310-12310-3100-000	Commissioner of Revenue - Professional Services	WAMPLER-EANES APPRAISAL GROUP, LTD	2,600.00
100-4012310-12310-3320-000	Commissioner of Revenue - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	28.05
100-4012310-12310-3320-000	Commissioner of Revenue - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	118.41
100-4012310-12310-5230-000	Commissioner of Revenue - Telecommunications	LUMOS NETWORKS	44.39
100-4012310-12310-5530-000	Commissioner of Revenue - Subsistence & Lodging	RODNEY SPICKARD COMMISSIONER OF REVENUE PETTY CASH	395.83
100-4012310-12310-6001-000	Commissioner of Revenue - Office Supplies	VIRGINIA OFFICE SUPPLY INC	15.48
100-4012310-12310-6001-000	Commissioner of Revenue - Office Supplies	VIRGINIA OFFICE SUPPLY INC	101.72
100-4012310-12310-6001-000	Commissioner of Revenue - Office Supplies	VIRGINIA OFFICE SUPPLY INC	30.40
100-4012310-12310-6001-000	Commissioner of Revenue - Office Supplies	VIRGINIA OFFICE SUPPLY INC	5.95
100-4012310-12310-6001-000	Commissioner of Revenue - Office Supplies	Bank of America	122.10
		<b>Commissioner of Revenue</b>	<b>3,694.39</b>
100-4012410-12410-2300-000	Treasurer - Hospital/Medical Plan	CORVESTA SERVICES INC	182.10
100-4012410-12410-2500-000	Treasurer - Disability Insurance	VACORP	15.35
100-4012410-12410-2500-000	Treasurer - Disability Insurance	VACORP	15.05
100-4012410-12410-3160-000	Treasurer - Bill Collections Services	DEPARTMENT OF MOTOR VEHICLES RECEIPTING CENTER	740.00
100-4012410-12410-3320-000	Treasurer - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	14.77
100-4012410-12410-3320-000	Treasurer - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	122.58
100-4012410-12410-3600-000	Treasurer - Advertising	VIRGINIA MEDIA	255.00
100-4012410-12410-3600-000	Treasurer - Advertising	VIRGINIA MEDIA	255.00
100-4012410-12410-3600-000	Treasurer - Advertising	ROANOKE TIMES	236.00
100-4012410-12410-5230-000	Treasurer - Telecommunications	LUMOS NETWORKS	55.98
100-4012410-12410-6001-000	Treasurer - Office Supplies	Bank of America	59.32
100-4012410-12410-6001-000	Treasurer - Office Supplies	Bank of America	43.62
100-4012410-12410-6001-000	Treasurer - Office Supplies	Bank of America	50.26
		<b>Treasurer</b>	<b>2,045.03</b>
100-4012430-12430-2300-000	Financial Services - Hospital/Medical Plan	CORVESTA SERVICES INC	72.84
100-4012430-12430-2500-000	Financial Services - Disability Insurance	VACORP	16.88
100-4012430-12430-3320-000	Financial Services - Maint Service Contracts	Bank of America	8.73
100-4012430-12430-3320-000	Financial Services - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	8.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4012430-12430-3320-000	Financial Services - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	118.39
100-4012430-12430-5230-000	Financial Services - Telecommunications	LUMOS NETWORKS	45.71
100-4012430-12430-5810-000	Financial Services - Dues & Assoc Membership	GOVERNMENT FINANCE OFFICERS ASSOCIATION	505.00
100-4012430-12430-5810-000	Financial Services - Dues & Assoc Membership	VGFOA	35.00
100-4012430-12430-6001-000	Financial Services - Office Supplies	Bank of America	13.00
100-4012430-12430-6001-000	Financial Services - Office Supplies	NOWDOCS INTERNATIONAL INC. NOWFORMS DIVISION	79.50
		<b>Financial Services</b>	<b>903.05</b>
100-4012510-12510-2300-000	Technology Services - Hospital/Medical Plan	CORVESTA SERVICES INC	218.52
100-4012510-12510-2500-000	Technology Services - Disability Insurance	VACORP	14.75
100-4012510-12510-3100-000	Technology Services - Professional Services	SITEVISION INC	30.00
100-4012510-12510-3100-000	Technology Services - Professional Services	SITEVISION INC	134.85
100-4012510-12510-3311-000	Technology Services - Repairs & Maint - Equip	Bank of America	109.95
100-4012510-12510-3311-000	Technology Services - Repairs & Maint - Equip	Bank of America	109.95
100-4012510-12510-3320-000	Technology Services - Maint Service Contracts	HDL SOFTWARE LLC	1,002.16
100-4012510-12510-3320-000	Technology Services - Maint Service Contracts	EGTS	4,297.57
100-4012510-12510-5230-000	Technology Services - Telecommunications	LUMOS NETWORKS	2,720.12
100-4012510-12510-5530-000	Technology Services - Subsistence & Lodging	Bank of America	14.70
100-4012510-12510-5530-000	Technology Services - Subsistence & Lodging	Bank of America	16.76
100-4012510-12510-5540-000	Technology Services - Convention & Education	Bank of America	1,798.98
100-4012510-12510-6001-000	Technology Services - Office Supplies	Bank of America	13.00
100-4012510-12510-6001-000	Technology Services - Office Supplies	Bank of America	8.41
100-4012510-12510-6008-000	Technology Services - Vehicle & Pwr Equip Fuels	Bank of America	52.10
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	94.14
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	94.14
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	282.42
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	94.14
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	94.14
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	94.14
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	94.14
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	549.98
100-4012510-12510-8007-000	Technology Services - Capital Outlay - EDP Equipment	Bank of America	935.96
		<b>Technology Services</b>	<b>12,780.88</b>
100-4012530-12530-2300-000	Central Purchasing - Hospital/Medical Plan	CORVESTA SERVICES INC	36.42
100-4012530-12530-3320-000	Central Purchasing - Maint Service Contracts	Bank of America	8.73
100-4012530-12530-5230-000	Central Purchasing - Telecommunications	LUMOS NETWORKS	35.22
100-4012530-12530-6001-000	Central Purchasing - Office Supplies	Bank of America	6.50
		<b>Central Purchasing</b>	<b>86.87</b>
100-4012560-12560-2300-000	Central Garage - Hospital/Medical Plan	CORVESTA SERVICES INC	36.42
100-4012560-12560-3311-000	Central Garage - Repairs & Maint - Equip	SNAP-ON TOOLS TODD AUSTIN	19.95
100-4012560-12560-3311-000	Central Garage - Repairs & Maint - Equip	SNAP-ON TOOLS TODD AUSTIN	65.50
100-4012560-12560-3320-000	Central Garage - Maint. Service Contracts	Bank of America	8.73
100-4012560-12560-5230-000	Central Garage - Telecommunications	LUMOS NETWORKS	799.00
100-4012560-12560-6011-000	Central Garage - Uniforms & Wearing Apparel	ALSCO	9.74
100-4012560-12560-6011-000	Central Garage - Uniforms & Wearing Apparel	ALSCO	9.74
100-4012560-12560-6011-000	Central Garage - Uniforms & Wearing Apparel	ALSCO	9.74

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4012560-12560-6011-000	Central Garage - Uniforms & Wearing Apparel	ALSCO	9.74
		<b>Central Garage</b>	<b>968.56</b>
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LOIS S CRAWFORD	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CHERYL E RATLIFF	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LOUISE JARGOWSKY	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CRYSTAL LUONA BLANKENSHIP	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	GARY KATTENBRAKER	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DEBORAH STARR	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARLA ROCK	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	NANCY BOURNE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JOSEPH COMER III	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	HELEN TIPPIE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DREAMA KATTENBRAKER	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CHARLOTTE JONES	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DONNA COFFEY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	BLAINE COFFEY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	BRIAN ABEL	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ALICE NAGIEL DUEHL	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LOIS SWITZER	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ETHAN CALLISON	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ANGELA F BRYAN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SHERRY H CALLAHAN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ROBERT DAVID BLACKBURN	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	RHONDA WOOD DOYLE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ANN MAY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SHARON COLEMAN	150.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ASHLYN NICOLLE BREESE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KAREN E WILLIS	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CLAUDIA CLARK	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	BARBARA H. VINAL	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	BRENDA K. WILHELM	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	BRITTANY N. GRAY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CAROL JEANETTE LINKENHOKER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CARROLL S. GOSSETT	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DANNY C. FAINTER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DEBRA JOHNSON ADKINS	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DEBRA P COMER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DONNA BURGESS GREEN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DONNA L. MUNCY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LILLIAN CRITES GRANING	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LINDA D. EASTMAN	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LINDA Z. GREEN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LOIS AYERS	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARK JOHN TILBURG	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MELVIN LEWIS BOWLES	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DONNA MCCLUNG BROYLES	120.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	GREGORY LYNN PAYNE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JENNIFER LEE CARTER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JULIA REBECA EWEN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PATRICIA M. BODELL	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PATRICIA PAYNE LIGHTNER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PAULA G. KESLER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ROBERT D. YOUNG	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	RONALD L. SHAVER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	STACY LYNN CRABTREE	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	TANYA A. BREESE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM R. SINCLAIR	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SUSAN B DILLON	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	RICHARD W. WILSON	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	REBEKAH D. TRIBBETT	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PAMELA H. WIEGANDT	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MICHAEL L MURAWSKI	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARCIA W. NEIGHBORS	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JEFFERY NELSON MARTIN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	FRED TIMOTHY QUESENBERRY	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	FERN LEE ROBERTSON	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DOTTIE BLISSETT	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	TERRI WOODWARD	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	STANLEY PRAWDZIK	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PEGGY DILLOW	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	NANCY BURLEY	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	GERALD BURGESS	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	EDWARD HUNTLEY	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	RHONDA HICKS	93.11
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM DIVERS	150.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LEAH K COFFMAN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PAMELA E DIVERS	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	TINA M WILHELM-HODGES	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	PAMELA P GARRISON	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MICHAEL O WILHELM	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JOHN ENGEL	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	TINA KING	150.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM BURLESON	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SHARON MOHNEY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DEBORAH TURNER	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SUSAN BOONE	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MICHAEL DAVIS	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CHARLES WAYNE GENTRY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JEAN GENTRY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MICAH YOUNG	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KARI HODGES	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JUDY M BURLESON	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JOHN R KNAPP	65.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KAREN B LEE	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM MCCONNELL	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	FRANK WARE	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARGARET EVELAND	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM M FIREBAUGH	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SANDRA M BROWN	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	NANCY B EPPERLY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ANNA T MINNIS	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ABBY H FEDOR	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	CLARENCE J NICELY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	FRANCES B ARTHUR	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM N CRITCHER JR	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KAREN L KAPPESSER	150.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SHARON M HARRIS	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DORIS A TOLIVER	114.65
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ALBERT DACOSTA	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARILYN F MCMUNIGAL	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	WILLIAM B ATHERHOLT	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	RICHARD S VINAL	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	DONNA H HENDERSON	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JUDITH O BRODSKY	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	RICK R HILLMAN	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JOYCE A GRAY	150.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KAREN L GWITT	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARK V LEE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KATHRYN B MCGHEE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MARY CATHERINE LAYMAN	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	MELODY C HALE	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	KATHY E NEMETH	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JERRY D BEARD	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	LORRAINE HUBBARD	200.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	SUSAN R PREWITT	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	BRENDLE L WOLFE	120.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	JUDI A RACE	65.00
100-4013300-13300-1400-000	Electoral Board/Registrar - Part Time Wages - Election Officers	ORLANDO LEE TOLIVER	24.35
100-4013300-13300-2300-000	Electoral Board/Registrar - Hospital/Medical Plan	CORVESTA SERVICES INC	36.42
100-4013300-13300-2500-000	Electoral Board/Registrar - Disability Insurance	VACORP	27.07
100-4013300-13300-3100-000	Electoral Board/Registrar - Professional Services	DUNMAR MOVING SYSTEMS	4,050.00
100-4013300-13300-3320-000	Electoral Board/Registrar - Maint Service Contracts	Bank of America	6.50
100-4013300-13300-3320-000	Electoral Board/Registrar - Maint Service Contracts	LEONARD'S COPY SYSTEMS INC	783.33
100-4013300-13300-3500-000	Electoral Board/Registrar - Printing & Binding	OWEN G DUNN CO. DBA PRINTELECT	9,174.81
100-4013300-13300-5230-000	Electoral Board/Registrar - Telecommunications	LUMOS NETWORKS	51.17
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	WILLIAM M FIREBAUGH	14.58
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	ANNA T MINNIS	22.25
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	FRANK WARE	19.22
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	KARI HODGES	5.62
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	SUSAN BOONE	9.83

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	LEX P GIBSON	120.00
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	MICHAEL O WILHELM	7.34
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	TINA KING	22.25
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	TINA M WILHELM-HODGES	5.62
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	PAMELA P GARRISON	9.72
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	LEAH K COFFMAN	4.54
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	NANCY BURLEY	10.37
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	GERALD BURGESS	18.68
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	TERRI WOODWARD	9.18
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	STANLEY PRAWDZIK	6.05
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	FRED TIMOTHY QUESENBERRY	5.62
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	PAMELA H. WIEGANDT	2.16
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	MICHAEL L MURAWSKI	14.26
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	ASHLYN NICOLLE BREESE	2.38
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	BARBARA H. VINAL	18.36
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	CARROLL S. GOSSETT	12.74
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	BRENDA K. WILHELM	64.80
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	CLAUDIA CLARK	21.82
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	SHERRY H CALLAHAN	8.64
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	LOIS SWITZER	19.33
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	MARCIA L PILCH	23.76
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	ETHAN CALLISON	13.39
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	BRIAN ABEL	14.36
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	ALICE NAGIEL DUEHL	5.83
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	TANYA A. BREESE	2.38
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	WILLIAM R. SINCLAIR	13.50
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	RONALD L. SHAVER	11.56
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	PATRICIA PAYNE LIGHTNER	2.16
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	PAULA G. KESLER	2.27
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	JULIA REBECA EWEN	20.95
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	LILLIAN CRITES GRANING	8.21
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	MELISSA GENTRY CUMMINGS	120.00
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	PATRICIA M. BODELL	10.91
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	DONNA L. MUNCY	1.94
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	DEBRA JOHNSON ADKINS	20.52
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	DEBRA P COMER	13.18
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	NANCY BOURNE	5.83
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	CRYSTAL LUONA BLANKENSHIP	1.94
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	KAREN E WILLIS	5.62
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	CHERYL E RATLIFF	12.96
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	LOUISE JARGOWSKY	4.10
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	JOYCE A GRAY	9.94
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	JUDITH O BRODSKY	6.91
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	RICHARD S VINAL	18.36
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	ABBY H FEDOR	6.26
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	JUDI A RACE	4.10
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	SUSAN R PREWITT	3.89

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	JERRY D BEARD	8.64
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	LORRAINE HUBBARD	6.26
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	KAREN L GWITT	4.00
100-4013300-13300-5510-000	Electoral Board/Registrar - Mileage	MARY CATHERINE LAYMAN	17.71
100-4013300-13300-6001-000	Electoral Board/Registrar - Office Supplies	Bank of America	45.34
100-4013300-13300-6001-000	Electoral Board/Registrar - Office Supplies	Bank of America	62.61
100-4013300-13300-6001-000	Electoral Board/Registrar - Office Supplies	Bank of America	82.82
100-4013300-13300-6001-000	Electoral Board/Registrar - Office Supplies	Bank of America	164.89
100-4013300-13300-6014-000	Electoral Board/Registrar - Other Operating Supplies	Bank of America	59.16
100-4013300-13300-6014-000	Electoral Board/Registrar - Other Operating Supplies	MILL CREEK BAPTIST CHURCH	60.00
100-4013300-13300-6014-000	Electoral Board/Registrar - Other Operating Supplies	RAINBOW FOREST BAPTIST CHURCH	60.00
100-4013300-13300-6014-000	Electoral Board/Registrar - Other Operating Supplies	FINCASTLE BAPTIST CHURCH	300.00
		<b>Electoral Board/Registrar</b>	<b>30,783.03</b>
100-4021100-21100-2300-000	Circuit Court - Hospital/Medical Plan	CORVESTA SERVICES INC	36.42
100-4021100-21100-5230-000	Circuit Court - Telecommunications	LUMOS NETWORKS	110.31
100-4021100-21100-8012-000	Circuit Court - Capital Outlay - Other Capital	INNOVATIVE SYSTEMS & SOLUTIONS T/A ABS TECHNOLOGY	6,316.50
		<b>Circuit Court</b>	<b>6,463.23</b>
100-4021200-21200-3100-000	General District Court - Professional Services	SPIGLE, MASSEY & CLAY PLC	120.00
100-4021200-21200-5230-000	General District Court - Telecommunications	LUMOS NETWORKS	369.22
100-4021200-21200-6001-000	General District Court - Office Supplies	SUPPLY ROOM COMPANIES	3.98
100-4021200-21200-6001-000	General District Court - Office Supplies	DIAMOND PAPER CO INC	45.96
100-4021200-21200-6012-000	General District Court - Books & Subscriptions	THOMSON REUTERS-WEST PAYMENT CENTER	241.00
100-4021200-21200-8012-000	General District Court - Capital Outlay - Other Ca	INNOVATIVE SYSTEMS & SOLUTIONS T/A ABS TECHNOLOGY	2,083.50
		<b>General District Court</b>	<b>2,863.66</b>
100-4021300-21300-5230-000	Magistrate - Telecommunications	LUMOS NETWORKS	16.85
100-4021300-21300-6012-000	Magistrate - Books & Subscriptions	THOMSON REUTERS-WEST PAYMENT CENTER	241.00
		<b>Magistrate</b>	<b>257.85</b>
100-4021600-21600-2300-000	Clerk of Circuit Court - Hospital/Medical Plan	CORVESTA SERVICES INC	218.52
100-4021600-21600-5210-000	Clerk of Circuit Court - Postal Services	TOMMY L MOORE CLERK PETTY CASH ACCOUNT	371.00
100-4021600-21600-5230-000	Clerk of Circuit Court - Telecommunications	LUMOS NETWORKS	216.17
100-4021600-21600-6001-000	Clerk of Circuit Court - Office Supplies	ART PRINTING COMPANY OF ROANOKE INC	310.00
100-4021600-21600-6001-000	Clerk of Circuit Court - Office Supplies	OFFICE DEPOT, INC	59.98
100-4021600-21600-6012-000	Clerk of Circuit Court - Books & Subscriptions	THOMSON REUTERS-WEST PAYMENT CENTER	323.00
100-4021600-21600-6012-000	Clerk of Circuit Court - Books & Subscriptions	MOUNTAIN VIEW LEASING INC	178.60
100-4021600-21600-6012-000	Clerk of Circuit Court - Books & Subscriptions	MOUNTAIN VIEW LEASING INC	241.38
		<b>Clerk of Circuit Court</b>	<b>1,918.65</b>
100-4022100-22100-2300-000	Commonwealth's Attorney - Hospital/Medical Plan	CORVESTA SERVICES INC	218.52
100-4022100-22100-3320-000	Commonwealth's Attorney - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	195.00
100-4022100-22100-3320-000	Commonwealth's Attorney - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	54.52
100-4022100-22100-5130-000	Commonwealth's Attorney - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	48.51
100-4022100-22100-5230-000	Commonwealth's Attorney - Telecommunications	LUMOS NETWORKS	271.57
100-4022100-22100-5420-000	Commonwealth's Attorney - Lease/Rent of Buildings	SPICKARD LLC ATTN: SUE SPICKARD	2,900.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4022100-22100-5420-000	Commonwealth's Attorney - Lease/Rent of Buildings	BANK OF FINCASTLE	363.00
100-4022100-22100-5810-000	Commonwealth's Attorney - Dues & Assoc Membership	NDAА	177.00
100-4022100-22100-5810-000	Commonwealth's Attorney - Dues & Assoc Membership	NDAА	75.00
100-4022100-22100-6001-000	Commonwealth's Attorney - Office Supplies	Bank of America	17.43
100-4022100-22100-6001-000	Commonwealth's Attorney - Office Supplies	Bank of America	42.94
100-4022100-22100-6001-000	Commonwealth's Attorney - Office Supplies	Bank of America	267.56
100-4022100-22100-6001-000	Commonwealth's Attorney - Office Supplies	Bank of America	13.54
100-4022100-22100-6001-000	Commonwealth's Attorney - Office Supplies	INNOVATIVE SYSTEMS & SOLUTIONS T/A ABS TECHNOLOGY	2,750.00
100-4022100-22100-8012-000	Commonwealth's Attorney - Capital outlay other cap	INNOVATIVE SYSTEMS & SOLUTIONS T/A ABS TECHNOLOGY	6,012.50
100-4022100-22100-8012-000	Commonwealth's Attorney - Capital outlay other cap	<b>Commonwealth's Attorney</b>	<b>13,407.09</b>
100-4031200-31200-2300-000	Sheriff - Hospital/Medical Plan	CORVESTA SERVICES INC	1,784.58
100-4031200-31200-2500-000	Sheriff - Disability Insurance	VACORP	13.47
100-4031200-31200-3100-000	Sheriff - Professional Services	TREASURER OF VIRGINIA	20.00
100-4031200-31200-3311-000	Sheriff - Repairs & Maint - Equip	RONALD N SPRINKLE SHERIFF PETTY CASH	34.00
100-4031200-31200-3311-000	Sheriff - Repairs & Maint - Equip	RONALD N SPRINKLE SHERIFF PETTY CASH	92.99
100-4031200-31200-3311-000	Sheriff - Repairs & Maint - Equip	SPRINKEL'S TOWING LLC	886.43
100-4031200-31200-3320-000	Sheriff - Maint Service Contracts	CANON SOLUTIONS AMERICA INC	29.28
100-4031200-31200-3320-000	Sheriff - Maint Service Contracts	ELECTRONIC SYSTEMS INC	9.41
100-4031200-31200-3320-000	Sheriff - Maint Service Contracts	US BANK EQUIPMENT FINANCE	142.25
100-4031200-31200-5230-000	Sheriff - Telecommunications	LUMOS NETWORKS	495.22
100-4031200-31200-5530-000	Sheriff - Subsistence & Lodging	VISA SHER	271.80
100-4031200-31200-5530-000	Sheriff - Subsistence & Lodging	VISA SHER	200.41
100-4031200-31200-5540-000	Sheriff - Convention & Education	RONALD N SPRINKLE SHERIFF PETTY CASH	20.00
100-4031200-31200-5830-000	Sheriff - RAID Patrol	PSYCHOLOGICAL HEALTH ROANOKE	85.00
100-4031200-31200-5830-000	Sheriff - RAID Patrol	LUMOS NETWORKS	25.82
100-4031200-31200-5830-000	Sheriff - RAID Patrol	CANON SOLUTIONS AMERICA INC	29.28
100-4031200-31200-5830-000	Sheriff - RAID Patrol	VISA SHER	126.27
100-4031200-31200-5850-000	Sheriff - Crime Prevention	DIGITAL IMAGE PRINTING	95.00
100-4031200-31200-5850-000	Sheriff - Crime Prevention	LUMOS NETWORKS	6.46
100-4031200-31200-6001-000	Sheriff - Office Supplies	VISA SHER	125.11
100-4031200-31200-6001-000	Sheriff - Office Supplies	SUPPLY ROOM COMPANIES	17.52
100-4031200-31200-6001-000	Sheriff - Office Supplies	SUPPLY ROOM COMPANIES	45.46
100-4031200-31200-6008-000	Sheriff - Vehicle & Pwr Equip Fuels	SHELL	235.65
100-4031200-31200-6008-000	Sheriff - Vehicle & Pwr Equip Fuels	RONALD N SPRINKLE SHERIFF PETTY CASH	192.79
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	RONALD N SPRINKLE SHERIFF PETTY CASH	36.84
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	MAGIC CITY MOTOR CORPORATION	9.62
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	INTERSTATE BATTERY SYSTEM OF ROANOKE VALLEY INC	353.85
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	THOMPSON TIRE CO INC	813.78
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	THOMPSON TIRE CO INC	678.15
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	ANCHOR TRUCK ACCESSORIES & UTILITY BUILDINGS	899.00
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	UNI-SELECT USA	237.54
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	UNI-SELECT USA	246.10
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	36.39
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	GLASS AMERICA LLC	211.66
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	KUSTOM SIGNALS INC	255.90
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	O'REILLY AUTOMOTIVE INC	19.92

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	O'REILLY AUTOMOTIVE INC	144.38
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	FOUR STAR PETROLEUM SERVICES	77.80
100-4031200-31200-6009-000	Sheriff - Vehicle & Pwr Equip Supplies	GCR TIRE & SERVICE	420.20
100-4031200-31200-6010-000	Sheriff - Police Supplies	GALLS LLC	789.73
100-4031200-31200-6010-000	Sheriff - Police Supplies	VISA SHER	361.79
100-4031200-31200-6010-000	Sheriff - Police Supplies	VISA SHER	315.85
100-4031200-31200-6010-000	Sheriff - Police Supplies	BKT UNIFORMS	41.97
100-4031200-31200-6010-000	Sheriff - Police Supplies	H C BAKER SALES CO INC	258.98
100-4031200-31200-6010-000	Sheriff - Police Supplies	NORTH AMERICAN RESCUE	370.13
100-4031200-31200-6010-000	Sheriff - Police Supplies	NORTH AMERICAN RESCUE	2,836.35
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	86.98
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	125.97
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	152.49
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	52.99
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	851.28
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	141.50
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	BKT UNIFORMS	136.47
100-4031200-31200-6011-000	Sheriff - Uniforms & Wearing Apparel	TASER INTERNATIONAL	3,305.64
100-4031200-31200-6014-000	Sheriff - Other Operating Supplies	LANGUAGE LINE SERVICES	35.41
100-4031200-31200-6014-000	Sheriff - Other Operating Supplies	SAFETY & COMPLIANCE SERVICES	741.00
100-4031200-31200-6014-000	Sheriff - Other Operating Supplies	EQUIFAX CREDIT INFORMATION SVC	75.55
100-4031200-31200-6014-000	Sheriff - Other Operating Supplies	LEXISNEXIS RISK SOLUTIONS BILLING ID 1008156	50.00
100-4031200-31200-6015-000	Sheriff - Firing Range Expenses	TIDY SERVICES	60.00
100-4031200-31200-8005-000	Sheriff - Capital Outlay - Motor Vehicles / Veh. Equip	COLONIAL FORD TRUCK SALES INC.	30,009.65
		<b>Sheriff</b>	<b>50,225.06</b>
100-4031400-31400-2300-000	Dispatch - Hospital/Medical Plan	CORVESTA SERVICES INC	437.04
100-4031400-31400-2500-000	Dispatch - Disability Insurance	VACORP	15.14
100-4031400-31400-2500-000	Dispatch - Disability Insurance	VACORP	17.33
100-4031400-31400-2500-000	Dispatch - Disability Insurance	VACORP	15.02
100-4031400-31400-2500-000	Dispatch - Disability Insurance	VACORP	14.52
100-4031400-31400-2500-000	Dispatch - Disability Insurance	VACORP	14.85
100-4031400-31400-2500-000	Dispatch - Disability Insurance	VACORP	13.65
100-4031400-31400-3320-000	Dispatch - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	54.42
100-4031400-31400-3320-000	Dispatch - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	130.70
100-4031400-31400-5230-000	Dispatch - Telecommunications	LUMOS NETWORKS	265.86
100-4031400-31400-5530-000	Dispatch - Subsistence & Lodging	VISA SHER	272.88
		<b>Dispatch</b>	<b>1,251.41</b>
100-4032200-32200-3110-000	Volunteer Fire Rescue - Healthcare Services	SAFETY & COMPLIANCE SERVICES	98.00
100-4032200-32200-3110-000	Volunteer Fire Rescue - Healthcare Services	SAFETY & COMPLIANCE SERVICES	76.00
100-4032200-32200-3110-000	Volunteer Fire Rescue - Healthcare Services	SAFETY & COMPLIANCE SERVICES	76.00
100-4032200-32200-3180-000	Volunteer Fire Rescue - Instruction/Training Services	Bank of America	15.94
100-4032200-32200-3180-000	Volunteer Fire Rescue - Instruction/Training Services	Bank of America	250.01
100-4032200-32200-3180-000	Volunteer Fire Rescue - Instruction/Training Services	Bank of America	-332.00
100-4032200-32200-3180-000	Volunteer Fire Rescue - Instruction/Training Services	Bank of America	-12.40
100-4032200-32200-3180-000	Volunteer Fire Rescue - Instruction/Training Services	HUGH'S BODY SHOP INC.	150.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4032200-32200-3320-000	Volunteer Fire Rescue - Maint Service Contracts	L. R. JACKSON LLC	2,460.00
100-4032200-32200-3320-000	Volunteer Fire Rescue - Maint Service Contracts	AIRGAS USA LLC	11.50
100-4032200-32200-3320-000	Volunteer Fire Rescue - Maint Service Contracts	AIRGAS USA LLC	52.71
100-4032200-32200-3320-000	Volunteer Fire Rescue - Maint Service Contracts	AIRGAS USA LLC	27.75
100-4032200-32200-5641-000	Volunteer Fire Rescue - County Volunteer FDs	LUMOS NETWORKS	3,140.99
100-4032200-32200-5649-000	Volunteer Fire Rescue - Read Mountain VFD	Bank of America	39.00
100-4032200-32200-5651-000	Volunteer Fire Rescue - County Vol Resc Squads	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	29.80
100-4032200-32200-6004-000	Volunteer Fire Rescue - Medical & Laboratory Supplies	BOUND TREE MEDICAL LLC	1,300.71
100-4032200-32200-8012-000	Volunteer Fire Rescue - Capital Outlay - Other Capital	VISA EMS	20.17
100-4032200-32200-8012-000	Volunteer Fire Rescue - Capital Outlay - Other Capital	Bank of America	293.42
100-4032200-32200-8012-000	Volunteer Fire Rescue - Capital Outlay - Other Capital	Bank of America	18.86
100-4032200-32200-8012-000	Volunteer Fire Rescue - Capital Outlay - Other Capital	Bank of America	150.00
100-4032200-32200-8012-000	Volunteer Fire Rescue - Capital Outlay - Other Capital	Bank of America	173.08
		<b>Volunteer Fire Rescue</b>	<b>8,039.54</b>
100-4033100-33100-2300-000	Correction & Detention - Hospital/Medical Plan	CORVESTA SERVICES INC	-1.12
100-4033100-33100-2300-000	Correction & Detention - Hospital/Medical Plan	CORVESTA SERVICES INC	1,711.74
100-4033100-33100-2500-000	Correction & Detention - Disability Insurance	VACORP	12.50
100-4033100-33100-2500-000	Correction & Detention - Disability Insurance	VACORP	12.50
100-4033100-33100-3100-000	Correction & Detention - Professional Services	BOTETOURT COUNTY HEALTH DEPARTMENT	40.00
100-4033100-33100-3100-000	Correction & Detention - Professional Services	CARILION SERVICES INC	228.50
100-4033100-33100-3100-000	Correction & Detention - Professional Services	FREMONT A VESS, JR, DDS	2,386.00
100-4033100-33100-3100-000	Correction & Detention - Professional Services	CENTER FOR EMOTIONAL WELLNESS PC	2,531.25
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	S J CONNER AND SONS INC	430.80
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	DOL/BOILER SAFETY DEPT OF LABOR AND INDUSTRY	40.00
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	SOUTHERN AIR INC	700.19
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	SOUTHERN AIR INC	320.00
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	BRUNER DETENTION & SECURITY	478.50
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	BRUNER DETENTION & SECURITY	555.00
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	SECURITY PLUMBING SUPPLIERS INC	1,455.60
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	WAGNER FOOD EQUIPMENT INC	444.80
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	WAGNER FOOD EQUIPMENT INC	1,188.96
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	WAGNER FOOD EQUIPMENT INC	442.45
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	WAGNER FOOD EQUIPMENT INC	4,025.00
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	WAGNER FOOD EQUIPMENT INC	-224.00
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	SUNBELT RENTALS	640.20
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	S3 INTEGRATION LLC	1,576.00
100-4033100-33100-3311-000	Correction & Detention - Repairs & Maint - Equip	S3 INTEGRATION LLC	202.50
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	VALLEY CHEMICAL AND SYSTEMS, LLC	125.00
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	DONALD W DOOLEY BOTETOURT PEST CONTROL	168.00
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	DONALD W DOOLEY BOTETOURT PEST CONTROL	168.00
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	SOUTHERN AIR INC	1,292.50
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	SOUTHERN AIR INC	266.00
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	SOUTHERN AIR INC	1,339.00
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	HALL SEPTIC TANK CLEANING, INC	180.00
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	CANON SOLUTIONS AMERICA INC	23.92
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	CANON SOLUTIONS AMERICA INC	29.28

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100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	CANON SOLUTIONS AMERICA INC	56.87
100-4033100-33100-3320-000	Correction & Detention - Maint Service Contracts	ESITECH INC	2,590.00
100-4033100-33100-5230-000	Correction & Detention - Telecommunications	LUMOS NETWORKS	258.82
100-4033100-33100-6001-000	Correction & Detention - Office Supplies	SUPPLY ROOM COMPANIES	265.14
100-4033100-33100-6001-000	Correction & Detention - Office Supplies	SUPPLY ROOM COMPANIES	168.03
100-4033100-33100-6001-000	Correction & Detention - Office Supplies	VISA SHER	-151.20
100-4033100-33100-6001-000	Correction & Detention - Office Supplies	VISA SHER	817.45
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	US FOOD SERVICE INC	144.62
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	US FOOD SERVICE INC	4,215.80
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	US FOOD SERVICE INC	4,625.61
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	US FOOD SERVICE INC	4,348.14
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	US FOOD SERVICE INC	3,784.84
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS BLAND AGRIBUSINESS	480.90
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS BLAND AGRIBUSINESS	480.90
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS BLAND AGRIBUSINESS	480.90
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS BLAND AGRIBUSINESS	480.90
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	FLOWERS BAKING CO OF LYNCHBURG	144.96
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	FLOWERS BAKING CO OF LYNCHBURG	117.00
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	FLOWERS BAKING CO OF LYNCHBURG	105.72
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	FLOWERS BAKING CO OF LYNCHBURG	101.58
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	FLOWERS BAKING CO OF LYNCHBURG	139.68
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS FARMER'S MARKET	122.75
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS FARMER'S MARKET	182.00
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS FARMER'S MARKET	211.75
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DEPARTMENT OF CORRECTIONS FARMER'S MARKET	186.50
100-4033100-33100-6002-000	Correction & Detention - Food Supplies & Fd Serv	DIAMOND PAPER CO INC	19.99
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	DOLLAR GENERAL-CHARGE SALES MSC-410526	45.25
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	DOLLAR GENERAL-CHARGE SALES MSC-410526	83.45
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	DOLLAR GENERAL-CHARGE SALES MSC-410526	19.00
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	WESTWOOD PHARMACY CLINICAL SERVICES	5,446.50
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	LABORATORY CORPORATION OF AMERICA HOLDINGS	1,485.75
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	MOORE MEDICAL LLC	217.50
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	SOLSTAS LAB PARTNERS	124.00
100-4033100-33100-6004-000	Correction & Detention - Medical & Laboratory Supplies	MMDS OF KINGSPORT	645.00
100-4033100-33100-6005-000	Correction & Detention - Laundry, Hskpg, Janitor Supply	BRAME SPECIALTY COMPANY INC	135.72
100-4033100-33100-6005-000	Correction & Detention - Laundry, Hskpg, Janitor Supply	BRAME SPECIALTY COMPANY INC	93.85
100-4033100-33100-6005-000	Correction & Detention - Laundry, Hskpg, Janitor Supply	BRAME SPECIALTY COMPANY INC	1,080.24
100-4033100-33100-6005-000	Correction & Detention - Laundry, Hskpg, Janitor Supply	BRAME SPECIALTY COMPANY INC	179.60
100-4033100-33100-6005-000	Correction & Detention - Laundry, Hskpg, Janitor Supply	BRAME SPECIALTY COMPANY INC	661.00
100-4033100-33100-6005-000	Correction & Detention - Laundry, Hskpg, Janitor Supply	DIAMOND PAPER CO INC	439.99
100-4033100-33100-6010-000	Correction & Detention - Police Supplies	GALLS LLC	789.73
100-4033100-33100-6010-000	Correction & Detention - Police Supplies	GALLS LLC	788.00
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	GALLS LLC	63.00
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	GALLS LLC	146.00
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	RONALD N SPRINKLE SHERIFF PETTY CASH	163.76
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	BKT UNIFORMS	851.28
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	BKT UNIFORMS	97.93

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100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	BKT UNIFORMS	29.99
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	BKT UNIFORMS	261.82
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	BKT UNIFORMS	119.97
100-4033100-33100-6011-000	Correction & Detention - Uniforms & Wearing Apparel	GALLS LLC	141.00
100-4033100-33100-8001-000	Correction & Detention - Capital Outlay - Machinery & Equipment	VISA SHER	890.29
100-4033100-33100-8001-000	Correction & Detention - Capital Outlay - Machinery & Equipment	EASTERN SALES & EQUIPMENT SERVICE CORP	559.00
		<b>Correction &amp; Detention</b>	<b>62,727.34</b>
100-4033200-33200-3800-000	Juvenile Detention Center - Prch of Govt & Other Serv	ROANOKE VALLEY JUVENILE DETENTION CENTER ATTN: ROB	5,600.00
		<b>Juvenile Detention Center</b>	<b>5,600.00</b>
100-4033300-33300-5230-000	Probation Office - Telecommunications	LUMOS NETWORKS	31.70
100-4033300-33300-6001-000	Probation Office - Office Supplies	Bank of America	6.50
		<b>Probation Office</b>	<b>38.20</b>
100-4035100-35100-2300-000	Animal Control - Hospital/Medical Plan	CORVESTA SERVICES INC	109.26
100-4035100-35100-3100-000	Animal Control - Professional Services	COUNTY OF ROANOKE	14,675.83
100-4035100-35100-5230-000	Animal Control - Telecommunications	LUMOS NETWORKS	25.82
100-4035100-35100-6004-000	Animal Control - Medical & Laboratory Supplies	BOTETOURT VETERINARY HOSPITAL INC	62.50
100-4035100-35100-6004-000	Animal Control - Medical & Laboratory Supplies	ROANOKE CITY HEALTH DEPT	261.49
100-4035100-35100-6004-000	Animal Control - Medical & Laboratory Supplies	EMERGENCY VETERINARY SERVICES OF ROANOKE	44.82
100-4035100-35100-6011-000	Animal Control - Uniforms & Wearing Apparel	BKT UNIFORMS	143.76
100-4035100-35100-6011-000	Animal Control - Uniforms & Wearing Apparel	BLUE RIDGE SPORTSWEAR	42.00
100-4035100-35100-8001-000	Animal Control - Capital Outlay - Machinery & Equipment	LARGE ANIMAL RESCUE GLIDE EQUIPMENT	2,228.09
		<b>Animal Control</b>	<b>17,593.57</b>
100-4035500-35500-2300-000	Fire & EMS - Hospital/Medical Plan	CORVESTA SERVICES INC	1,165.44
100-4035500-35500-3100-000	Fire & EMS - Professional Services	SAFETY & COMPLIANCE SERVICES	77.00
100-4035500-35500-3100-000	Fire & EMS - Professional Services	SURE-FLO INC	597.00
100-4035500-35500-3160-000	Fire & EMS - Bill Collections Services	EMS MANAGEMENT & CONSULTANTS INC	44.68
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	SURE-FLO INC	634.30
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	LOWE'S	120.63
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	THE FIRST SIGNS OF FIRE	250.00
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	9.85
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	425.19
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	64.01
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	29.20
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	6.22
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	12.75
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	8.42
100-4035500-35500-3311-000	Fire & EMS - Repairs & Maint - Equip	Bank of America	49.92
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	LOWE'S	26.51
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	Bank of America	79.44
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	Bank of America	217.04
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	9.65
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	45.12
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	11.03

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100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	35.69
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	24.96
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	36.30
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	9.19
100-4035500-35500-3312-000	Fire & EMS - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	36.39
100-4035500-35500-3320-000	Fire & EMS - Maint Service Contracts	INNOVATIVE SYSTEMS & SOLUTIONS T/A ABS TECHNOLOGY	1,042.09
100-4035500-35500-3320-000	Fire & EMS - Maint Service Contracts	BLUE RIDGE RESCUE SUPPLIERS	200.00
100-4035500-35500-3600-000	Fire & EMS - Advertising	ROANOKE TIMES	294.99
100-4035500-35500-3600-000	Fire & EMS - Advertising	EMPLOYMENT PUBLISHING	474.24
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	94.36
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	112.05
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	53.02
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	363.37
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	474.00
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	300.00
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	300.00
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	115.30
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	275.00
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	300.00
100-4035500-35500-3800-000	Fire & EMS - Prch of Govt & Other Serv	ROANOKE COUNTY FIRE AND RESCUE	74.84
100-4035500-35500-5210-000	Fire & EMS - Postal Services	Bank of America	18.74
100-4035500-35500-5230-000	Fire & EMS - Telecommunications	LUMOS NETWORKS	60.30
100-4035500-35500-5230-000	Fire & EMS - Telecommunications	VERIZON WIRELESS	40.01
100-4035500-35500-5230-000	Fire & EMS - Telecommunications	Bank of America	68.28
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	18.03
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	19.84
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	19.91
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	8.53
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	9.88
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	2.50
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	38.12
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	314.22
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	39.95
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	103.01
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	Bank of America	8.58
100-4035500-35500-5530-000	Fire & EMS - Subsistence & Lodging	LOWE'S	37.70
100-4035500-35500-5540-000	Fire & EMS - Convention & Education	ROCKBRIDGE COUNTY FIREFIGHTERS ASSOCIATION	75.00
100-4035500-35500-5999-000	Fire & EMS - Refunds	ELAINE SHAFER	582.40
100-4035500-35500-6001-000	Fire & EMS - Office Supplies	Bank of America	19.86
100-4035500-35500-6001-000	Fire & EMS - Office Supplies	Bank of America	89.11
100-4035500-35500-6001-000	Fire & EMS - Office Supplies	Bank of America	6.23
100-4035500-35500-6008-000	Fire & EMS - Vehicle & Pwr Equip Fuels	Bank of America	26.00
100-4035500-35500-6008-000	Fire & EMS - Vehicle & Pwr Equip Fuels	Bank of America	32.15
100-4035500-35500-6008-000	Fire & EMS - Vehicle & Pwr Equip Fuels	Bank of America	49.19
100-4035500-35500-6008-000	Fire & EMS - Vehicle & Pwr Equip Fuels	Bank of America	40.91
100-4035500-35500-6008-000	Fire & EMS - Vehicle & Pwr Equip Fuels	EXXONMOBIL	48.32
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	INTERSTATE RESCUE	60.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	FIRST DUE GEAR	125.00
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	FIRST DUE GEAR	88.00
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	Bank of America	1,134.54
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	Bank of America	43.11
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	Bank of America	43.11
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	BKT UNIFORMS	45.98
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	BKT UNIFORMS	70.97
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	JEFF ELMORE	125.00
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	SURE-FLO INC	1,535.48
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	SAM'S ON THE MARKET INC	39.99
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	WITMER PUBLIC SAFETY GROUP INC	68.00
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	WITMER PUBLIC SAFETY GROUP INC	217.00
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	WITMER PUBLIC SAFETY GROUP INC	277.00
100-4035500-35500-6011-000	Fire & EMS - Uniforms & Wearing Apparel	WITMER PUBLIC SAFETY GROUP INC	161.50
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	600.00
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	LOWE'S	96.32
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	6.33
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	20.00
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	18.37
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	7.53
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	123.04
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	53.28
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	7.26
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	41.94
100-4035500-35500-6014-000	Fire & EMS - Other Operating Supplies	Bank of America	330.65
100-4035500-35500-8001-000	Fire & EMS - Capital Outlay - Machinery & Equipment	BLUE RIDGE RESCUE SUPPLIERS	49.64
100-4035500-35500-8001-000	Fire & EMS - Capital Outlay - Machinery & Equipment	BARATTA & ASSOCIATES INC	658.50
100-4035500-35500-8002-000	Fire & EMS - Capital Outlay - Furniture & Fixtures	Bank of America	573.58
100-4035500-35500-8002-000	Fire & EMS - Capital Outlay - Furniture & Fixtures	Bank of America	2,200.00
100-4035500-35500-8012-000	Fire & EMS - Capital Outlay - Other Capital	SURE-FLO INC	
		<b>Fire &amp; EMS</b>	<b>19,097.08</b>
100-4035600-35600-3311-000	Emergency Communications - Repairs & Maint - Equip	MOTOROLA SOLUTIONS INC	1,981.98
100-4035600-35600-3311-000	Emergency Communications - Repairs & Maint - Equip	PROFESSIONAL COMMUNICATIONS	371.50
100-4035600-35600-3320-000	Emergency Communications - Maint Service Contracts	PROFESSIONAL COMMUNICATIONS	5,783.50
100-4035600-35600-3320-000	Emergency Communications - Maint Service Contracts	SOUTHERN SOFTWARE INC	782.00
100-4035600-35600-5410-000	Emergency Communications - Lease/Rent of Equipment	TOWN OF FINCASTLE	1,461.63
100-4035600-35600-5410-000	Emergency Communications - Lease/Rent of Equipment	BOTETOURT LAND HOLDING II, LLC	2,713.58
100-4035600-35600-5410-000	Emergency Communications - Lease/Rent of Equipment	BOTETOURT LAND HOLDING II, LLC	1,398.22
100-4035600-35600-5420-000	Emergency Communications - Lease/Rent of Buildings	BOTETOURT LAND HOLDING II, LLC	216.00
		<b>Emergency Communications</b>	<b>14,708.41</b>
100-4040000-40000-2300-000	General Services - Hospital/Medical Plan	CORVESTA SERVICES INC	109.26
100-4040000-40000-2500-000	General Services - Disability Insurance	VACORP	16.55
100-4040000-40000-2500-000	General Services - Disability Insurance	VACORP	13.30
100-4040000-40000-3312-000	General Services - Repairs & Maint - Vehic	Bank of America	20.00
100-4040000-40000-3312-000	General Services - Repairs & Maint - Vehic	Bank of America	20.00
100-4040000-40000-3320-000	General Services - Maint Service Contracts	Bank of America	8.73

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4040000-40000-3320-000	General Services - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	192.02
100-4040000-40000-3320-000	General Services - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	5.48
100-4040000-40000-3320-000	General Services - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	130.52
100-4040000-40000-3320-000	General Services - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	165.07
100-4040000-40000-3320-000	General Services - Maint Service Contracts	INTERACTIVEGIS INC	500.00
100-4040000-40000-3320-000	General Services - Maint Service Contracts	SOUTHERN GRAPHICS & SUPPLY CO	210.00
100-4040000-40000-5230-000	General Services - Telecommunications	LUMOS NETWORKS	61.20
100-4040000-40000-5540-000	General Services - Convention & Education	Bank of America	20.00
100-4040000-40000-6001-000	General Services - Office Supplies	Bank of America	13.15
100-4040000-40000-6001-000	General Services - Office Supplies	Bank of America	173.82
100-4040000-40000-6001-000	General Services - Office Supplies	Bank of America	37.74
100-4040000-40000-6001-000	General Services - Office Supplies	Bank of America	13.00
100-4040000-40000-6001-000	General Services - Office Supplies	Bank of America	6.23
100-4040000-40000-8012-000	General Services - Capital Outlay - Other Capital	KORMAN SIGNS INC	750.11
100-4040000-40000-8012-000	General Services - Capital Outlay - Other Capital	KORMAN SIGNS INC	154.73
		<b>General Services</b>	<b>2,620.91</b>
100-4042400-42400-2300-000	Waste Management - Hospital/Medical Plan	CORVESTA SERVICES INC	145.68
100-4042400-42400-3100-000	Waste Management - Professional Services	Bank of America	137.00
100-4042400-42400-3191-000	Waste Management - Refuse Disposal	CITY OF SALEM UTILITY COLLECTIONS	6,432.25
100-4042400-42400-3192-000	Waste Management - Recycling Processing	NEW RIVER TIRE RECYCLING LLC	1,792.50
100-4042400-42400-3192-000	Waste Management - Recycling Processing	ADVANCED DISPOSAL	16,667.61
100-4042400-42400-3192-000	Waste Management - Recycling Processing	SPIRIT SERVICES INC	125.00
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	240.60
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	209.10
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	239.20
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	282.03
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	230.39
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	203.62
100-4042400-42400-3192-000	Waste Management - Recycling Processing	RDS-VIRGINIA	281.14
100-4042400-42400-3192-000	Waste Management - Recycling Processing	Bank of America	1,799.05
100-4042400-42400-3192-000	Waste Management - Recycling Processing	Bank of America	-90.55
100-4042400-42400-3193-000	Waste Management - Leachate Treatment	Bank of America	1,149.82
100-4042400-42400-3193-000	Waste Management - Leachate Treatment	REI CONSULTANTS INC	299.08
100-4042400-42400-3193-000	Waste Management - Leachate Treatment	CRAWFORD EXCAVATING INC.	2,274.39
100-4042400-42400-3193-000	Waste Management - Leachate Treatment	CMC SUPPLY INC	16.72
100-4042400-42400-3311-000	Waste Management - Repairs & Maint - Equip	Bank of America	26.18
100-4042400-42400-3311-000	Waste Management - Repairs & Maint - Equip	Bank of America	116.24
100-4042400-42400-3312-000	Waste Management - Repairs & Maint - Vehic	Bank of America	43.27
100-4042400-42400-3312-000	Waste Management - Repairs & Maint - Vehic	Bank of America	42.95
100-4042400-42400-3312-000	Waste Management - Repairs & Maint - Vehic	CAVALIER EQUIPMENT CORPORATION	157.00
100-4042400-42400-3312-000	Waste Management - Repairs & Maint - Vehic	EXCEL TRUCK GROUP	1,712.71
100-4042400-42400-3320-000	Waste Management - Maint Service Contracts	Bank of America	8.73
100-4042400-42400-3320-000	Waste Management - Maint Service Contracts	BEST CLEANING	175.00
100-4042400-42400-3600-000	Waste Management - Advertising	VIRGINIA MEDIA	255.00
100-4042400-42400-5230-000	Waste Management - Telecommunications	LUMOS NETWORKS	1,615.72
100-4042400-42400-5410-000	Waste Management - Lease/Rent of Equipment	MARK B GOODE	1,500.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4042400-42400-6001-000	Waste Management - Office Supplies	Bank of America	19.50
100-4042400-42400-6009-000	Waste Management - Vehicle & Pwr Equip Supplies	Bank of America	-34.13
100-4042400-42400-6009-000	Waste Management - Vehicle & Pwr Equip Supplies	Bank of America	10.95
100-4042400-42400-6011-000	Waste Management - Uniforms & Wearing Apparel	Bank of America	125.99
100-4042400-42400-6011-000	Waste Management - Uniforms & Wearing Apparel	Bank of America	199.99
100-4042400-42400-6014-000	Waste Management - Other Operating Supplies	Bank of America	8.88
100-4042400-42400-8006-000	Waste Management - Capital Outlay - Cnst Vehicles	CAVALIER EQUIPMENT CORPORATION	41,891.00
		<b>Waste Management</b>	<b>80,309.61</b>
100-4043000-43000-2300-000	Maint Bldgs & Grounds - Hospital/Medical Plan	CORVESTA SERVICES INC	254.94
100-4043000-43000-3313-000	Maint Bldgs & Grounds - Repair & Maint - Bldgs	MCNEIL ROOFING INC	286.90
100-4043000-43000-3313-000	Maint Bldgs & Grounds - Repair & Maint - Bldgs	LOWE'S	6.34
100-4043000-43000-3313-000	Maint Bldgs & Grounds - Repair & Maint - Bldgs	BARTLETT TREE EXPERTS	425.00
100-4043000-43000-3320-000	Maint Bldgs & Grounds - Maint Service Contracts	SCRUBZ PROCLEANING	590.00
100-4043000-43000-3320-000	Maint Bldgs & Grounds - Maint Service Contracts	G J HOPKINS INC	627.68
100-4043000-43000-3320-000	Maint Bldgs & Grounds - Maint Service Contracts	MECHANICAL MAINTENANCE INC	520.00
100-4043000-43000-3320-000	Maint Bldgs & Grounds - Maint Service Contracts	Bank of America	8.73
100-4043000-43000-3320-000	Maint Bldgs & Grounds - Maint Service Contracts	OTIS ELEVATOR COMPANY	955.20
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	CARTER MACHINERY CO INC	299.66
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	BILL SAUL	1,635.00
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	FSI MID STATE DIV INC	376.00
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	TRANE COMPANY	489.60
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	TRANE COMPANY	242.00
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	ELEVATING EQUIPMENT INSPECTION SERVICE	100.00
100-4043000-43000-3321-000	Maint Bldgs & Grounds - Maint Serv Contr - ETC	THYSSENKRUPP ELEVATOR CORPORATION	352.79
100-4043000-43000-5120-000	Maint Bldgs & Grounds - Heating Services	ROANOKE GAS COMPANY	64.84
100-4043000-43000-5130-000	Maint Bldgs & Grounds - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	65.99
100-4043000-43000-5130-000	Maint Bldgs & Grounds - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	76.89
100-4043000-43000-5130-000	Maint Bldgs & Grounds - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	221.27
100-4043000-43000-5130-000	Maint Bldgs & Grounds - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	51.42
100-4043000-43000-5130-000	Maint Bldgs & Grounds - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	52.18
100-4043000-43000-5230-000	Maint Bldgs & Grounds - Telecommunications	LUMOS NETWORKS	283.35
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	Bank of America	-14.72
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	Bank of America	20.42
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	Bank of America	726.04
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	15.65
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	6.71
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	9.49
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	9.49
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.74
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	35.00
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	15.65
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	10.58
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	6.71
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	9.49
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	9.49
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.74

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	2.37
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	18.99
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	5.66
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	10.58
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	-4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	5.66
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	-4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	2.37
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	18.99
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.47
100-4043000-43000-6005-000	Maint Bldgs & Grounds - Laundry, Hskpg, Janitor Supply	ALSCO	4.47
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	Bank of America	119.90
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	Bank of America	38.85
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	Bank of America	193.68
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	Bank of America	14.39
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	SHERWIN WILLIAMS	76.48
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	SHERWIN WILLIAMS	38.24
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	SHERWIN WILLIAMS	121.93
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	SHERWIN WILLIAMS	135.84
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	Bank of America	164.43
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	41.67
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	29.40
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	98.40
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	15.08
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	20.88
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	-27.89
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	33.22
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	200.46
100-4043000-43000-6007-000	Maint Bldgs & Grounds - Repair & Maint Supplies	LOWE'S	104.45
100-4043000-43000-6011-000	Maint Bldgs & Grounds - Uniforms & Wearing Apparel	R M JOHNSON & SONS INC	10.00
100-4043000-43000-6011-000	Maint Bldgs & Grounds - Uniforms & Wearing Apparel	Bank of America	126.35
<b>Maint Bldgs &amp; Grounds</b>			<b>10,493.52</b>
100-4053500-53500-2300-000	Childrens Services (CSA) - Hospital/Medical Plan	CORVESTA SERVICES INC	36.42
100-4053500-53500-2500-000	Children's Services (CSA) - Disability Insurance	VACORP	15.80
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	FAMILY PRESERVATION SERVICES	1,380.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	FAMILY PRESERVATION SERVICES	1,600.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	PROFESSIONAL THERAPIES OF ROANOKE INC	3,260.84
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	HOPE TREE FAMILY SERVICES	12,389.46
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	HOPE TREE FAMILY SERVICES	6,200.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	KEYSTONE NEWPORT NEWS LLC	3,885.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CENTRA HEALTH INC	3,990.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CENTRA HEALTH INC	3,325.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CENTRA HEALTH INC	892.50
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CENTRA HEALTH INC	3,990.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CENTRA HEALTH INC	2,850.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CENTRA HEALTH INC	3,990.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	DISCOVERY SCHOOL OF VIRGINIA INC	5,952.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	ANTHONY O WELLS PHD PC	1,000.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE AUTISM & ACHIEVEMENT CENTER	5,700.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	ALLIED INSTRUCTIONAL SERVICES	300.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	NORTH SPRING BEHAVIORAL HEALTHCARE BUSINESS OFFICE	4,743.48
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	FAMILY INSIGHT PC	575.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	FAMILY INSIGHT PC	2,010.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	MAURICE S. FISHER, SR., PH.D.	180.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	HUGHES CENTER	5,082.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	CREATIVE THERAPY CARE	40.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	GIFT OF HOPE	5,754.14
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	GIFT OF HOPE	5,580.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	GIFT OF HOPE	5,580.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BRAMBLETON ASSESSMENT & COUNSELING CENTER	450.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BRAMBLETON ASSESSMENT & COUNSELING CENTER	180.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE BEHAVIORAL HEALTHCARE	326.50
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE BEHAVIORAL HEALTHCARE	900.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE BEHAVIORAL HEALTHCARE	900.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE BEHAVIORAL HEALTHCARE	900.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	BLUE RIDGE BEHAVIORAL HEALTHCARE	1,200.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	LUTHERAN FAMILY SERVICES OF VIRGINIA INC MINNICK	4,000.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	LUTHERAN FAMILY SERVICES OF VIRGINIA INC MINNICK	6,600.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	LUTHERAN FAMILY SERVICES OF VIRGINIA INC MINNICK	4,000.00
100-4053500-53500-3100-000	Childrens Services (CSA) - Professional Services	LUTHERAN FAMILY SERVICES OF VIRGINIA INC MINNICK	3,000.00
100-4053500-53500-3320-000	Childrens Services (CSA) - Maint Service Contracts	Bank of America	8.73
100-4053500-53500-3320-000	Childrens Services (CSA) - Maint Service Contracts	LEONARD'S COPY SYSTEMS INC	180.00
100-4053500-53500-3320-000	Childrens Services (CSA) - Maint Service Contracts	LEONARD'S COPY SYSTEMS INC	84.99
100-4053500-53500-5230-000	Childrens Services (CSA) - Telecommunications	LUMOS NETWORKS	32.80
100-4053500-53500-6001-000	Childrens Services (CSA) - Office Supplies	Bank of America	16.30
100-4053500-53500-6001-000	Childrens Services (CSA) - Office Supplies	Bank of America	-16.30
		<b>Childrens Services (CSA)</b>	<b>144,864.66</b>
100-4068000-00000-3800-000	Community Colleges - Prch of Govt & Other Serv	VIRGINIA WESTERN COMMUNITY COLLEGE EDUCATIONAL FOU	30,000.00
100-4068000-00000-3800-000	Community Colleges - Prch of Govt & Other Serv	DABNEY S LANCASTER COMMUNITY COLLEGE	2,140.00
100-4068000-00000-3800-000	Community Colleges - Prch of Govt & Other Serv	DABNEY S LANCASTER COMMUNITY COLLEGE	5,000.00
		<b>Community Colleges</b>	<b>37,140.00</b>

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4071100-71100-2300-000	Parks & Recreation - Hospital/Medical Plan	CORVESTA SERVICES INC	291.36
100-4071100-71100-2500-000	Parks & Recreation - Disability Insurance	VACORP	15.55
100-4071100-71100-2500-000	Parks & Recreation - Disability Insurance	VACORP	11.24
100-4071100-71100-2500-000	Parks & Recreation - Disability Insurance	VACORP	11.24
100-4071100-71100-2500-000	Parks & Recreation - Disability Insurance	VACORP	11.24
100-4071100-71100-3180-000	Parks & Recreation - Instruction/Training Services	CHRIS COOK	65.00
100-4071100-71100-3181-000	Parks & Recreation - Coaches Certifications	SOUTHEASTERN SECURITY CONSULTANTS INC	270.00
100-4071100-71100-3181-000	Parks & Recreation - Coaches Certifications	SOUTHEASTERN SECURITY CONSULTANTS INC	30.00
100-4071100-71100-3181-000	Parks & Recreation - Coaches Certifications	SOUTHEASTERN SECURITY CONSULTANTS INC	90.00
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	97.50
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	750.57
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	136.13
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	545.11
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	62.08
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	591.61
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	310.00
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	181.95
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	195.00
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	BLUERIDGE FARM CENTER INC	429.55
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	BOTETOURT TRUCK & TRAILER REPAIR INC	254.18
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	BOTETOURT TRUCK & TRAILER REPAIR INC	125.00
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	40.18
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	6.07
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	18.99
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	28.75
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	-45.36
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	34.98
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	60.56
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	16.12
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	45.96
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	70.21
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	LOWE'S	122.85
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	GCR TIRE & SERVICE	266.24
100-4071100-71100-3311-000	Parks & Recreation - Repairs & Maint - Equip	MID-STATE EQUIP CO INC/MT JOY RV SALES & SERVICE	319.90
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	B & D LOCK CO, INC	215.90
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	B & D LOCK CO, INC	12.40
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	32.04
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	GRAINGER	205.92
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	32.04
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	38.92
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	25.64
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	3.92
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	67.94
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	-7.32
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	145.39
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	LOWE'S	7.54
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	T MARK REPAIRS	250.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	AQUATURF INC	80.00
100-4071100-71100-3313-000	Parks & Recreation - Repair & Maint - Bldgs	AQUATURF INC	149.50
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	30.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	20.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	10.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	30.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	1,800.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	4,840.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	10.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	20.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	THOMPSON LANDSCAPING LLC	10.00
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	93.46
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	166.11
100-4071100-71100-3320-000	Parks & Recreation - Maint Service Contracts	Bank of America	8.78
100-4071100-71100-3800-000	Parks & Recreation - Prch of Govt & Other Serv	FMS INCORPORATED	2,904.00
100-4071100-71100-5120-000	Parks & Recreation - Heating Services	SUBURBAN PROPANE-7401	736.34
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	Bank of America	13.00
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	216.30
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	BLUE RIDGE WATER AGENCY INC	24.00
100-4071100-71100-5230-000	Parks & Recreation - Telecommunications	LUMOS NETWORKS	193.61
100-4071100-71100-5410-000	Parks & Recreation - Lease/Rent of Equipment	TIDY SERVICES	130.00
100-4071100-71100-5420-000	Parks & Recreation - Lease/Rent of Buildings	BRAVO PROPERTIES LLC	1,500.00
100-4071100-71100-5530-000	Parks & Recreation - Subsistence & Lodging	Bank of America	71.46
100-4071100-71100-5530-000	Parks & Recreation - Subsistence & Lodging	Bank of America	34.52
100-4071100-71100-5540-000	Parks & Recreation - Convention & Education	Bank of America	41.97
100-4071100-71100-5540-000	Parks & Recreation - Convention & Education	Bank of America	8.00
100-4071100-71100-5540-000	Parks & Recreation - Convention & Education	Bank of America	7.00
100-4071100-71100-5540-000	Parks & Recreation - Convention & Education	Bank of America	49.00
100-4071100-71100-5840-000	Parks & Recreation - Marketing	VIRGINIA MEDIA	138.77
100-4071100-71100-5840-000	Parks & Recreation - Marketing	ROANOKE TIMES	748.00
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	Bank of America	8.70
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	Bank of America	15.28
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	Bank of America	40.90
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	VIRGINIA CORRECTIONAL ENTERPRISES	236.40
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	VIRGINIA CORRECTIONAL ENTERPRISES	97.50
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	VIRGINIA CORRECTIONAL ENTERPRISES	23.75
100-4071100-71100-6001-000	Parks & Recreation - Office Supplies	VIRGINIA CORRECTIONAL ENTERPRISES	23.30
100-4071100-71100-6002-000	Parks & Recreation - Food Supplies & Fd Serv	Bank of America	64.52
100-4071100-71100-6002-000	Parks & Recreation - Food Supplies & Fd Serv	Bank of America	74.19
100-4071100-71100-6002-000	Parks & Recreation - Food Supplies & Fd Serv	Bank of America	11.22
100-4071100-71100-6003-000	Parks & Recreation - Agricultural Supplies	LANDSCAPE SUPPLY INC	290.00
100-4071100-71100-6003-000	Parks & Recreation - Agricultural Supplies	LANDSCAPE SUPPLY INC	143.00
100-4071100-71100-6008-000	Parks & Recreation - Vehicle & Pwr Equip Fuels	Bank of America	18.01
100-4071100-71100-6009-000	Parks & Recreation - Vehicle & Pwr Equip Supplies	Bank of America	5.00
100-4071100-71100-6009-000	Parks & Recreation - Vehicle & Pwr Equip Supplies	BOTETOURT TRUCK & TRAILER REPAIR INC	1,192.84
100-4071100-71100-6009-000	Parks & Recreation - Vehicle & Pwr Equip Supplies	BOTETOURT TRUCK & TRAILER REPAIR INC	93.70
100-4071100-71100-6009-000	Parks & Recreation - Vehicle & Pwr Equip Supplies	BOTETOURT TRUCK & TRAILER REPAIR INC	813.60

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4071100-71100-6009-000	Parks & Recreation - Vehicle & Pwr Equip Supplies	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	91.11
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	SUPER SHOE STORES	114.99
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	SUPER SHOE STORES	120.00
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	SUPER SHOE STORES	89.99
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	SUPER SHOE STORES	116.98
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	43.50
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	43.50
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	43.50
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	378.04
100-4071100-71100-6013-000	Parks & Recreation - Educ & Rec Supplies	TILLER'S GENERAL CONTRACTING INC	774.00
100-4071100-71100-6013-000	Parks & Recreation - Educ & Rec Supplies	TILLER'S GENERAL CONTRACTING INC	225.00
100-4071100-71100-6013-000	Parks & Recreation - Educ & Rec Supplies	Bank of America	435.00
		<b>Parks &amp; Recreation</b>	<b>26,201.43</b>
100-4071300-71300-2300-000	Sports Complex - Hospital/Medical Plan	CORVESTA SERVICES INC	109.26
100-4071300-71300-2500-000	Sports Complex - Disability Insurance	VACORP	13.17
100-4071300-71300-2500-000	Sports Complex - Disability Insurance	VACORP	11.24
100-4071300-71300-3311-000	Sports Complex - Repairs & Maint - Equip	LOWE'S	38.00
100-4071300-71300-3311-000	Sports Complex - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	32.50
100-4071300-71300-3311-000	Sports Complex - Repairs & Maint - Equip	COVERALL GROUNDS MAINTANENCE	100.00
100-4071300-71300-3313-000	Sports Complex - Repair & Maint - Bldgs	LOWE'S	28.48
100-4071300-71300-3313-000	Sports Complex - Repair & Maint - Bldgs	LOWE'S	62.70
100-4071300-71300-3320-000	Sports Complex - Maint Service Contracts	CANON SOLUTIONS AMERICA INC	73.20
100-4071300-71300-3320-000	Sports Complex - Maint Service Contracts	Bank of America	8.73
100-4071300-71300-5130-000	Sports Complex - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	775.05
100-4071300-71300-5230-000	Sports Complex - Telecommunications	LUMOS NETWORKS	1,157.93
100-4071300-71300-5540-000	Sports Complex - Convention & Education	Bank of America	400.00
100-4071300-71300-6003-000	Sports Complex - Agricultural Supplies	LANDSCAPE SUPPLY INC	2,183.00
100-4071300-71300-6003-000	Sports Complex - Agricultural Supplies	LANDSCAPE SUPPLY INC	1,257.02
100-4071300-71300-6003-000	Sports Complex - Agricultural Supplies	SUNBELT RENTALS	76.91
100-4071300-71300-6005-000	Sports Complex - Laundry, Hskpg, Janitor Supply	STATE INDUSTRIAL PRODUCTS	236.56
100-4071300-71300-6005-000	Sports Complex - Laundry, Hskpg, Janitor Supply	LOWE'S	40.78
100-4071300-71300-6011-000	Sports Complex - Uniforms & Wearing Apparel	CINTAS CORPORATION-#524	82.50
100-4071300-71300-6014-000	Sports Complex - Other Operating Supplies	DONALD W DOOLEY BOTETOURT PEST CONTROL	110.00
100-4071300-71300-6014-000	Sports Complex - Other Operating Supplies	SUNBELT RENTALS	84.10
100-4071300-71300-6014-000	Sports Complex - Other Operating Supplies	Bank of America	91.99
		<b>Sports Complex</b>	<b>6,973.12</b>
100-4071500-71500-3320-000	Van Program - Maint. Service Contracts	Bank of America	8.73
100-4071500-71500-6009-000	Van Program - Vehicle & Pwr Equip Supplies	BLUETARP FINANCIAL	127.77
100-4071500-71500-6009-000	Van Program - Vehicle & Pwr Equip Supplies	BERGLUND COMPANIES	57.50
		<b>Van Program</b>	<b>194.00</b>
100-4073100-73100-2300-000	Library System - Hospital/Medical Plan	CORVESTA SERVICES INC	364.20
100-4073100-73100-2500-000	Library System - Disability Insurance	VACORP	10.92
100-4073100-73100-3100-000	Library System - Professional Services	SELECTION.COM	12.00
100-4073100-73100-3100-000	Library System - Professional Services	OCLC INC #774418	1,058.08

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4073100-73100-3312-000	Library System - Repairs & Maint - Vehic	CUMMINS ATLANTIC	942.67
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	143.49
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	11.58
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	143.49
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	35.73
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	136.68
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	69.41
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	143.49
100-4073100-73100-3320-000	Library System - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	28.51
100-4073100-73100-3320-000	Library System - Maint Service Contracts	BROWN EXTERMINATING CO. INC	25.00
100-4073100-73100-3320-000	Library System - Maint Service Contracts	BROWN EXTERMINATING CO. INC	25.00
100-4073100-73100-3320-000	Library System - Maint Service Contracts	BROWN EXTERMINATING CO. INC	25.00
100-4073100-73100-3320-000	Library System - Maint Service Contracts	RYDER CLEANING	40.00
100-4073100-73100-3320-000	Library System - Maint Service Contracts	SCRUBZ PROCLEANING	700.00
100-4073100-73100-3320-000	Library System - Maint Service Contracts	Bank of America	8.73
100-4073100-73100-3800-000	Library System - Prch of Govt & Other Serv	TREASURER CITY OF ROANOKE	127.67
100-4073100-73100-3800-000	Library System - Prch of Govt & Other Serv	COUNTY OF ROANOKE	835.69
100-4073100-73100-5110-000	Library System - Electrical Services	DOMINION VIRGINIA POWER	285.95
100-4073100-73100-5110-000	Library System - Electrical Services	DOMINION VIRGINIA POWER	658.22
100-4073100-73100-5130-000	Library System - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	112.41
100-4073100-73100-5130-000	Library System - Water and Sewer	Bank of America	6.50
100-4073100-73100-5230-000	Library System - Telecommunications	LUMOS NETWORKS	2,037.15
100-4073100-73100-5230-000	Library System - Telecommunications	SHENTEL	233.18
100-4073100-73100-5230-000	Library System - Telecommunications	COMCAST	145.64
100-4073100-73100-5840-000	Library System - Marketing	Bank of America	90.19
100-4073100-73100-6001-000	Library System - Office Supplies	Bank of America	14.88
100-4073100-73100-6001-000	Library System - Office Supplies	Bank of America	5.49
100-4073100-73100-6001-000	Library System - Office Supplies	Bank of America	218.44
100-4073100-73100-6001-000	Library System - Office Supplies	Bank of America	55.57
100-4073100-73100-6001-000	Library System - Office Supplies	Bank of America	45.14
100-4073100-73100-6001-000	Library System - Office Supplies	FSI MID STATE DIV INC	45.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	COUNTRYSIDE PUBLICATIONS	19.99
100-4073100-73100-6012-000	Library System - Books & Subscriptions	MIDWEST TAPE LLC	7.99
100-4073100-73100-6012-000	Library System - Books & Subscriptions	MIDWEST TAPE LLC	37.57
100-4073100-73100-6012-000	Library System - Books & Subscriptions	MIDWEST TAPE LLC	98.95
100-4073100-73100-6012-000	Library System - Books & Subscriptions	PETERSEN'S HUNTING	20.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	289.02
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	153.97
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	10.81
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	33.59
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	314.18
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	11.87
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	14.61
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	16.25
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	90.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	33.80
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	9.92

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	15.39
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	15.72
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	31.50
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	183.66
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	70.60
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	352.27
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	23.55
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	136.98
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	21.12
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	249.41
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	16.25
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	18.59
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	12.09
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	355.85
100-4073100-73100-6012-000	Library System - Books & Subscriptions	INGRAM LIBRARY SERVICES	57.43
100-4073100-73100-6012-000	Library System - Books & Subscriptions	TEI LANDMARK AUDIO A DIVISION OF TAPED EDITIONS I	78.25
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	14.96
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	54.90
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	24.95
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	110.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	68.87
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	100.87
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	104.98
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	16.99
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	51.48
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	-0.97
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	48.95
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	45.88
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	-1.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	12.70
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	14.99
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	58.87
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	125.83
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	110.84
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	31.97
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	21.97
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	45.90
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	24.93
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	28.87
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	14.10
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	48.86
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	15.47
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	-5.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	6.99
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	58.86
100-4073100-73100-6012-000	Library System - Books & Subscriptions	Bank of America	513.80
100-4073100-73100-6012-000	Library System - Books & Subscriptions	HEALTH	15.00

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4073100-73100-6012-000	Library System - Books & Subscriptions	READER'S DIGEST	10.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	SHOW ME BOOKS	466.50
100-4073100-73100-6012-000	Library System - Books & Subscriptions	EBSCO INFORMATION SERVICES PAYMENT PROCESSING CENT	987.31
100-4073100-73100-6012-000	Library System - Books & Subscriptions	BAKER & TAYLOR	46.22
100-4073100-73100-6012-000	Library System - Books & Subscriptions	THE ATLANTIC	29.95
100-4073100-73100-6012-000	Library System - Books & Subscriptions	BLUE RIDGE COUNTRY	17.95
100-4073100-73100-6012-000	Library System - Books & Subscriptions	COUNTRY WOMAN SUBSCRIPTION FULFILLMENT CENTER	14.98
100-4073100-73100-6012-000	Library System - Books & Subscriptions	RECORDED BOOKS LLC	136.40
100-4073100-73100-6012-000	Library System - Books & Subscriptions	TASTE OF HOME BOOKS	32.98
100-4073100-73100-6012-000	Library System - Books & Subscriptions	TASTE OF HOME BOOKS	32.98
100-4073100-73100-6012-000	Library System - Books & Subscriptions	ROANOKE TIMES	208.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	OVERDRIVE INC	194.94
100-4073100-73100-6012-000	Library System - Books & Subscriptions	SOPHISTICATE'S HAIRSTYLE GUIDE	51.50
100-4073100-73100-6012-000	Library System - Books & Subscriptions	THE WALL STREET JOURNAL	395.88
100-4073100-73100-6012-000	Library System - Books & Subscriptions	WOMAN'S DAY	19.97
100-4073100-73100-6012-000	Library System - Books & Subscriptions	BROAD REACH	564.68
100-4073100-73100-6012-000	Library System - Books & Subscriptions	CENTER POINT LARGE PRINT	86.88
100-4073100-73100-6012-000	Library System - Books & Subscriptions	CENTER POINT LARGE PRINT	131.82
100-4073100-73100-6012-000	Library System - Books & Subscriptions	CENTER POINT LARGE PRINT	131.82
100-4073100-73100-6012-000	Library System - Books & Subscriptions	CENTER POINT LARGE PRINT	131.82
100-4073100-73100-6012-000	Library System - Books & Subscriptions	VANITY FAIR	48.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	REAL SIMPLE	24.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	47.23
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	37.18
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	83.25
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	28.19
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	38.92
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	65.22
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	49.48
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	36.00
100-4073100-73100-6012-000	Library System - Books & Subscriptions	GALE/CENGAGE LEARNING	47.23
100-4073100-73100-6012-000	Library System - Books & Subscriptions	MICROMARKETING LLC ATTN: ACCOUNTS RECEIVABLE	55.87
100-4073100-73100-6012-000	Library System - Books & Subscriptions	MICROMARKETING LLC ATTN: ACCOUNTS RECEIVABLE	15.29
		<b>Library System</b>	<b>17,696.53</b>
100-4081200-81200-2300-000	Community Development - Hospital/Medical Plan	CORVESTA SERVICES INC	291.36
100-4081200-81200-2500-000	Community Development - Disability Insurance	VACORP	22.56
100-4081200-81200-2500-000	Community Development - Disability Insurance	VACORP	23.82
100-4081200-81200-2500-000	Community Development - Disability Insurance	VACORP	17.21
100-4081200-81200-2500-000	Community Development - Disability Insurance	VACORP	19.91
100-4081200-81200-3100-000	Community Development - Professional Services	MICHAEL BATSAKIS	250.00
100-4081200-81200-3194-000	Community Development - Stormwater Management	TREASURER OF VIRGINIA DEPARTMENT OF ENVIRONMENTAL	756.00
100-4081200-81200-3194-000	Community Development - Stormwater Management	TREASURER OF VIRGINIA DEPARTMENT OF ENVIRONMENTAL	3,024.00
100-4081200-81200-3312-000	Community Development - Repairs & Maint - Vehic	ADVANCE AUTO PARTS AAP FINANCIAL SERVICES	10.78
100-4081200-81200-3312-000	Community Development - Repairs & Maint - Vehic	Bank of America	23.98
100-4081200-81200-3320-000	Community Development - Maint Service Contracts	Bank of America	8.73
100-4081200-81200-3320-000	Community Development - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	182.70

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4081200-81200-3320-000	Community Development - Maint Service Contracts	VIRGINIA BUSINESS SYSTEMS	109.64
100-4081200-81200-3600-000	Community Development - Advertising	VIRGINIA MEDIA	300.00
100-4081200-81200-3600-000	Community Development - Advertising	VIRGINIA MEDIA	150.00
100-4081200-81200-3600-000	Community Development - Advertising	VIRGINIA MEDIA	195.00
100-4081200-81200-5230-000	Community Development - Telecommunications	LUMOS NETWORKS	107.76
100-4081200-81200-5540-000	Community Development - Convention & Education	Bank of America	20.00
100-4081200-81200-6001-000	Community Development - Office Supplies	Bank of America	16.50
100-4081200-81200-6001-000	Community Development - Office Supplies	Bank of America	86.69
100-4081200-81200-6001-000	Community Development - Office Supplies	Bank of America	19.50
100-4081200-81200-6009-000	Community Development - Vehicle & Pwr Equip Supplies	Bank of America	81.54
		<b>Community Development</b>	<b>5,717.68</b>
100-4081500-81500-2300-000	Economic Development - Hospital/Medical Plan	CORVESTA SERVICES INC	145.68
100-4081500-81500-2500-000	Economic Development - Disability Insurance	VACORP	20.46
100-4081500-81500-3320-000	Economic Development - Maintenance Service Contrac	Bank of America	8.73
100-4081500-81500-3320-000	Economic Development - Maintenance Service Contrac	VIRGINIA BUSINESS SYSTEMS	170.81
100-4081500-81500-3320-000	Economic Development - Maintenance Service Contrac	VIRGINIA BUSINESS SYSTEMS	34.37
100-4081500-81500-5210-000	Economic Development - Postal Services	Bank of America	24.12
100-4081500-81500-5230-000	Economic Development - Telecommunications	LUMOS NETWORKS	134.99
100-4081500-81500-5230-000	Economic Development - Telecommunications	LUMOS NETWORKS	3.78
100-4081500-81500-5420-000	Economic Development - Lease/Rent of Buildings	WALDVOGEL COMMERCIAL PROPERTIES INC	960.00
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	WILLOW POND FARM	60.00
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	DAVID MOORMAN	7.87
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	46.62
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	30.23
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	32.74
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	37.29
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	4.00
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	2.43
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	6.92
100-4081500-81500-5530-000	Economic Development - Subsirtstence & Lodging	Bank of America	10.22
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	30.00
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	20.00
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	27.37
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	25.00
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	85.00
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	-8.50
100-4081500-81500-5540-000	Economic Development - Convention & Education	Bank of America	-30.00
100-4081500-81500-5810-000	Economic Development - Dues & Assoc Memberships	Bank of America	250.00
100-4081500-81500-5810-000	Economic Development - Dues & Assoc Memberships	Bank of America	275.00
100-4081500-81500-5840-000	Economic Development - Marketing	Bank of America	14.04
100-4081500-81500-6001-000	Economic Development - Office Supplies	Bank of America	13.00
100-4081500-81500-6001-000	Economic Development - Office Supplies	Bank of America	8.14
		<b>Economic</b>	<b>2,450.31</b>
100-4083000-83000-1100-000	Cooperative Extension - Salaries & Wages - Regular	VIRGINIA POLYTECHNIC INSTITUTE & STATE UNIVERSITY	8,533.26
100-4083000-83000-2200-000	Cooperative Extension - Retirement	VIRGINIA POLYTECHNIC INSTITUTE & STATE UNIVERSITY	2,922.64

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4083000-83000-5230-000	Cooperative Extension - Telecommunications	LUMOS NETWORKS	158.04
		<b>Cooperative Extension</b>	<b>11,613.94</b>
100-4091000-92000-5999-000	Revenue Refunds	TREASURER OF VIRGINIA	851.03
100-4091000-92000-5999-000	Revenue Refunds	EDDIE DOOLEY INC	875.39
100-4091000-92000-5999-000	Revenue Refunds	CECIL R & GEORGIA J FERGUSON	30.65
100-4091000-92000-5999-000	Revenue Refunds	PATRICIA M FIRESTONE	7.89
100-4091000-92000-5999-000	Revenue Refunds	ELIZABETH O PRICE	14.05
100-4091000-92000-5999-000	Revenue Refunds	ALYSSA MAY DOSS	27.89
100-4091000-92000-5999-000	Revenue Refunds	BILLY RAY MOTTESHEARD	11.77
100-4091000-92000-5999-000	Revenue Refunds	TYRON S POWERS	70.96
100-4091000-92000-5999-000	Revenue Refunds	HATTIE WILLIAMS ASHBY & CHASITY SMITH COOPER	30.50
100-4091000-92000-5999-000	Revenue Refunds	JOANNE W & WILLIAM L MYERS	7.68
100-4091000-92000-5999-000	Revenue Refunds	WILLIAM LUTHER MYERS	106.36
100-4091000-92000-5999-000	Revenue Refunds	GENE ALLAN STRICKLER	10.92
100-4091000-92000-5999-000	Revenue Refunds	ROBERT LEE MOREFIELD	-11.80
100-4091000-92000-5999-000	Revenue Refunds	GARY MCNEAL FITZGERALD	7.15
100-4091000-92000-5999-000	Revenue Refunds	GARY CLINTON & CLINTON WILLIAM POFF	90.95
100-4091000-92000-5999-000	Revenue Refunds	ARTHUR HARRY DUDLEY	78.24
100-4091000-92000-5999-000	Revenue Refunds	JAMES KEVIN FLINT	36.39
100-4091000-92000-5999-000	Revenue Refunds	A T PLUMBING INC	31.67
100-4091000-92000-5999-000	Revenue Refunds	MARY LYNN HARRIS	36.99
100-4091000-92000-5999-000	Revenue Refunds	HVT INC AS TRUSTEE FOR HONDA LEASE	117.60
100-4091000-92000-5999-000	Revenue Refunds	AMBERLYN BELINDA CHAPMAN & WILLIS J STANFORD	70.65
100-4091000-92000-5999-000	Revenue Refunds	MEGHAN M WILLIAMSON	71.08
100-4091000-92000-5999-000	Revenue Refunds	BENJAMIN LEE AUSTIN	72.41
100-4091000-92000-5999-000	Revenue Refunds	KELLY BURKS WILMORE	264.57
100-4091000-92000-5999-000	Revenue Refunds	BARBARA SUE BLAKE	256.04
100-4091000-92000-5999-000	Revenue Refunds	TAYLOR MARIE STATOME	157.63
100-4091000-92000-5999-000	Revenue Refunds	DONITA KATHERINE BURKS	88.44
100-4091000-92000-5999-000	Revenue Refunds	SHARON S COLEMAN	73.25
100-4091000-92000-5999-000	Revenue Refunds	SAMANTHA KAY ARNHOLT	29.41
100-4091000-92000-5999-000	Revenue Refunds	JORDAN MARIE & TODD ALLAN PURDHAM	208.14
100-4091000-92000-5999-000	Revenue Refunds	DONNA SUE SNYDER	42.96
100-4091000-92000-5999-000	Revenue Refunds	CHASE AUTO FINANCE CORP	314.00
100-4091000-92000-5999-000	Revenue Refunds	DOROTHY BOOTHE REID	165.63
		<b>Revenue Refund</b>	<b>4,270.09</b>
100-4091800-91800-3800-000	EDA Transfers	Bank of America	171.43
100-4091800-91800-3800-000	EDA Transfers	Bank of America	1,216.78
100-4091800-91800-3800-000	EDA Transfers	Bank of America	398.20
100-4091800-91800-3800-000	EDA Transfers	Bank of America	42.00
100-4091800-91800-3800-000	EDA Transfers	Bank of America	37.16
100-4091800-91800-3800-000	EDA Transfers	Bank of America	16.37
100-4091800-91800-3800-000	EDA Transfers	Bank of America	13.60
100-4091800-91800-3800-000	EDA Transfers	Bank of America	82.21
		<b>EDA Transfers</b>	<b>1,977.75</b>

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4094000-12510-8008-112	Capital Projects - County Website Redesign	WILLIAM ALEXANDER JR <b>Capital Projects - County Website Redesign</b>	337.50 <b>337.50</b>
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	JOSEPH H RHOTON	2,607.50
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	VIRGINIA OFFICE SUPPLY INC	2,279.40
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	VIRGINIA OFFICE SUPPLY INC	2,414.16
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	3,200.00
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	3,085.00
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	1,500.00
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	2,700.00
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	3,085.00
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	1,065.00
100-4094000-21600-8012-416	Capital Projects - Circuit Courthouse Complex	MELVIN RAY BROWN MELVIN BROWN'S PAINTING	800.00
		<b>Capital Projects - Circuit Courthouse Complex</b>	<b>22,736.06</b>
100-4094000-35600-8012-310	Capital Projects - Emergency Operations Center	JOSH HULL <b>Capital Projects - Emergency Operations Center</b>	240.00 <b>240.00</b>
100-4094000-40000-8012-423	Capital Projects - Dale Ct. Water	PIERSON ENGINEERING & SURVEYING <b>Capital Projects - Dale Ct. Water</b>	432.00 <b>432.00</b>
100-4094000-40000-9409-809	Capital Projects - VDOT Revenue Sharing Match	ECS MID-ATLANTIC LLC	3,443.14
100-4094000-40000-9409-809	Capital Projects - VDOT Revenue Sharing Match	ECS MID-ATLANTIC LLC	350.71
		<b>Capital Projects - VDOT Revenue Sharing Match</b>	<b>3,793.85</b>
100-4094000-72243-8012-733	Capital Projects - Greenfield Historic	HUGH'S TRANSPORT INC	400.00
100-4094000-72243-8012-733	Capital Projects - Greenfield Historic	LOWE'S	31.26
100-4094000-72243-8012-733	Capital Projects - Greenfield Historic	LOWE'S	329.90
100-4094000-72243-8012-733	Capital Projects - Greenfield Historic	LOWE'S	31.32
		<b>Capital Projects - Greenfield Historic</b>	<b>792.48</b>
100-4094000-81510-9402-405	Capital Projects - Infrastructure Improvements	S J CONNER AND SONS INC <b>Capital Projects - Infrastructure Improvements</b>	9,750.00 <b>9,750.00</b>
100-4094000-81510-9402-808	Capital Projects - Industrial Site Infrastructure	ENGINEERING CONCEPTS, INC <b>Capital Projects - Industrial Site Infrastructure</b>	32,500.00 <b>32,500.00</b>
		<b>General Fund</b>	<b>695,024.90</b>
100-4095000-35100-9500-324	Debt Service - IDA 2002 Regional Animal Pound	COUNTY OF ROANOKE <b>Debt Service</b>	9,065.81 <b>9,065.81</b>
		<b>Grand Total</b>	<b>704,090.71</b>

**Botetourt County, VA**  
**Checks Due 11/10/2016**

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4012110-12110-2300-000	County Administrator - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	2,754.30
100-4012110-12110-5230-000	County Administrator - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.07
100-4012110-12110-5510-000	County Administrator - Mileage	SUSAN FAIN	9.29
100-4012110-12110-6008-000	County Administrator - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	171.60
		<b>County Administrator</b>	<b>2,935.26</b>
100-4012120-12120-2300-000	Deputy County Admin - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	1,836.20
100-4012120-12120-5230-000	Deputy County Admin - Telecommunications	VERIZON WIRELESS	40.01
100-4012120-12120-5230-000	Deputy County Admin - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.21
100-4012120-12120-6008-000	Deputy County Admin - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	116.20
		<b>Deputy County Admin</b>	<b>1,992.62</b>
100-4012310-12310-2300-000	Commissioner of Revenue - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	5,508.60
100-4012310-12310-5230-000	Commissioner of Revenue - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.34
		<b>Commissioner of Revenue</b>	<b>5,508.94</b>
100-4012410-12410-2300-000	Treasurer - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	4,590.50
100-4012410-12410-5230-000	Treasurer - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.18
		<b>Treasurer</b>	<b>4,590.68</b>
100-4012430-12430-2300-000	Financial Services - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	1,836.20
100-4012430-12430-5230-000	Financial Services - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.07
100-4012430-12430-5230-000	Financial Services - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.21
		<b>Financial Services</b>	<b>1,836.48</b>
100-4012510-12510-2300-000	Technology Services - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	5,508.60
100-4012510-12510-5230-000	Technology Services - Telecommunications	VERIZON WIRELESS	297.69
100-4012510-12510-5230-000	Technology Services - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.28
100-4012510-12510-5530-000	Technology Services - Subsistence & Lodging	RODNEY GRAY	617.58
100-4012510-12510-6001-000	Technology Services - Office Supplies	JONATHAN HOLMES	122.64
		<b>Technology Services</b>	<b>6,546.79</b>
100-4012530-12530-2300-000	Central Purchasing - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	918.10
100-4012530-12530-5230-000	Central Purchasing - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.07
		<b>Central Purchasing</b>	<b>918.17</b>
100-4012560-12560-2300-000	Central Garage - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	918.10
		<b>Central Garage</b>	<b>918.10</b>
100-4013300-13300-2300-000	Electoral Board/Registrar - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	918.10

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4013300-13300-5230-000	Electoral Board/Registrar - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.15
100-4013300-13300-5230-000	Electoral Board/Registrar - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.21
		<b>Electoral Board/Registrar</b>	<b>918.46</b>
100-4021100-21100-2300-000	Circuit Court - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	918.10
100-4021100-21100-5230-000	Circuit Court - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	6.72
		<b>Circuit Court</b>	<b>924.82</b>
100-4021200-21200-5230-000	General District Court - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	15.14
100-4021200-21200-5810-000	General District Court - Dues & Assoc Membership	MICHAEL LOCKABY	12.00
		<b>General District Court</b>	<b>27.14</b>
100-4021300-21300-5230-000	Magistrate - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.14
		<b>Magistrate</b>	<b>0.14</b>
100-4021600-21600-2300-000	Clerk of Circuit Court - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	5,508.60
100-4021600-21600-5230-000	Clerk of Circuit Court - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	6.29
100-4021600-21600-6001-000	Clerk of Circuit Court - Office Supplies	OFFICE DEPOT, INC	4.99
100-4021600-21600-6001-000	Clerk of Circuit Court - Office Supplies	OFFICE DEPOT, INC	36.99
100-4021600-21600-6001-000	Clerk of Circuit Court - Office Supplies	OFFICE DEPOT, INC	135.43
		<b>Clerk of Circuit Court</b>	<b>5,692.30</b>
100-4022100-22100-2300-000	Commonwealth's Attorney - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	6,426.70
100-4022100-22100-5110-000	Commonwealth's Attorney - Electrical Services	APPALACHIAN POWER	173.04
100-4022100-22100-5120-000	Commonwealth's Attorney - Heating Services	ROANOKE GAS COMPANY	29.01
100-4022100-22100-5230-000	Commonwealth's Attorney - Telecommunications	VERIZON WIRELESS	80.02
100-4022100-22100-5230-000	Commonwealth's Attorney - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	1.14
		<b>Commonwealth's Attorney</b>	<b>6,709.91</b>
100-4031200-31200-2300-000	Sheriff - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	43,150.70
100-4031200-31200-5230-000	Sheriff - Telecommunications	VERIZON WIRELESS	1,029.45
100-4031200-31200-5230-000	Sheriff - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	2.67
100-4031200-31200-5230-000	Sheriff - Telecommunications	LUMOS NETWORKS	21.95
100-4031200-31200-5830-000	Sheriff - RAID Patrol	VERIZON WIRELESS	80.32
100-4031200-31200-5830-000	Sheriff - RAID Patrol	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.28
100-4031200-31200-5850-000	Sheriff - Crime Prevention	VERIZON WIRELESS	49.90
100-4031200-31200-5850-000	Sheriff - Crime Prevention	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.07
100-4031200-31200-6008-000	Sheriff - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	1,073.33
100-4031200-31200-6008-000	Sheriff - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	7,419.11
100-4031200-31200-6008-000	Sheriff - Vehicle & Pwr Equip Fuels	DAVENPORT ENERGY INC	3,265.76
100-4031200-31200-6015-000	Sheriff - Firing Range Expenses	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	70.32
		<b>Sheriff</b>	<b>56,163.86</b>
100-4031400-31400-2300-000	Dispatch - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	11,017.20

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4031400-31400-5230-000	Dispatch - Telecommunications	VERIZON WIRELESS	30.42
100-4031400-31400-5230-000	Dispatch - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	57.55
		<b>Dispatch</b>	<b>11,105.17</b>
100-4032200-32200-5641-000	Volunteer Fire Rescue - County Volunteer FDs	FOSTER FUEL INC	2,545.59
100-4032200-32200-5651-000	Volunteer Fire Rescue - County Vol Resc Squads	FOSTER FUEL INC	1,071.71
		<b>Volunteer Fire Rescue</b>	<b>3,617.30</b>
100-4033100-33100-2300-000	Correction & Detention - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	43,150.70
100-4033100-33100-2300-000	Correction & Detention - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	9.30
100-4033100-33100-5120-000	Correction & Detention - Heating Services	ROANOKE GAS COMPANY	1,006.55
100-4033100-33100-5230-000	Correction & Detention - Telecommunications	VERIZON WIRELESS	49.90
100-4033100-33100-5230-000	Correction & Detention - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	1.34
		<b>Correction &amp; Detention</b>	<b>44,217.79</b>
100-4033300-33300-5230-000	Probation Office - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	1.62
		<b>Probation Office</b>	<b>1.62</b>
100-4035100-35100-2300-000	Animal Control - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	2,754.30
100-4035100-35100-5230-000	Animal Control - Telecommunications	VERIZON WIRELESS	121.68
100-4035100-35100-5230-000	Animal Control - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.28
100-4035100-35100-6008-000	Animal Control - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	430.98
		<b>Animal Control</b>	<b>3,307.24</b>
100-4035500-35500-2300-000	Fire & EMS - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	31,215.40
100-4035500-35500-5230-000	Fire & EMS - Telecommunications	VERIZON WIRELESS	1,023.02
100-4035500-35500-5230-000	Fire & EMS - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	6.49
100-4035500-35500-5230-000	Fire & EMS - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.49
100-4035500-35500-6008-000	Fire & EMS - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	1,350.21
		<b>Fire &amp; EMS</b>	<b>33,595.61</b>
100-4035600-35600-5231-000	Emergency Communications - Wireless E911 Communica	VERIZON	3.64
100-4035600-35600-5231-000	Emergency Communications - Wireless E911 Communica	LUMOS NETWORKS	437.71
100-4035600-35600-5231-000	Emergency Communications - Wireless E911 Communica	LUMOS NETWORKS	515.77
100-4035600-35600-5232-000	Emergency Communications - E911 Landline Communica	VERIZON	2,681.44
100-4035600-35600-5232-000	Emergency Communications - E911 Landline Communica	LUMOS NETWORKS	748.87
		<b>Emergency Communications</b>	<b>4,387.43</b>
100-4040000-40000-2300-000	General Services - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	2,754.30
100-4040000-40000-5230-000	General Services - Telecommunications	VERIZON WIRELESS	62.90
100-4040000-40000-6008-000	General Services - Vehicle & Power Equip Fuels	FOSTER FUEL INC	196.69
		<b>General Services</b>	<b>3,013.89</b>
100-4042400-42400-2300-000	Waste Management - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	3,672.40

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4042400-42400-3191-000	Waste Management - Refuse Disposal	ADVANCED DISPOSAL	950.00
100-4042400-42400-3193-000	Waste Management - Leachate Treatment	WESTERN VIRGINIA WATER AUTHORITY	1,272.34
100-4042400-42400-5110-000	Waste Management - Electrical Services	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	160.35
100-4042400-42400-5110-000	Waste Management - Electrical Services	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	39.85
100-4042400-42400-5110-000	Waste Management - Electrical Services	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	109.71
100-4042400-42400-5230-000	Waste Management - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.35
100-4042400-42400-5510-000	Waste Management - Mileage	MARK A KITT	50.54
		<b>Waste Management</b>	<b>6,255.54</b>
100-4043000-43000-2300-000	Maint Bldgs & Grounds - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	6,426.70
100-4043000-43000-3191-000	Maint Bldgs & Grounds - Refuse Disposal	COUNTY WASTE	1,028.31
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	DOMINION VIRGINIA POWER	238.56
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	156.67
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	CRAIG-BOTETOURT ELECTRICS COOPERATIVE	252.96
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	219.20
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	2,031.61
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	108.44
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	66.16
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	10.25
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	79.43
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	192.98
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	260.41
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	10.25
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	10.63
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	18.64
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	89.92
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	535.51
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	3,671.58
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	56.63
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	195.22
100-4043000-43000-5110-000	Maint Bldgs & Grounds - Electrical Services	APPALACHIAN POWER	194.42
100-4043000-43000-5120-000	Maint Bldgs & Grounds - Heating Services	ROANOKE GAS COMPANY	94.18
100-4043000-43000-5120-000	Maint Bldgs & Grounds - Heating Services	ROANOKE GAS COMPANY	44.50
100-4043000-43000-5120-000	Maint Bldgs & Grounds - Heating Services	ROANOKE GAS COMPANY	597.31
100-4043000-43000-5120-000	Maint Bldgs & Grounds - Heating Services	ROANOKE GAS COMPANY	28.20
100-4043000-43000-5230-000	Maint Bldgs & Grounds - Telecommunications	VERIZON WIRELESS	49.90
100-4043000-43000-6008-000	Maint Bldgs & Grounds - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	562.33
		<b>Maint Bldgs &amp; Grounds</b>	<b>17,230.90</b>
100-4053500-53500-2300-000	Childrens Services (CSA) - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	918.10
100-4053500-53500-5230-000	Childrens Services (CSA) - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.06
100-4053500-53500-5230-000	Childrens Services (CSA) - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.07
		<b>Childrens Services (CSA)</b>	<b>918.23</b>

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4071100-71100-2300-000	Parks & Recreation - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	8,262.90
100-4071100-71100-3800-000	Parks & Recreation - Prch of Govt & Other Serv	WILLIAM M FIREBAUGH	180.00
100-4071100-71100-3800-000	Parks & Recreation - Prch of Govt & Other Serv	ROANOKE VALLEY SOCCER OFFICIALS ASSOCIATION	6,978.00
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	22.10
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	19.50
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	121.81
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	48.44
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	180.58
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	32.67
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	43.48
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	40.49
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	21.05
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	84.30
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	35.05
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	10.34
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	79.33
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	43.53
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	96.51
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	43.83
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	141.12
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	77.31
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	122.94
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	10,756.59
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	25.71
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	98.52
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	92.33
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	126.44
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	15.89
100-4071100-71100-5110-000	Parks & Recreation - Electrical Services	APPALACHIAN POWER	18.59
100-4071100-71100-5120-000	Parks & Recreation - Heating Services	ROANOKE GAS COMPANY	59.92
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	98.95
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	64.78
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	15.63
100-4071100-71100-5130-000	Parks & Recreation - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	76.04
100-4071100-71100-5230-000	Parks & Recreation - Telecommunications	VERIZON WIRELESS	50.07
100-4071100-71100-5230-000	Parks & Recreation - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.20
100-4071100-71100-6008-000	Parks & Recreation - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	2,307.36
100-4071100-71100-6011-000	Parks & Recreation - Uniforms & Wearing Apparel	WILLIAM JOE PAHL	80.00
100-4071100-71100-6013-000	Parks & Recreation - Educ & Rec Supplies	BRADLEY HARPER	150.00
		<b>Parks &amp; Recreation</b>	<b>30,722.30</b>
100-4071300-71300-2300-000	Sports Complex - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	2,754.30
100-4071300-71300-5110-000	Sports Complex - Electrical Services	APPALACHIAN POWER	693.62
100-4071300-71300-6002-000	Sports Complex - Food Supplies & Fd Serv	FLOWERS BAKING CO OF LYNCHBURG	105.60

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4071300-71300-6008-000	Sports Complex - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	268.30
100-4071300-71300-6014-000	Sports Complex - Other Operating Supplies	TELVENT DTN LLC	249.75
		<b>Sports Complex</b>	<b>4,071.57</b>
100-4071500-71500-5230-000	Van Program - Telecommunications	VERIZON WIRELESS	49.90
100-4071500-71500-6008-000	Van Program - Vehicle & Power Equip Fuels	FOSTER FUEL INC	492.81
		<b>Van Program</b>	<b>542.71</b>
100-4073100-73100-2300-000	Library System - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	11,017.20
100-4073100-73100-5110-000	Library System - Electrical Services	APPALACHIAN POWER	740.59
100-4073100-73100-5110-000	Library System - Electrical Services	APPALACHIAN POWER	17.57
100-4073100-73100-5110-000	Library System - Electrical Services	APPALACHIAN POWER	627.76
100-4073100-73100-5120-000	Library System - Heating Services	ROANOKE GAS COMPANY	55.08
100-4073100-73100-5120-000	Library System - Heating Services	ROANOKE GAS COMPANY	88.50
100-4073100-73100-5130-000	Library System - Water and Sewer	WESTERN VIRGINIA WATER AUTHORITY	254.85
100-4073100-73100-5130-000	Library System - Water and Sewer	TOWN OF BUCHANAN	95.50
100-4073100-73100-5230-000	Library System - Telecommunications	VERIZON WIRELESS	80.02
100-4073100-73100-5230-000	Library System - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	2.69
100-4073100-73100-5230-000	Library System - Telecommunications	COX COMMUNICATIONS	334.47
100-4073100-73100-6008-000	Library System - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	431.39
		<b>Library System</b>	<b>13,745.62</b>
100-4081200-81200-2300-000	Community Development - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	8,262.90
100-4081200-81200-5230-000	Community Development - Telecommunications	VERIZON WIRELESS	110.44
100-4081200-81200-5230-000	Community Development - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.63
100-4081200-81200-5230-000	Community Development - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	0.06
100-4081200-81200-6008-000	Community Development - Vehicle & Pwr Equip Fuels	FOSTER FUEL INC	705.29
		<b>Community Development</b>	<b>9,079.32</b>
100-4081500-81500-2300-000	Economic Development - Hospital/Medical Plan	COUNTY EMPLOYEE HEALTH PLAN (HRA)	3,672.40
100-4081500-81500-5110-000	Economic Development - Electrical Services	APPALACHIAN POWER	56.37
100-4081500-81500-6008-000	Economic Development - Vehicle & Power Equip Fuels	FOSTER FUEL INC	177.21
		<b>Economic Development</b>	<b>3,905.98</b>
100-4083000-83000-5230-000	Cooperative Extension - Telecommunications	TREASURER OF VIRGINIA VITA ACCOUNTS PAYABLE	10.57
		<b>Cooperative Extension</b>	<b>10.57</b>
100-4091000-92000-5999-000	Revenue Refunds	WILLIAM O HICKMAN III & SHELIA S HICKMAN	20.28
100-4091000-92000-5999-000	Revenue Refunds	SPENCER ROBERT-ALLEN COLE	68.93
100-4091000-92000-5999-000	Revenue Refunds	SHARON LEE & SAM EDWARD STILTNER	24.10
100-4091000-92000-5999-000	Revenue Refunds	SHANDA MARIE GORDON	5.13
100-4091000-92000-5999-000	Revenue Refunds	RUTH PETERS NICHOLS	4.84
100-4091000-92000-5999-000	Revenue Refunds	RONALD WHITE & SANDRA CHITWOOD WILLS	2.13
100-4091000-92000-5999-000	Revenue Refunds	ROGER L & ETTA ALEXANDER	32.92

<u>Account</u>	<u>Account Description</u>	<u>Vendor Name</u>	<u>Signed Amount</u>
100-4091000-92000-5999-000	Revenue Refunds	ROBERT A & ELIZABETH P GINGER	126.56
100-4091000-92000-5999-000	Revenue Refunds	NELSON D & BARBARA F ZICAFOOSE	60.95
100-4091000-92000-5999-000	Revenue Refunds	MICHAEL WYLIE & DEBORAH ANN PHELAN	16.17
100-4091000-92000-5999-000	Revenue Refunds	MICHAEL WALTER & DEBORAH WEAVER BARNARD	14.09
100-4091000-92000-5999-000	Revenue Refunds	MICHAEL LYNN LEWIS	24.25
100-4091000-92000-5999-000	Revenue Refunds	MATTHEW STEVEN CECIL	76.93
100-4091000-92000-5999-000	Revenue Refunds	LINDA GARNETT & WESLEY ESTIL MCMILLIAN	18.71
100-4091000-92000-5999-000	Revenue Refunds	LEON ODELL TURNER JR	286.80
100-4091000-92000-5999-000	Revenue Refunds	LARRY DONELL S STORES	82.10
100-4091000-92000-5999-000	Revenue Refunds	KEITH ALLEN & ELIZABETH STONE TOLBERT	140.08
100-4091000-92000-5999-000	Revenue Refunds	JP MORGAN CHASE BANK NA DBA: CHASE AUTO FINANCE	276.16
100-4091000-92000-5999-000	Revenue Refunds	JORDAN DAKOTA ZICAFOOSE	6.55
100-4091000-92000-5999-000	Revenue Refunds	JOHN DARRELL PERKINS	21.62
100-4091000-92000-5999-000	Revenue Refunds	JENNIFER RENEE LINKENHOKER	7.60
100-4091000-92000-5999-000	Revenue Refunds	JAMES W & JEANETTE S HALE	20.97
100-4091000-92000-5999-000	Revenue Refunds	HUGH R HARNSBERGER JR	17.57
100-4091000-92000-5999-000	Revenue Refunds	HAROLD BRYAN KROUSE	269.78
100-4091000-92000-5999-000	Revenue Refunds	HAROLD BRYAN & MARLANIA LYNN KROUSE	246.58
100-4091000-92000-5999-000	Revenue Refunds	GREGORY TODD BAKER	12.81
100-4091000-92000-5999-000	Revenue Refunds	GERALD ALLAN POPE	72.83
100-4091000-92000-5999-000	Revenue Refunds	FRANK R THOMAS JR	28.17
100-4091000-92000-5999-000	Revenue Refunds	FRANK D'ALESSANDRO	461.00
100-4091000-92000-5999-000	Revenue Refunds	FINANCIAL SERVICES VEHICLES TR	30.74
100-4091000-92000-5999-000	Revenue Refunds	EARL & LINDA RUGGLES	347.56
100-4091000-92000-5999-000	Revenue Refunds	DONLEN TRUST	665.29
100-4091000-92000-5999-000	Revenue Refunds	DAVID LEWIS TRENT	33.74
100-4091000-92000-5999-000	Revenue Refunds	DANIEL LEWIS NESTER	22.95
100-4091000-92000-5999-000	Revenue Refunds	CONNIE JEAN & JERRY WAYNE HOOPER	7.26
100-4091000-92000-5999-000	Revenue Refunds	CHERYL JANNEY DAY & SHANNON NICOLE WOODSON	183.11
100-4091000-92000-5999-000	Revenue Refunds	CHARLES WILEY WHITE	54.52
100-4091000-92000-5999-000	Revenue Refunds	CAROLYN J SPICKARD	31.29
100-4091000-92000-5999-000	Revenue Refunds	CARL WAYNE & MARY CHRISTINE WYMER	9.25
100-4091000-92000-5999-000	Revenue Refunds	AUTOMOTIVE RENTALS INC.	24.34
100-4091000-92000-5999-000	Revenue Refunds	ASHLEY POTTER CECIL	16.18
100-4091000-92000-5999-000	Revenue Refunds	ANTHONY J. SATTERWHITE	14.42
100-4091000-92000-5999-000	Revenue Refunds	ALAN DALE & DANA DALTON LONG	19.89
		Revenue Refunds	<u>3,907.15</u>
		General Fund	<u>289,319.61</u>
100-4095000-32200-9500-302	Debt Service - Buchanan Fire Truck	BANK OF BOTETOURT	3,055.00
		Debt Service	<u>3,055.00</u>

Account

Account Description

Vendor Name

Signed Amount

Grand Total

292,374.61

**AGENDA ITEM:** Consideration of an amendment to a Performance Agreement and authorization of a Purchase Agreement for the sale of real estate to Dynax America Corporation.

Administrator's Comments:

In July, the Board held a public hearing and vacated EastPark Court in EastPark Commerce Center and approved and authorized the conveyance of EastPark Court and approximately three additional acres of land to Dynax America Corporation. At that time, details of a property transfer or purchase agreement were in negotiations. Those negotiations have concluded and Dynax has agreed to a purchase price of \$81,400 as proposed by the County in July.

Attached is a proposed amendment to the County's performance agreement with Dynax related to the company's most recent and on-going expansion project. The agreement includes a performance grant (estimated to total \$225,000) provided to the company by the County. The grant is distributed in annual payments equal to the net increase in local real property tax revenues resulting from the company's new capital investments. Last year the County distributed \$17,782 to the company. The 2016 grant disbursement is preliminarily estimated to be \$56,152.

Under the proposed amendment, the County's grant to Dynax would be reduced by the price of the land being sold (\$81,400) to \$143,600. This reduction would be achieved by the County retaining, effective the 2016 tax year, net increases in tax revenues paid by Dynax until the increases total \$81,400 (estimated to reach in 2017). Once that amount is reached, County performance grant distributions would resume per the original performance agreement terms, up to the reduced total grant amount. This method would ensure that the County receives payment for the property it is conveying to Dynax before making any further grant distributions to the company and it would not require a cash payment by the company.

If agreeable, staff recommends Board approval of the attached amendment and authorization for the County Administrator to execute the amendment and any other necessary documents for the sale of the referenced property to Dynax America Corporation, upon review and approval by the County Attorney.

Recommendations:

1. Approve the attached First Amendment to Performance Agreement and authorize the County Administrator to execute a final agreement in substantial conformance with the attached upon the review and approval of the County Attorney; and
2. Authorize the County Administrator to execute any other necessary documents for the sale of EastPark Court and approximately three acres of real property as previously approved by the Board, subject to review and approval by the County Attorney.

Attachment

Handwritten signature and date: 11-17-16

## **FIRST AMENDMENT TO PERFORMANCE AGREEMENT**

This First Amendment to Performance Agreement is made this \_\_\_ day of \_\_\_\_\_, 2016, by and between BOTETOURT COUNTY, VIRGINIA, a political subdivision of the Commonwealth of Virginia (the "Locality"), and DYNAX AMERICA CORPORATION (the "Company"), a Michigan corporation duly domesticated in the Commonwealth of Virginia.

WHEREAS, by plat dated January 20, 1998, and of record among the land records of Botetourt County, Virginia, at Plat Book 18, page 174, a right of way, thereon denominated "Industrial Access Road and subsequently called EastPark Court, was dedicated to public use; and

WHEREAS, by Ordinance following public hearing duly advertised in accordance with law, the Board of Supervisors of Botetourt County, Virginia, on July 26, 2016, vacated EastPark Court and approved its conveyance to the Company along with certain other abutting land (collectively, the "Property"), subject to an ingress-egress easement to another neighbor, as further described therein. This ordinance is attached to this First Amendment and made a part hereof as if set forth at length; and

WHEREAS, the Locality and the Company are parties to a Performance Agreement, dated January 26, 2015, and of record among the land records of Botetourt County, Virginia, as Instrument Number 150001087, under which the Locality is required to pay the Company a matching grant, estimated to be \$225,000. This sum has been being paid to the Company as a rebate of local taxes as they are paid; and

WHEREAS, the agreed value of the right of way and other nearby land to be conveyed to the Company, in all comprising 6.835 acres, more or less, as further described in the ordinance adopted by the Board of Supervisors, is \$81,400:

NOW THEREFORE, in consideration of the conveyance of the Property to the Company, as well as the mutual premises hereof, which are expressly incorporated by reference, the Locality and the Company hereby agree:

1. *Conveyance of Land.* The Locality will convey the Property to Dynax, as set forth in the Ordinance.

2. *Deduction of Consideration from Tax Rebates.* Beginning with any tax rebates for taxes assessed as of January 1, 2016, these tax rebates will not be made to the Company, and instead the taxes will be retained by the Locality until such retained funds reach the sum of \$81,400. Once \$81,400 has been withheld, tax rebates shall resume until the total amount rebated reaches the sum of \$143,600 (\$225,000 less \$81,400).

3. *No Further Amendment.* The Performance Agreement shall survive in its original form, without amendment, except as specifically set forth herein; and the two documents shall be read together, as a single agreement, to give full force and effect to each except to the extent that this Amendment conflicts with and supersedes the Performance Agreement.

IN WITNESS WHEREOF, the parties affix their signs and seals below:

**COUNTY OF BOTETOURT, VIRGINIA**

By \_\_\_\_\_  
Gary Larrowe, County Administrator

Date: \_\_\_\_\_

Approved by legal counsel:

\_\_\_\_\_  
Michael W. S. Lockaby

COMMONWEALTH OF VIRGINIA  
COUNTY OF BOTETOURT

The foregoing instrument dated \_\_\_\_\_, was acknowledged before me this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016, by Gary Larrowe, County Administrator, on behalf of  
Botetourt County, Virginia.

\_\_\_\_\_  
Notary Public

My commission expires: \_\_\_\_\_

Notary Registration No.: \_\_\_\_\_

**DYNAX AMERICA CORPORATION**

By \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

COMMONWEALTH OF VIRGINIA  
COUNTY OF BOTETOURT

The foregoing instrument dated \_\_\_\_\_, was acknowledged before me this  
\_\_\_\_\_ day of \_\_\_\_\_, 2016, by \_\_\_\_\_ (name),  
\_\_\_\_\_ (title), on behalf of Dynax America Corporation.

\_\_\_\_\_  
Notary Public

My commission expires: \_\_\_\_\_

Notary Registration No.: \_\_\_\_\_

**AGENDA ITEM:** Ratification of the Director of Emergency Management's declaration to ban open burning in the County.

Administrator's Comments:

Due to the recent dry weather in the County, the Director of Emergency Management declared an emergency as of 11:34 A. M. on November 16, 2016 due to the potential for wildfires.

Section 44-146.21 of the Code of Virginia requires that the Board of Supervisors ratify this declaration within 14 days of its issuance; therefore, the attached resolution has been drafted for the Board's consideration.

Recommendation:

Adopt the attached resolution ratifying the emergency declaration issued by the Director of Emergency Management on November 16, 2016, regarding the potential for wildfires which necessitates a ban on all open burning in the County.

Attachment

 11-16-16

## DRAFT RESOLUTION

**WHEREAS**, the Board of Supervisors of the County of Botetourt, Virginia, does hereby find as follows:

1. That due to the recent, long-term lack of precipitation and the potential for wildfires in Botetourt County, the County of Botetourt faced a condition of extreme peril to the lives, safety, and property of the residents of and visitors to Botetourt County;
2. That the Director of Disaster and Emergency Management deemed that a state of emergency existed at 11:34 A. M. on November 16, 2016;
3. That as a result of this extreme peril, the proclamation of the existence of an emergency was necessary to permit the full powers of government to deal effectively with this condition of peril;
4. That a State of Emergency was subsequently declared in accordance with Code of Virginia Section 44-146.21;
5. That a Board of Supervisors ratification of the declaration is required;

**NOW, THEREFORE, BE IT HEREBY PROCLAIMED** by the Board of Supervisors of the County of Botetourt, Virginia, that a local emergency exists throughout the County of Botetourt, and

**IT IS FURTHER PROCLAIMED AND ORDERED** that during the existence of this emergency, the powers, functions, and duties of the Director of Disaster and Emergency Management and the Emergency Services organization and functions of the County of Botetourt were/are those prescribed by the laws of the Commonwealth of Virginia and the ordinances, resolutions, and approved plans of the County of Botetourt were implemented in order to mitigate the effects of said emergency, and,

That the County Administrator undertake all possible efforts required in an attempt to recover any emergency-related local expenditures from the Commonwealth of Virginia, the Federal Emergency Management Agency (FEMA), or any available, non-local source.

November 16, 2016

**WHEREAS**, I, Gary Larrowe, the Director of Emergency Management of Botetourt County, have hereby found:

1. That based on the recent long-term lack of precipitation, the potential exists for wildfires in Botetourt County which would have a high potential for significant impacts to this area.
2. There is no significant rainfall expected over the next two weeks which would exacerbate the dry, autumn weather which necessitates the proclamation of the existence of a local emergency.

**NOW, THEREFORE, IT IS HEREBY PROCLAIMED** that as of 11:34 A. M. on November 16, 2016, an emergency does now exist in Botetourt County; and,

**IT IS FURTHER PROCLAIMED AND ORDERED** that during the existence of said emergency, the powers, functions, and duties of the Emergency Management organization of Botetourt County shall be those prescribed by State law and the ordinances, resolutions, and approved plans of this jurisdiction in order to mitigate the effects of said emergency.

Sincerely,

A handwritten signature in cursive script that reads "Gary Larrowe".

Gary Larrowe  
Botetourt County Administrator  
Director of Emergency Management

**AGENDA ITEM:** Consideration of a resolution requesting that the General Assembly amend the Code of Virginia to allow all counties to levy a tax on cigarettes.

Administrator's Comments:

Currently, under Code of Virginia Section 58.1-3831, only cities and towns, along with the counties of Fairfax and Arlington, in the State are allowed to implement a tax on the sale or use of cigarettes.

The County of Wythe recently adopted a resolution requesting that the State Code be amended to allow all Virginia counties to have the power to levy this tax which would reduce the burden on property taxes to fund local government activities and lessen the localities' burden of funding shortfalls in State and federal funding.

A similar resolution for your consideration has been drafted.

Recommendation:

Adopt the following resolution requesting the General Assembly to amend the Code of Virginia to allow all counties to levy a tax on cigarettes and direct staff to forward this resolution to the County's General Assembly representatives and the Virginia Association of Counties:

**WHEREAS**, the County of Botetourt, Virginia, requests that all counties in Virginia have equal rights; and,

**WHEREAS**, the County of Botetourt, respectively requests that the Code of Virginia be amended to provide equal rights; and,

**WHEREAS**, the County of Botetourt has been required to fund shortfalls in State and federal funding; and,

**WHEREAS**, the County of Botetourt has identified a means to lessen the burden on property taxes by implementing a cigarette tax that has previously been approved for certain counties, and all cities and towns by State legislative action; and,

**NOW, THEREFORE, BE IT RESOLVED**, that the Botetourt County Board of Supervisors requests that Section 58.1-3831 of the Code of Virginia be amended as follows to allow all Virginia Counties to have the power to levy tax upon the sale or use of cigarettes:

*"Section 58.1-3831. ~~Fairfax and Arlington Counties~~ All counties in Virginia shall have the power to levy tax upon the sale or use of cigarettes. Such tax shall be in such amount and on such terms as the governing body may by ordinances prescribe, not to exceed five cents per pack or the amount levied under state law, whichever is greater. The provisions of §58.1-3830 shall apply to such counties, mutatis mutandis."*

  
11-17-16

**COMMITTEE REPORT:** Greenfield Preservation Advisory Commission

Administrator's Comments:

The Greenfield Preservation Advisory Commission (GPAC) met on Tuesday, November 15<sup>th</sup> in order to tour the historic preservation area and to discuss the need for hiring a consultant to help develop the plan for the area. As a result of these discussions, the Commission decided to solicit bids from consultants who could meet the following scope of work:

- a. A conceptual master development plan including required support infrastructures and facilities
- b. A summary of the content, time period(s) representations, artifacts, structures and other extant features to be placed on or available for public display
- c. An evaluation of target visitor populations and projected visitor volumes based on comparable existing heritage sites
- d. A plan for the design of the park
- e. Consistency with and promotion of the County's strategic vision, goals and objectives
- f. Draft action plan and timeline

This scope is what is contained in the charge to the Commission that was previously adopted by the Board of Supervisors. Once proposals have been received, the Commission anticipates reviewing the proposals and selecting two or three finalists for County staff review. County staff and one or two Commission members will make the final recommendation to the Board regarding the selection of the consultant for this work, anticipated in either December or January.

It is anticipated that the work of the consultant will be performed in late winter/early spring of 2017. During this time, the Commission will also receive public and community comment for planning purposes. The Commission will review the consultant's work and prepare the final report for the Board in accordance with the charge.

In order to fund the work of the consultant, the Commission would anticipate using no more than the \$20,000 budgeted for professional services in FY17.

Recommendation:

No formal action required. The Board is asked to receive the report and consent to the outlined plan.

 11-11-16

**AGENDA ITEM:** Appointments.

Administrator's Comments:

The following appointment-related items are listed on this month's agenda:

**A. The term of the Amsterdam District representative on the Planning Commission expires on January 1, 2017. This is a four year term.**

Mr. Hiawatha Nicely's term on the Planning Commission expires on January 1. He has been contacted and is willing to be reappointed.

**B. Ratification of the appointment of Colonel Bobby Russell as an at-large member of the Blue Ridge Behavioral Healthcare Board of Directors. This term will expire on December 31, 2018.**

Please see the attached letter from Ms. Debbie Bonniwell, Chief Executive Officer of Blue Ridge Behavioral Healthcare.

Recommendation:

A. Reappoint Mr. Hiawatha Nicely as the Amsterdam District representative on the Planning Commission for a four year term to expire on January 1, 2021.

B. Ratify the appointment of Colonel Bobby Russell as an at-large member of the Blue Ridge Behavioral Healthcare Board of Directors for a term that will expire on December 31, 2018.

Attachment

*Gay Anne* 11-9-16



October 31, 2016

Mr. Gary Larrowe  
County Administrator  
Botetourt County  
1 West Main St. Box 1  
Fincastle, VA 24090

Dear Mr. Larrowe:

The Blue Ridge Behavioral Healthcare (BRBH) Board of Directors voted to nominate Col. Bobby Russell as an at-large board member at the October 20, 2016 board meeting. Col. Russell will serve in the vacant at-large board appointment that was previously held by Mr. Greg Hamilton, who submitted his resignation letter on September 18, 2016. As per our bylaws, the BRBH Board nominates our at-large board representatives, and asks the participating governing bodies to approve those appointments.

At our October 20, 2016 Board meeting, the Board unanimously endorsed Col. Russell to serve as an at-large member for which he is eligible according to Title 37.2 - 502 of the Code of Virginia. We respectfully request that the Botetourt County Board of Supervisors approve the appointment of Col. Russell for an unexpired partial term, from October 20, 2016 through December 31, 2018.

This request is being sent concurrently to administrators in each of our other four local governing bodies for approval by the five local governing bodies of at-large members as called for in our By-laws. If I can be of assistance in this process or if you have any questions that I may be helpful with, please do not hesitate to contact me at 540-345-9841, or Ashley Simmons, Executive Office Coordinator, at your convenience.

Sincerely,

Debbie Bonniwell, MBA, LCSW  
Chief Executive Officer

C: The Honorable Jack Leffel, Chair, Botetourt County Board of Supervisors  
Ms. Donna Henderson, Chair, Blue Ridge Behavioral Healthcare Board of Directors  
Col. Bobby Russell

RECEIVED  
NOV - 1 2016

Botetourt County Administrator

## TERMS OF OFFICE THAT EXPIRE IN 2017

EXPIRATION DATE	DISTRICT	NAME	BOARD/COMMITTEE
01-01-17	Amsterdam	Hiawatha Nicely, Jr.	Planning Commission
03-17-17		John P. Ruth, Jr.	Building Code Brd. of Appeals
03-17-17		Sonny Spickard	Building Code Brd. of Appeals
03-31-17	Valley	J. Scott Caldwell	Board of Zoning Appeals
06-30-17		Gary Larrowe	RVARC
09-01-17		David Moorman/Tony Zerrilla	CPMT
09-01-17		Rebecca Hudson	CPMT
09-01-17	Amsterdam	Tim Snyder	Parks & Rec. Commission
09-01-17	Buchanan	Garland Humphries	Parks & Rec. Commission
11-01-17		Joyce Kessinger	EDA
12-31-17	Buchanan	Linda Steger	Library Board of Trustees

**AGENDA ITEM:** Post-Closed Session Resolution

Administrator's Comments:

The following resolution or something similar is required for Board adoption following Closed Sessions per Section 2.2-3711(A) of the Code of Virginia. As per the Freedom of Information Act (FOIA) requirements, a roll call vote is required on this motion.

Recommendation:

Adopt the following resolution:

**BE IT RESOLVED**, that to the best of the Board members' knowledge, only public business matters lawfully exempt from open meeting requirements and only such matters as were identified in the motion to go into Closed Session were heard, discussed, or considered during the Closed Session.

**AGENDA ITEM:** 2:30 P. M. - VDoT Monthly Report.

Administrator's Comments:

Attached please find the November update report from VDoT's Residency Administration staff regarding plans for various current and near-term VDoT projects.

Recommendations:

Allow VDoT's representative to review this report and ask any questions as necessary.

Attachment

  
11-17-16

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## Botetourt County Board of Supervisor's Meeting

November 22, 2016

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### VDOT ~ Discussion Items

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#### Project Updates:

- **RTE. 220 Corridor - Replace 2 Narrow Structures (UPC 103210):**
  - From 0.239 Mi. North of Rte. 43.
  - To 0.630 Mi. South of Rte. 694.
  - Project advertised in May 2016.
  - Contractor – Allegheny Construction Co. - \$5,574,365.00
  - Fixed completion date of June, 2018.
  - Preconstruction Meeting was held on August 23, 2016.
  - Work started August 30, 2016
  - The scope of work for this project is replace two narrow structures, extend existing pipes and safety improvements to the roadway on Rte. 220 in Botetourt County.
  - The Contractor will start grading on the north end of the project and work south.
  - Work to install construction signs and environmental controls is underway.
  - Working on construction entrances for field offices, staging area and borrow area.
  - Clearing and grubbing operations are in process.
  - Some pipe installation work may require nighttime operations with temporary lane closures and flaggers controlling traffic.
  - Two lanes of traffic to be maintained at all times with temporary flagging expected during some operations.
  
- **I-81 Bridge over James River & Rtes. 43 & 625 (0081-011-714)**
  - **Contractor – Lanford Brothers**
  - Amount of Contract - \$7.5 Million
  - Location – I-81 north and southbound from MM 164-166
  - Description – Bridge rehabilitation.
  - Work started in May.
  - Estimated completion is fall 2017.
  - Lane closures on I-81 north and southbound will be in place from 7 p.m. to 6 a.m. Sunday – Thursday. Daytime lane closures may be in place on Rte. 43 and Rte. 624 during repair work beneath the bridge.

**Project Updates (continued):**

○ **Exit 150 Project:**

- The roadway contract has been awarded to Branch Highways, Inc. in the amount of \$17.9 million. Work started on project May 29, 2015.
- Grading and excavating operations continue for Gateway Crossing
- Continue placing drainage structures at Gateway Crossing/Roundabout area
- Continue forming and placing steel for box culvert extensions.
- Continue Work on and curbing items on Gateway Crossing.
- Paving turn lanes on 220A at Gateway Crossing
- Paving Gateway Crossing
- Grading Rte. 11 shoulder areas parallel to TA property.
- Continue forming and placing steel for box culvert extension 6E-2.
- Continue storm sewer installation Rte. 11.
- Continue installation of conduits and foundations for signals at Gateway Crossing/220A.
- The Exit 150B off ramp is narrowed in accordance with Phase I MOT. One full lane will remain active and the traffic impact is expected to be minimal. This will not affect mainline I-81. Closure of right turn lane on Exit B will remain throughout Phase 1.
- Phase I Stage I Modified Maintenance of Traffic has been implemented on Rte. 11. Traffic is narrowed to 3 lanes on SB Rte. 11 with 2 dedicated right turn lanes and one shared left turn and through lane.

○ **Rte. 779 (Catawba Rd.) & Etzler Intersection Improvements & Bridge over Amsterdam Creek:**

- Continue grading operations and begin placement of base stone.
- Continue work on the bridge over Amsterdam Creek.
- Estimated completion is Fall 2016
- Bridge work is complete.
- Contractor working on completion of paving and line marking.

**Secondary Six Year Plan Projects (SSYP):**

○ **RTE. 675 (Glebe Road) (UPC 57034)**

- Vertical Curve Improvements
- Update: Estimated Project Cost = \$1,358,411
- SSYP 32% Funded

**Land Development Projects & Land Use Permits:**

○ **Projects:**

- Roanoke Gas Line Replacement – Various Routes in Daleville – 2<sup>nd</sup> review received on Oct 20<sup>th</sup> and review is underway.
- Roanoke Gas Line Replacement – Various Routes in Fincastle – 2<sup>nd</sup> review received on Oct 25<sup>th</sup> and review is underway.
- Roanoke Gas Line Replacement – Various Routes in Troutville – 2<sup>nd</sup> review received on Nov 4<sup>th</sup> and review is underway.

○ **Permits Issued:**

- Permits issued between 10/16/16 and 11/15/16:
  - 1 Private Entrance Permit
  - 3 Utility Permits
  - 1 Special Event

**Area Headquarter Projects:**

- Asphalt patching on Breckinridge Mill, Lee Lane, Haymakertown, Catawba, and Mountain Pass roads.
- Site Restriction - bank clearing on Mountain Pass and other locations
- Snow removal equipment all prepped and contractors in place for winter
- Turn Lane Extension at Valley Lane
  - Delayed until spring due to other paving operations on Rte. 220, Rte. 11, and Rte. 654 (Read Mountain Rd.)

**Traffic Engineering Study Requests:**

- Planning study for the Route 220/Route 220A/Route 11 corridors anticipated to begin early 2017 but funding has not been approved at this point.

**AGENDA ITEM:** Consideration of resolution of support for an application by the Town of Fincastle for VDoT Revenue Sharing Program funds for a sidewalk improvement project.

Administrator's Comments:

As per the attached memo from Fincastle Town Manager, David Tickner, the Town is in the process of submitting an application for VDoT Revenue Sharing Program funding for sidewalk improvements. This project is proposed to construct a sidewalk for one block along Main Street between Monroe and Hancock Streets (aka Springwood Road).

The County is required to submit a resolution of support for this application.

Recommendation:

Allow Mr. Tickner to review the application for VDoT Revenue Sharing funds for sidewalk improvements in the Town of Fincastle and, if agreeable, adopt the attached resolution of support.

Attachments

  
11-17-16



Date: October 26, 2016  
From: David Tickner, Town Manager *DT*  
To: Gary Larrowe, Botetourt County Administrator  
Item: Town of Fincastle Revenue Sharing Application

Mr. Larrowe, the Town is in the process of submitting an application for funding to VDOT for some sidewalk work under the State's Revenue Sharing Program. The proposed work is one block of Main Street, from Monroe to Hancock Street (Springwood Road). This will be an extension of the recently-completed \$708,000 sidewalk improvement project along Main Street and Monroe Street under VDOT's TEA (now MAP21) program. The Town proudly completed that project on time and under budget.

Because Fincastle is a town, and does not maintain its streets, VDOT requires that the Town submit the application or funding under the envelope of Botetourt County. Cody Sexton has been very helpful and assisted me in gaining access to VDOT's application system and submitting necessary application materials. As a requirement of this program, a resolution endorsing the project must be approved by both Fincastle Town Council and the Board of Supervisors. I am **enclosing** a copy of the resolution as approved by Town Council earlier this month. I am also **enclosing** an aerial detailing the section of sidewalk proposed to be improved. The Town is proposing to demolish the existing concrete sidewalk and replace with new concrete.

We would respectfully request that the Board of Supervisors adopt a similar resolution endorsing this important project. Per VDOT requirements, the resolutions must be submitted by no later than December 1<sup>st</sup>. The Town is not asking the County for any financial assistance on this project, estimated at between \$45,000 to \$60,000. Please let me know if you have any questions. Thank you for your time and consideration.



AT A REGULAR MEETING OF  
THE FINCASTLE TOWN COUNCIL

HELD AT THE OLD DISTRICT COURTHOUSE MEETING ROOM FINCASTLE, VIRGINIA  
RESOLUTION ENDORSING APPLICATION FOR FUNDING TO VDOT  
REVENUE SHARING PROGRAM FOR SIDEWALK IMPROVEMENTS

**WHEREAS**, The Town Council of the Town of Fincastle has identified the town's system of sidewalks as a major element of the Town's infrastructure, a significant pedestrian asset, economic development tool and overall component of quality of life; and

**WHEREAS** the Town Council of the Town of Fincastle has worked to maintain and improve the sidewalk system in the Town, through volunteer work, grant projects, and paid contractors; and,

**WHEREAS**, the Town of Fincastle, Botetourt County, desires to submit an application for an allocation of funds up to \$60,000 to be matched through the Virginia Department of Transportation Fiscal Year 2018 Revenue Sharing Program; and,

**WHEREAS**, The Town Council of the Town of Fincastle hereby supports this application for an allocation of funds up to \$60,000 to be matched through the Virginia Department of Transportation Revenue Sharing Program; and

**NOW, THEREFORE, BE IT RESOLVED THAT:** The Town Council of the Town of Fincastle hereby agrees to commit to their share of the total cost for preliminary engineering, right-of-way and construction of the project(s) in accordance with the project financial documents.

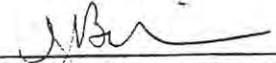
**BE IT FURTHER RESOLVED THAT** the Town Council of the Town of Fincastle hereby grants authority for the Town Manager to execute project agreements for any approved revenue sharing projects for Fiscal Year 2018.

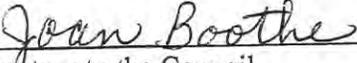
Adopted by the following vote:

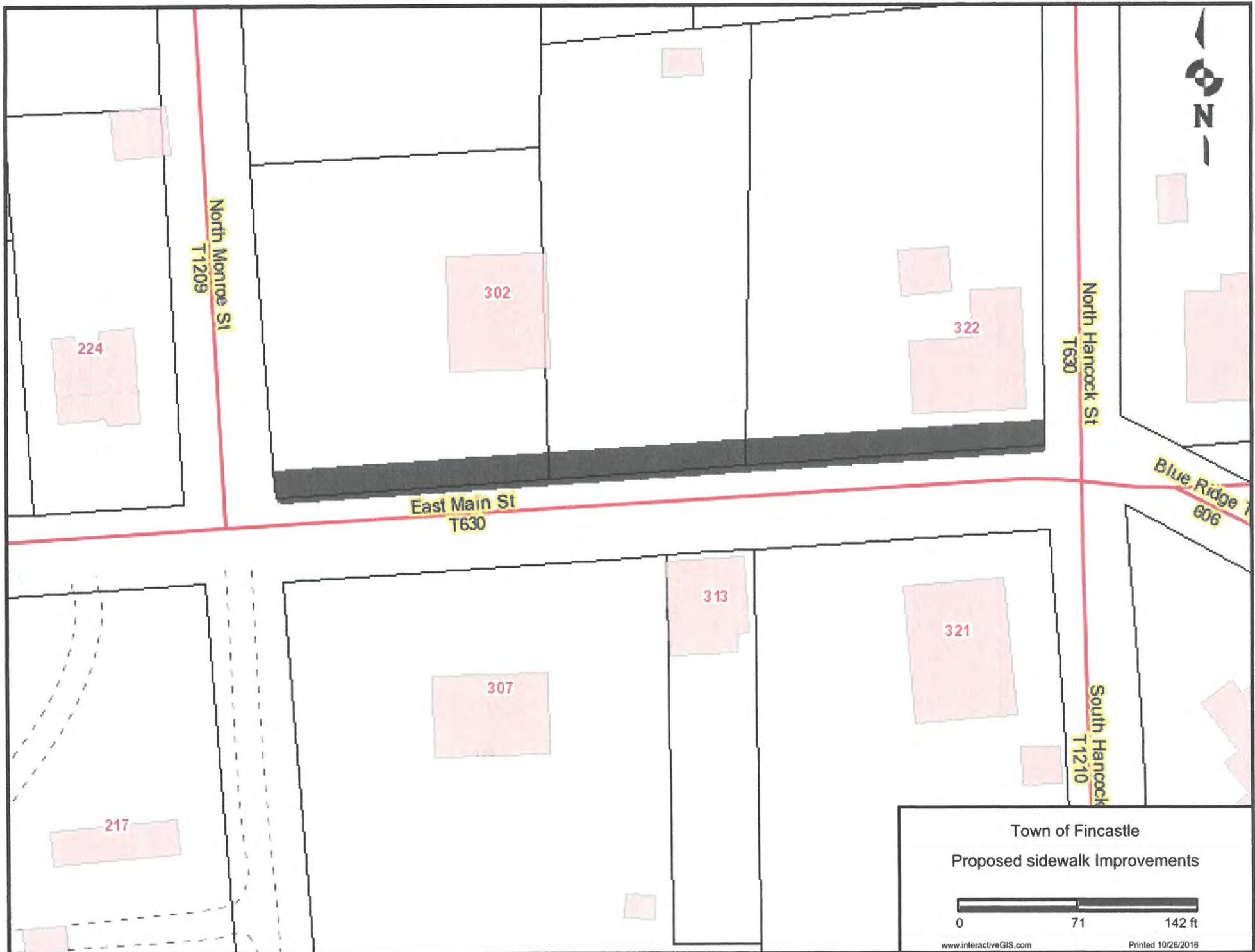
Yes 6 No 0

Respectfully submitted,

Countersigned

  
\_\_\_\_\_  
Mayor, Town of Fincastle

  
\_\_\_\_\_  
Secretary to the Council



## ***RESOLUTION***

**WHEREAS**, the Town Council of the Town of Fincastle has identified the Town's system of sidewalks as a major element of the Town's infrastructure, a significant pedestrian asset, economic development tool, and overall component of quality of life; and,

**WHEREAS**, the Town Council of the Town of Fincastle has worked to maintain and improve the sidewalk system in the Town through volunteer work, grant projects, and paid contractors; and,

**WHEREAS**, the Town of Fincastle, which is located within Botetourt County, desires to submit an application for an allocation of funds in the amount of up to \$60,000 to be matched through the Virginia Department of Transportation Fiscal Year 2018 Revenue Sharing Program for these improvements;

**NOW, THEREFORE, BE IT RESOLVED**, that the Board of Supervisors of Botetourt County hereby supports the application by the Town of Fincastle for an allocation of funds up to \$60,000 to be matched through the Virginia Department of Transportation Revenue Sharing Program for a sidewalk improvement project in the Town of Fincastle.

**AGENDA ITEM:** 3:00 P. M. - Presentation on The Advancement Foundation's program to increase small business start-ups/expansions.

Administrator's Comments:

Ms. Annette Patterson, President of The Advancement Foundation, will be present to give a brief presentation on the Foundation's programs. This group is "focused on comprehensive community and economic growth by creating opportunities for asset development, education, and self-reliance" for small and emerging businesses in order to create a "system of communities that experience benefits of shared resources." (see attached)

Recommendation:

Allow Ms. Patterson to give her presentation and ask any questions as necessary.

Attachments

  
11-17-16



## *The Advancement Foundation* **Building Collaborative Communities** **Botetourt and Roanoke Counties**

The Advancement Foundation is focused on comprehensive community and economic growth by creating opportunities for asset development, education and self-reliance. This goal is accomplished by engaging all sectors of the community including business leaders, nonprofit entities, and local/state governments toward a common goal to create vibrancy, interdependence and resiliency.

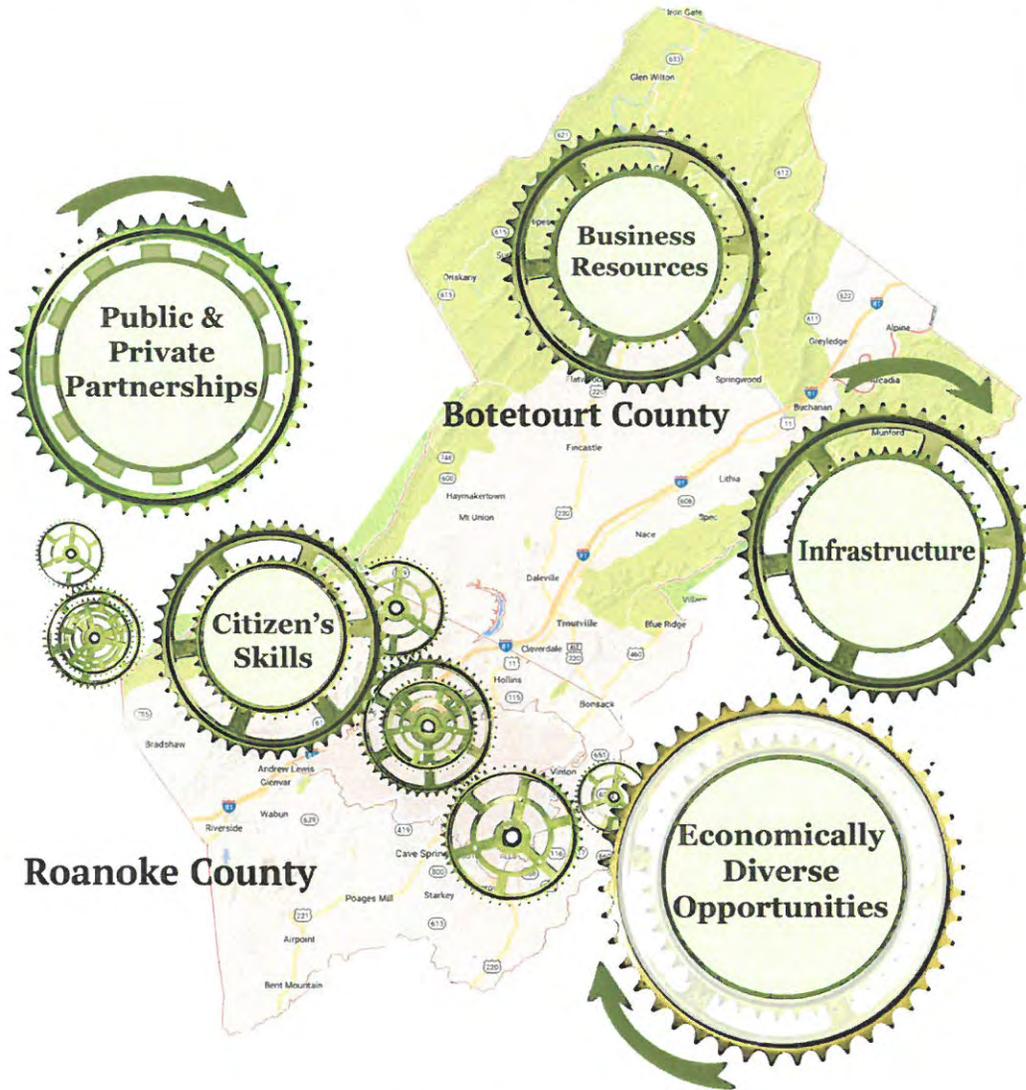
Our regional strategy will map and market the distinct community assets that are available to emerging businesses to create a system of communities that experience benefits of shared resources. By building collaborative communities we will create comprehensive and accessible economic development resources that outline key organizations, opportunities and financial resources targeted for community development in Botetourt and Roanoke Counties.

1. Host three strategy sessions to clarify county goals, identify resources, explore target businesses needed, conduct a space inventory, and coordinate marketing timelines. All appropriate entities will be involved in the conversations including; Town management, economic development offices, educational venues, realtors, tourism offices and educational entities to refine comprehensive and collaborative actions.
2. Increase small business start-ups/expansions by at least 20 as a complement to the attraction and retention of larger businesses. Create entrepreneurial ecosystems (knowledge, financial support and shared resources) in order to foster an entrepreneurial spirit within each of the towns/areas across the region.
3. Create an online resource that will increase awareness of small business opportunities, improve access to financial community and support services that attract entrepreneurs and link them to the best of Botetourt and Roanoke counties.
4. Expand the Skills Based Volunteer Bank to 300 business leaders willing to volunteer expertise to improve knowledge of new and small businesses across the community. Identify key business skills, expertise and resources for entrepreneurs opening or expanding in the target communities.
5. Establish and grow the use community resources from private and public sources. Create wide spread support of entrepreneurial activity. Leverage the use of matching fund programs including the VIDA program with a minimum of 10 savers completing the program in order to expand resources available for business development.
6. Establish and promote an online bank of properties/store fronts/office spaces and businesses available in the small communities with details regarding zoning, cost and benefits of each.
7. Identify each community's intangible and tangible assets to be marketed to small businesses. Identify distinct opportunities within each.
8. Host the region's largest business competition that is collaboratively based, awarding over \$200,000 in awards and prizes, with a 3-5 businesses opening/expanding in each of the key localities.
9. Engage at least 5 high school and/or college students in small business education and development as part of the strategy to engage all ages in the entrepreneurial ecosystem.

# THE ADVANCEMENT FOUNDATION

227 South Pollard, Vinton VA 24179 540-283-7062

## Gearing up to Connect Entrepreneurs with Regional Resources



BUILDING COLLABORATIVE COMMUNITIES  
**BOTETOURT & ROANOKE COUNTIES**  
[www.TheAdvancementFoundation.org](http://www.TheAdvancementFoundation.org)

# THE GAUNTLET

*The Region's Largest Business Competition*

**GET INVOLVED TODAY!**

*The Advancement Foundation*  
**Building Collaborative Communities**  
**Botetourt and Roanoke Counties**

<b>DISCOVERY PHASE</b>		
<b>Time Frame</b>	<b>Activity</b>	<b>Who</b>
October-November	Tour key communities	TAF, Fincastle, Troutville, Buchanan, Brambleton, Vinton, others?
October-November	Identify community assets/resources	Everyone
November	Research needs, Tourism plans, strategies established etc.	Economic Development, Tourism, DHCD
November	Formulate Marketing plans	Econ Dev, Chambers, Tourism, Outreach (Reaching entrepreneurs - SBDC, Burton, Comm Colleges etc.)
November	Begin identifying talent and community assets	
November	Create Prospect list of potential sponsors, advisers, property owners to approach about support of efforts	Community leaders, word of mouth
<b>PLANNING PHASE</b>		
<b>Time Frame</b>	<b>Activity</b>	<b>Who</b>
November-December	Plan curriculum and program	Key speakers, current business owners, advisers through the Skills Based Volunteer Bank
November-December	Identify location holding potential of 75 entrepreneurs	Town managers, mayors, chambers etc.
November	Meet with key stakeholders about marketing plans	Community leaders
December	Finalize work plan and partner roles	Econ Dev, Chambers, Tourism, Outreach (Reaching entrepreneurs - SBDC, Burton, Comm Colleges etc.)

*The Advancement Foundation*  
**Building Collaborative Communities**  
**Botetourt and Roanoke Counties**

<b>MARKETING PHASE</b>		
<b>Time Frame</b>	<b>Activity</b>	<b>Who</b>
December	encourage entrepreneurs to sign up for business competition	
December	Teaser cards to key partners - with dates and contact information	Localities, Econ Dev, Chambers, Tourism, Outreach (Reaching entrepreneurs - SBDC, Burton, Comm Colleges etc.)
December	Seek key sponsors - prizes, award \$ and sustainability	Community leaders, town managers etc.
January	Phase 11 Banner with sponsors logos ref getting in gear, join competition	Localities, Econ Dev, Chambers, Tourism, Outreach (Reaching entrepreneurs - SBDC, Burton, Comm Colleges etc.)
February	Collaborative Communities flags, stickers	All localities, econ dev, chambers. Current businesses etc.
<b>EXECUTION PHASE</b>		
<b>Time Frame</b>	<b>Activity</b>	<b>Who</b>
February-April	Classes begin	Entrepreneurs, faculty and advisers
February-April	Tour communities with Entrepreneurs	localities leaders
February-April	Meet with landlords/realtors	localities leaders
February-April	Recruit sponsors for GAUNTLET awards	ALL
April 25-May 4	Competition judging (written plans and presentations)	Judges to be determined
Saturday, May 12 (9:00am-12:00) tentative date	GAUNTLET Awards Ceremony	ALL

**AGENDA ITEM:** 3:15 P. M. - Update on the 2016 election process.

Administrator's Comments:

Traci Clark, Director of Elections and General Registrar, has been asked to give the Board a report on the November 8, 2016 General and Special Election.

This election resulted in the highest number of registered voters in the County's history and the largest voter turnout for an election to date. Attached is a copy of her detailed report for your review.

Recommendation:

Allow Mrs. Clark to give her report and ask any questions as necessary.

Attachment

*Mary Anne* 11-16-16

## RECAP OF 2016 GENERAL & SPECIAL ELECTION

The November 8, 2016 General & Special Election was one for the record books in Botetourt County with the highest number of registered voters and voter turnout to date. Total registered voters as of Election Day was 24,277 with 18,798 voters participating in this election. Approximately 35 to 40% of participating voters had not voted since the precinct consolidation in early 2015 and the change to paper ballots and optical scanners in late 2015.

Voters reported smooth operations at all precincts with minimal wait times most of the day.

<u>Election Year</u>	<u>Registered Voters</u>	<u>November Election Turnout</u>
2016	24,277	18,798 (77.4%)
2012	23,697	18,377 (77.5%)
2008	22,876	17,566 (76.8%)

The oldest voter participating in the election was 104 years old and voted at his designated polling location on Election Day. Several 90+ year olds voted absentee in person.

Absentee Voting began on September 23 after an initial mailing went to over 220 voters who had submitted applications prior to that date. Ballots were emailed to 54 military/overseas voters during the absentee period. The Voter Registration Office was open on Saturday, October 29<sup>th</sup> and Saturday, November 5<sup>th</sup> to accommodate in-person, absentee voting.

<u>Absentee Ballots</u>	<u>Total Applications Processed</u>	<u>Total In-Person Absentee Voters</u>
2016	1833	1028
2012	1282	803
2008	1132	663

The volume of in-person, absentee voters created interesting challenges with our limited office space. Friday, November 4<sup>th</sup> had the highest number of in-person, absentee voters topping out at 103 during normal office hours.

Increased volumes were also seen in applications for registration, name/address changes, etc. Between September 1<sup>st</sup> and November 7<sup>th</sup>, staff processed 3,449 records. These included mailed, in-person, or online voter registration applications, and DMV transactions. Each application received must be processed completely regardless of status. Out of the 3,449 records, 558 were cancelled due to death, transferring to another locality, or felonies. 500 applications were duplicates of previously received applications (mostly on-line through the Department of Elections' website). Duplicates are usually a result of users being accustomed to seeing changes "real time" online and submitting applications several times when the information displayed on website does

not reflect their changes. On-line applications normally take approximately 2 days to process; however, with the increased volume during this time period it took 5 to 7 days to complete processing.

A surge in voters interested in becoming election officers made assignments for the November 8<sup>th</sup> election easier than anticipated. 48 voters were added to the roster between August and November. This increase in interest can be attributed to numerous ads and articles in The Fin-castle Herald, Botetourt View, and Roanoke Times. Our resident reporters have been very gracious in spreading the word on the need for volunteers as well as election-specific information.

Precinct Election Officers (PEOs):

153 on roster

48 new volunteers added to list since August 2016

127 carried out assignments in 11 precincts (including Central Absentee Precinct) on Election Day:

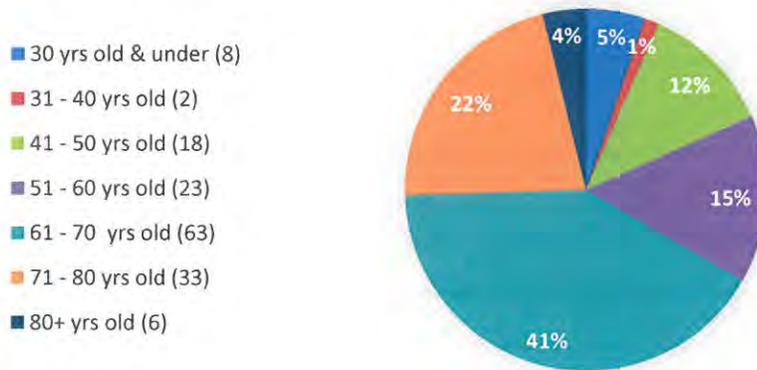
99 worked full day (4:30 am to approximately 9:30 pm)

28 worked split shift (4:30 am to 1:00 pm or 1:00 pm to approximately 9:30 pm)

Oldest Officer working this Election: 85 years old

Youngest Officer working this Election: 19 years old

### Total Number Precinct Election Officers



**AGENDA ITEM:** 3:30 P. M. - Presentation on School System Energy Efficiency and Performance Contracting Opportunities.

Administrator's Comments:

Mr. John Busher, Superintendent of Schools, will be present at the meeting to discuss the Energy Efficiency and Performance Contracting Support program. This program expires in March 2017 and approval by the Supervisors is being requested.

Background information on this program is attached.

Recommendation:

Allow Mr. Busher to give his presentation and, if agreeable, take action as appropriate.

Attachment

# **ENERGY EFFICIENCY & PERFORMANCE CONTRACTING SUPPORT**

Any state agency may enter into an energy performance-based contract with an energy performance contractor to significantly reduce energy costs of a state facility through one or more energy conservation or operational efficiency measures.

An energy performance contract (EPC) is an agreement between a contractor, most often an energy services company, or ESCO, and a customer to perform as a condition of payment. Performance in this context means meeting a guaranteed level of energy savings.

ESCOs are essentially design-build general contractors combined with a diagnostic front end and a guaranteed-savings back end. They should provide, by some combination of in-house staff and subcontracts, all the labor, materials, equipment, and subcontractor management. If they do that well, they need little supervision. That being said, DMME can serve as an experienced and trusted third-party advisor to state agencies and local governments considering entering into an EPC.

Energy Performance Contracting (EPC) is primarily equipment replacement to provide energy savings and installation of building control systems to control energy consumption, which are defined as maintenance projects. They are impacted by the Virginia Uniform Statewide Building Code. State agencies shall comply with the CPSM for all design and construction work under this contract. Other public bodies must comply with their local building codes.



Botetourt County, Virginia  
*Development Services*

5 W. Main Street, Suite 100  
Fincastle, Virginia 24090  
Fax (540) 473-2018

**Construction Compliance**  
Phone (540) 928-2070  
Erosion & Sediment Control  
Inspections & Enforcement  
Permit Applications &  
Plan Reviews

**Planning**  
Phone (540) 928-2080  
Subdivisions  
Zoning  
Site Plans  
Land Conservation

**Planning Commission Extract  
Land Use Related Request**

**Board of Supervisors Action Needed**

**November 22, 2016**

**Request**

The Botetourt County Board of Supervisors is proposing to amend the 2010 Comprehensive Plan to incorporate the Gateway Crossing Area Plan and also include an update to the Future Land Use Maps to incorporate new future land use designations in the Gateway Crossing (Interstate 81, Exit 150) study area. The amendments will also serve to designate Urban Development Areas (UDAs) in accordance with Section 15.2-2223.1 of the Virginia State Code.

**This land use change request involves the following:**

- Land rezoning (conditions must be proffered, or offered by the applicant)
- Comprehensive Plan Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permits (the Board has authority to assign conditions).

**Planning Commission Recommendation:**

On a vote of 4:0:0:1, (Mr. Foster absent) the Planning Commission recommended approval of the Comprehensive Plan amendments.

On a vote of 4:0:0:1, (Mr. Foster absent) the Planning Commission recommended approval of the Urban Development Area designations.

**Action requested of the Board of Supervisors:**

The Board of Supervisors may approve or deny the Comprehensive Plan amendments.

The Board of Supervisors may approve or deny the Urban Development Area designations.

**Staff Comments:**

One public comment received prior to the public hearing was regarding parking preferences. There were no citizens at the public hearing remaining at this public hearing to comment.

## **DRAFT MOTIONS**

### **Comprehensive Plan Amendment: Gateway Center Area Plan and related amendments**

#### **Approval:**

I move to approve the Comprehensive Plan Amendments to amend the 2010 Comprehensive Plan to incorporate the Gateway Center Area Plan, including updates to the Future Land Use Maps in the Gateway Crossing Study Area, as provided in the package prepared and presented by staff and Renaissance Planning.

#### **Denial:**

I move to deny the Comprehensive Plan Amendments to amend the 2010 Comprehensive Plan to incorporate the Gateway Center Area Plan, including updates to the Future Land Use Maps in the Gateway Crossing Study Area, as provided in the package prepared and presented by staff and Renaissance Planning. The denial is based on the following reasons: \_\_\_\_\_

### **Urban Development Area Designations**

#### **Approval:**

I move to approve amendments to the 2010 Comprehensive Plan to designate the two areas defined in the Gateway Center Area Plan Urban Development Areas in accordance with the Section 15.2-2223.1 of the State Code of Virginia.

#### **Denial:**

I move to deny amendments to the 2010 Comprehensive Plan to designate the two areas defined in the Gateway Center Area Plan Urban Development Areas in accordance with the Section 15.2-2223.1 of the State Code of Virginia.

# MEMORANDUM

**TO:** Members, Botetourt County Planning Commission  
Members, Botetourt County Board of Supervisors

**FROM:** Nicole Pendleton, Planning Manager/Zoning Administrator

**SUBJECT:** Comprehensive Plan Amendments

**DATE:** November 14, 2016

**CC:** Gary Larrowe, County Administrator  
David Moorman, Deputy County Administrator  
Mike Lockaby, County Attorney  
Jerod Myers, Planner

---

Planning staff have been working towards realizing updates to the Comprehensive Plan to better reflect local trends and conditions. This will allow the County to continue planning for the future with confidence, accuracy, and sensitivity to the needs of the community. The following memo is written in regards to two forthcoming amendments that are being considered at November public Planning Commission public hearings.

Building off the efforts of the “Exit 150 Market Study and Conceptual Land Use Plan” which was presented in June of 2015, Renaissance Planning is presenting the Gateway Crossing Area Plan, which serves to update the 2010 Comprehensive Plan and Future Land Use Map to better capitalize on roadway development in the area and to solidify the vision for how the area could develop over time through infill development and redevelopment. In addition, this plan designates two Urban Development Areas (UDAs) that are in conformance with Section 15.2-2223.1 of the Virginia State Code. The purpose of the UDA is to encourage compact, mixed-use development in those areas of the county where it is most appropriate. The UDA designation does not restrict development outside of the UDA.

The following timeline illustrates actions to date in 2016 regarding the proposed amendments:

- March: Board of Supervisors authorized application for assistance
- April: Award notification received
- June: Long-range work session with Planning Commission; members authorized proposed timeline for amendments; consultant conducted field visits and interviews with stakeholders and staff members
- August: UDA and Gateway Crossing Stakeholder Committee Kickoff Meeting
- September: Stakeholder Committee 2<sup>nd</sup> Meeting and Community Meeting with over 100 residents in attendance.
- October: At the October 11 work session, Renaissance Planning presented the proposed plan to the Planning Commission; members authorized public hearing of the Gateway

Crossing Area Plan amendment at the November 14 Planning Commission and November 22 Board of Supervisors meeting.

Following the meeting on October 11<sup>th</sup>, updates to the Gateway Crossing Plan have been made to strengthen and clarify several elements. Regarding land use and connectivity, text was added describing the addition of a signalized section on US Route 220 at the Howard Johnson Inn driveway crossover. The signal would have an additional benefit of providing access to parcels on the east side of US Route 220 between the highway and Interstate 81. A new signal at this location would also provide for a safer crossing of US Route 220 for pedestrians and Appalachian Trail hikers. A section further detailing access management was added, identifying key access issues in the US Route 220 corridor from Glebe Road to the new Gateway Crossing Road, and on Route 11 within the Gateway Crossing study area. The section concludes with a toolbox of options for improving access management in this area. The consultants also added a brief summary, which highlights next steps after the comprehensive plan update—the most important being to update the zoning ordinance to align development regulation with the vision created by the comprehensive plan. Renaissance Planning staff will be presenting the county with a high-level analysis of zoning challenges and opportunities and based on this report, staff is prepared to prepare a request for proposal for updates to the zoning ordinance in early 2017.

In addition to the above amendment, “*Chapter II: Population and Demographics*” of the 2010 Comprehensive Plan has been updated. This chapter provides an overview and analysis of trends that may shape the future of the County. Evaluating changes in a community's population over time helps a locality better understand current needs and can help the community anticipate future needs that should be addressed in the plan's goals, objectives and policies. The Chapter is objective in nature and opens with six key trends that should serve as “food for thought” regarding future policy actions. These trends include an aging population, polarized age demographics, educational attainment, a highly mobile workforce and housing. Of note, localities that comprise the Roanoke MSA were selected as peer comparisons, allowing Botetourt to benchmark itself against surrounding jurisdictions.

In collaboration with the above initiatives, Robert Beatty, GIS Technician, has been working to update maps found in the 2010 Comprehensive Plan. With your recommendation and the Board of Supervisors approval, the attached maps will be formally adopted. Further maps will be updated and presented for adoption as their corresponding chapter is updated and approved.

Pending discussion at the Planning Commission Public Hearing, staff respectfully asks for your recommendation for these amendments to the Comprehensive Plan.

Attachment



**BOTETOURT COUNTY, VA**

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**GATEWAY  
CROSSING  
AREA PLAN**

DRAFT | November 2016

**BOTETOURT COUNTY, VA**

---

**GATEWAY  
CROSSING  
AREA PLAN**

*prepared by:*



**RENAISSANCE  
PLANNING**

*on behalf of:*



**BOTETOURT**  
COUNTY OF VIRGINIA

DRAFT November 2016

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## 1. INTRODUCTION

### 1.1 Area Plan Purpose

Gateway Crossing is the front door to Botetourt County. It is where three major routes – U.S. 220, U.S. 11, and Interstate 81 – come together, and is also a key passage between ridges for the world famous Appalachian Trail. The area has been a critical juncture for travelers and local residents for decades. As the county grew, the area’s main arteries for traffic became increasingly congested, hindering its development potential. But changes are coming to Gateway Crossing. The Virginia Department of Transportation is rebuilding the exit 150 interchange. This project is designed to improve safety and traffic flow along U.S. routes 220 and 11. This major project will also improve access to land for new development. As a result, the county decided that the timing was right to take a closer look at how the land around the interchange may develop over time and create a vision for the future of this critical area. The purpose of this area plan is to clarify the county’s preferred vision for the Gateway Crossing district and to establish policy for future development of the area so that the vision may be realized.

### 1.2 Gateway Crossing District Goals

This area plan builds on a study conducted in 2015 of market potential for various types of development. This study, named the Exit 150 Market Study and Conceptual Master Plan (hereafter referred to as the Exit 150 study) also yielded a vision for how the area could develop over time through infill development and redevelopment. The overarching vision is of a walkable district with a mixture of uses including housing and locally-serving shops and offices to the west of Interstate 81, and both local and highway-serving shops, hotels, and services to the east of Interstate 81. New sidewalks, greenways, bicycle lanes, and a local street network would knit the area together and better connect it to the Roanoke Valley region. This vision points to six key goals for the future development of Gateway Crossing.

1. Develop a mixed use center that is an attractive gateway to Botetourt County.
2. Create a walkable district connected by trails and a network of walkable and bike-friendly streets.
3. Revitalize Gateway Crossing as an economic hub of Botetourt County.
4. Update the county’s development policies and codes to support the Gateway Crossing vision.
5. Unlock new development opportunities by providing street access from Routes 220 and 11.
6. Build a stronger connection to the Appalachian Trail to leverage this unique asset.

### 1.3 Relationship to the County Comprehensive Plan

This area plan will become an amendment to the county’s comprehensive plan upon its adoption by the Board of Supervisors. It will supersede previously adopted policies, such as the future land use map adopted in 2011, for the Gateway Crossing study area. It will also amend the comprehensive plan to designate urban development areas, which are described in chapter 2.4.

### 1.4 Planning Process

The Gateway Crossing Area Plan builds upon the vision of the Exit 150 study. This study identified market-supported development opportunities in this district and illustrated a conceptual land use plan for the area. This vision, while enjoying broad support, has not officially been adopted as county policy. Setting policy is a key outcome of this area plan. Therefore, the planning process for the area plan picked

up where the Exit 150 study left off. The county engaged a stakeholder committee through meetings and a design charrette meeting, and held an open public meeting, during the development of the Exit 150 study. For the area plan, the county reconvened a Stakeholder Committee to provide its consulting team with guidance on key elements of this plan, such as the future land use map, the connectivity plan, and the design principles. The members of the Stakeholder Committee are listed in the table below.

<b>Name</b>	<b>Affiliation</b>
<b>Todd Dodson,</b>	Board of Supervisors, Amsterdam District
<b>Mac Scothorn,</b>	Board of Supervisors, Valley District
<b>Joyce Kessinger</b>	Botetourt County Economic Development Authority
<b>Lyn Hayth</b>	CEO, Bank of Botetourt
<b>Bill Thurman</b>	Chair, Planning Commission, Valley District
<b>Hiawatha Nicely</b>	Planning Commission, Amsterdam District
<b>B Painter</b>	Developer and study area property owner
<b>Andy Kelderhouse</b>	President, Fralin and Waldron
<b>Les Talbot</b>	Study area property owner
<b>Steve Mabry</b>	Study area property owner
<b>Andrew Downs</b>	Regional Appalachian Trail Conservancy Regional Director

The county also held an open house on September 19, 2016 at the Greenfield Education and Training Center to share initial land use, connectivity, and design concepts and gather feedback. More than 60 people attended the open house and shared their thoughts on the future of Gateway Crossing. A summary of their ideas is provided below:

- Having a mix of land uses in the area is important, especially for attracting younger people.
- The Appalachian Trail is a key asset that brings a lot of business to the area.
- The Appalachian Trail could use a safer crossing of Route 220; a bridge would be preferable.
- A new public park connected to an Appalachian Trail trailhead is an exciting possibility.
- A regional tourist information center would be a good use of land in this area. It could provide information about the county’s history, the Appalachian Trail, and other tourist attractions.
- Clean industries are desirable.
- The U.S. Bike Route 76 also comes close to the Gateway Crossing district on Routes 11 and 779 (Catawba Road), bringing the potential for more tourists to the area.
- Providing sufficient water and sewer capacity to serve the Gateway Crossing area is important.
- Several vacant properties on Route 220 between Interstate 81 and Commons Parkway are development opportunities.
- Attractive development in Gateway Crossing is important for drawing people into the county.
- Access and visibility are keys to business success in Gateway Crossing.
- Access and traffic congestion are keys for residential success in Gateway Crossing.

- The Pilot service station is an important tax revenue generator and it will be difficult to access after the VDOT project is complete. Maintaining a left turn from Route 220 south to Route 11 north is important.
- New development in the Gateway Crossing area will bring additional traffic that will need to be accommodated.
- Botetourt County has great mountain views that are important to its residents. Future development should fit within the landscape and minimize disruption of view sheds.
- The county could use more affordable housing options, especially with new jobs coming.
- Consider accommodating a branch of the local community college in Gateway Crossing.
- The area could use more upscale restaurants.

## 2. PLANNING CONTEXT

### 2.1 Comprehensive Plan

Botetourt County adopted its first comprehensive plan in 1975. The county adopted the current version in 2004 and updated it in 2011. The current plan has a 2030 planning horizon.

The 2011 update emphasizes the desire for managed growth, and that growth along 220 and I-81 should be largely commercial development that caters not just to through travelers, but transforms the area into a place. That place has since been designated as Gateway Crossing.

#### *Land Use Elements*

The land use section of the comprehensive plan acknowledges the importance of the County's agricultural heritage and rural, small town character. The plan states that the county "should mitigate rapid growth along US 220 to preserve the rural character north of Daleville, and promote more growth around incorporated towns." (page 35)

The plan calls for balanced and compatible growth, development that respects rural and natural areas, and recommends focusing future growth towards Urban Development Areas. The plan emphasizes infill development, discourages scattered development, highlights the importance of protecting view sheds, and encourages cluster development as well as mixed use centers with multi-modal connections. It also calls for the continual review and update of the plan, zoning, and subdivision ordinances, in coordination with the county's towns. New growth is encouraged close to existing towns and centers in a compatible, context sensitive manner, with coordination and careful planning.

#### *Mixed Use Centers and Urban Development Areas*

The county in 2011 called for promoting growth in Urban Development Areas (UDAs). UDAs are a planning tool that helps local governments in Virginia create great places by focusing capital investments on target growth areas. Virginia authorized UDAs in 2007 (Virginia Code § 15.2-2223.1.) as a requirement

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#### ***Comprehensive Plan Vision***

*"Envision a community where County residents are attaining higher educational and economic goals; are enjoying a quality of life marked by safety and security, environmental protection, quality business and residential development, and a variety of recreational and cultural opportunities; and are pleased with the value and cost of government services." (Comprehensive Plan, Page 1)*

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for certain high growth localities, such as Botetourt County, to designate areas “sufficient to meet projected residential and commercial growth in the locality for an ensuing period of at least 10 but not more than 20 years.” In 2012, however, the state amended the Code to define UDAs more broadly and make them optional. UDAs now can be any areas designated by a locality in their comprehensive plan for higher density development that incorporate the principles of Traditional Neighborhood Development (TND). These principles embody classic characteristics of traditional communities such as:

- Walkable neighborhood centers
- Interconnected streets and blocks
- Diversity of land uses and housing types
- Easy access to jobs, housing and recreation by a variety of travel options (auto, bus, walk, bike)

In 2016 the county proposed designating Daleville Town Center and Gateway Crossing as Urban Development Areas. This designation will become official once the county amends its comprehensive plan to identify these areas as UDAs. This action is consistent with the comprehensive plan, which identified both areas as Mixed Use Target Areas. These are areas where the county envisions a mix of medium and high density residential and non-residential uses within a walkable and bicycle-friendly area. The plan further defines the Gateway Crossing Area as Regional Mixed Use, calling it an area that may be appropriate for housing, office development, hotels, movie theaters, and region-serving retail uses such as department stores and specialty stores. Therefore, the Mixed Use Target Areas are generally consistent with intent of Urban Development Areas and designating them as such is appropriate.

Once the county designates UDAs, it will also open an additional avenue through which the county can qualify for transportation funding under the state’s new Smart Scale project selection process. Transportation projects are eligible for funding through Smart Scale if they relate to a designated need in a Corridor of Statewide Significance or Regional Network, or a UDA. Members of the Stakeholder Committee and the public raised concerns about access management and traffic flow along Route 220. The UDA designation could help the county secure funding for improvements to this critical arterial highway, which connects the two proposed UDAs.

### *Transportation and Streetscape Design Standards*

The transportation section of the comprehensive plan highlights the importance of key gateways, such as Gateway Crossing, for shaping the impressions that people form about Botetourt County. Both their function and aesthetics are important. The plan states that “generally, future development along Botetourt County’s primary highways should increasingly be a mixture of land uses conditioned upon the provision

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### *Mixed Use Centers*

*“Mixed-use centers bring together medium-to high-density residential and non-residential uses within a walkable, bicycle-friendly, and/or transit-accessible development framework. Uses can be mixed vertically, within buildings; or horizontally, when tightly clustered in a pedestrian-friendly arrangement. Due to the diversity of uses and activities, mixed-use centers are typically vibrant destinations that attract attention due to their level of activity. Fundamentally, a mixed-use center should provide a full service environment and diverse land uses (residences, offices, retail, service, entertainment, civic, and open space) for residents, employees, and visitors.”*  
*(Comprehensive Plan, page 51)*

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or existence of adequate public facilities, the preservation of highway capacity, and improvements to access control.” (Page 54). Mixed use development and interconnectivity of new streets are important strategies for achieving this desire. Mixed use development allows people to meet some of their needs within their community without needing to travel on the primary highway system, such as Routes 220 and 11. Transportation planners call this concept internal capture. Interconnected streets are also important because they provide people with multiple ways of getting from point A to point B, rather than funneling all travel onto major highways. This area plan, by encouraging a mix of uses in Gateway Crossing, and by encouraging a network of interconnected streets, will help the county meet its goal of providing safe and efficient mobility for all modes of transportation. (page 62)

The county’s comprehensive plan also calls for streetscape design standards. The standards are not specified in the comprehensive plan. But this area plan supports the comprehensive plans call for streetscape design standards for the Gateway Crossing area. The plan states that “applied to I-81, at Exit 150, streetscape design standards can greatly improve the aesthetics and sense of safety for the area surrounding the interchange. This would improve the gateway into the Botetourt community from the south, and help change the overall character of land uses. Visually cohesive streetscapes use a variety of techniques including landscaping, undergrounding of utilities, and other streetscape improvements along street frontages that reflect adjacent land uses.” (Page 50)

## **2.2 Botetourt County 2017-2021 Capital Improvements Plan**

The Capital Improvements Plan (CIP) guides continued investment in the county’s physical infrastructure and facilities and is reviewed and adopted annually. It reflects priorities for growth and development outlined in the comprehensive plan. The 2017-2021 budget<sup>1</sup> does not include any streetscape, bicycle, or pedestrian improvements in the Gateway Crossing area. The CIP is a tool that the county can use to implement some of the ideas embodied in this plan, such as a new park space with parking, local trails, and signage for an enhanced Appalachian Trail trailhead, or for the network of shared use paths envisioned in this area plan.

## **2.3 Exit 150 Market Study and Conceptual Master Plan**

The Exit 150 Study produced two main outcomes. The first is an assessment of potential future demand for land uses in the Gateway Crossing District. The second is a conceptual land use plan for the area. This area plan builds on the Exit 150 study, translating those market opportunities and development concepts into county policy. This section provides a summary of the market study component. The conceptual master plan is described in chapter 4.

The market assessment found that within the study area, which is slightly smaller than the area covered by this area plan, there are 360 acres of underutilized or unimproved properties. Of these acres, 229 are agriculturally zoned and 57 are zoned residential. There are 268 acres, encompassing 72 properties, that have substantial improvements. Of this group, 13 properties on less than 50 acres are considered to have moderate redevelopment potential. In summary, the Exit 150 study found substantial development and redevelopment opportunities in Gateway Crossing. However, some of these opportunities, such as

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<sup>1</sup> [http://www.co.botetourt.va.us/government/documents/finance/FY17\\_advertised\\_budget\\_CIP.pdf](http://www.co.botetourt.va.us/government/documents/finance/FY17_advertised_budget_CIP.pdf)

large tracts of undeveloped land off Tinker Mountain Road, will require improved access before they can be developed.

The Exit 150 Study also assessed market demand for different types of commercial and residential land uses, especially in the context of its location in the larger Roanoke catchment area that includes 31,000 households. The assessment found gaps in many retail categories, except for grocery. It also found that the strategic location of Gateway Crossing would appeal to the population living north, who would normally drive to Valley View or Tanglewood regional retail centers further south. The presence of Interstate 81 and its 50,000 daily travelers in this area are also a major generator of market demand, and may drive the development of additional hotel rooms. The Exit 150 Study also found substantial residential demand in this area, stating that “market rate apartments in an attractive, mixed use environment may be the winning formula for future development in the Exit 150 area.” (Page 1-7). A summary of the market supportable development opportunities is listed below. It is important to note, however, that this study preceded numerous business location announcements in 2016 that are expected to bring up to 1,000 new jobs within the next 10 years.

Table 1 - Market Supportable Development Opportunities. Source: Exit 150 Study

Use	Quantity	Requisite Conditions
<b>RETAIL MARKET POTENTIAL</b>		
Auto Parts	22,000 to 28,000 square feet (1 to 2 stores)	Convenience
Florists, used merchandise, and miscellaneous	9,000 to 16,000 square feet (4 to 8 stores)	In shopping center environment
Full-and limited service restaurants	20,000 to 30,000 square feet (4 to 8 establishments)	Suitable visibility, access and environment, national chains
Electronic and appliances	5,000 to 12,000 square feet (1 store)	Convenience, access and visibility
Sporting goods	22,000 to 33,000 square feet (1 store)	Suitable visibility and access
Office supplies	4,800 to 7,000 square feet (1 store)	Convenience
Building materials, lawn and garden supplies	12,000 to 17,500 square feet (1 store)	Convenience
Groceries	Upgrade offerings, but no new stores	Perceived weakness in the marketplace
Pharmacies and drugs	15,000 to 25,000 square feet (1 store)	Convenience, access and visibility
General merchandise	500 to 700 square feet (1 store)	Convenience
Clothing and Clothing Accessories	5,000 to 9,000 square feet (1 to 2 stores)	Convenience, access and visibility
Specialty retail (fashion center/outlet mall)	100,000 to 150,000 square feet (multiple stores)	Suitable visibility and access, must be unique

Use	Quantity	Requisite Conditions
		retail destination in the marketplace
<b>HOTEL MARKET POTENTIAL</b>		
Upper midscale hotel	80 to 150 rooms; 1 to 2 new or repositioned	Suitable visibility, access and environment, transient stopping point
<b>MULTI-FAMILY RESIDENTIAL MARKET POTENTIAL</b>		
Apartment and townhouses	25 to 50 average annual units	Access and environment, lack of local housing choices

## 2.4 Urban Development Areas

### Background

Urban Development Areas (UDAs) are a planning tool that helps local governments in Virginia focus capital investments on target growth areas. Upon adoption of this area plan, Botetourt County will designate the Gateway Crossing district and Daleville Town Center as urban development areas (UDAs) consistent with Section 15.2 – 2223.1 of the Virginia State Code.<sup>2</sup> The purpose of the UDAs is to encourage compact, mixed use development in those areas of the county where it is most appropriate. The UDA designation does not restrict development outside of the UDAs.

There are several benefits to designating UDAs in Botetourt County. Taking this step can improve the efficiency of services and infrastructure by encouraging growth in areas where existing or planned infrastructure can accommodate it. Also, concentrating growth and development in these zones may reduce development pressure in other areas of the county, thus allowing for the preservation of rural character and open space. It also opens an additional avenue through which the county can qualify for transportation funding under the state’s new Smart Scale project selection process. Transportation projects are eligible for funding through Smart Scale if they relate to a designated need in a Corridor of Statewide Significance or Regional Network, or a UDA. Designating one or more UDAs will also allow Botetourt County to fulfill a stated goal of its comprehensive plan, which is “to promote Urban Development Areas in the place or places where a variety of land uses, facilities, and services exist and are planned to support the County’s future growth, with emphasis placed on infill development.”<sup>3</sup>

The county is also facing many of the same issues faced by other suburban and rural counties in Virginia. The aging population and declining average household size is expected to increase demand for different

<sup>2</sup> Botetourt County’s UDA is consistent with the definition of an urban development area in Virginia State Code. An urban development area is “an area designated by a locality that is (i) appropriate for higher density development due to its proximity to transportation facilities, the availability of a public or community water and sewer system, or a developed area and (ii) to the extent feasible, to be used for redevelopment or infill development.”

<sup>3</sup> Botetourt County Comprehensive Plan 2010. Page 43.

types of housing than the traditional single-family detached house, which accounts for the vast majority of housing in Botetourt County. In many localities across Virginia, these trends are leading to the development of walkable neighborhoods with a variety of housing types that have easy access to shops, jobs, and entertainment. Supporting more of this type of development in Botetourt County will support economic development, and provide new housing for people that will be moving to the area for the new jobs recently announced at the Botetourt Center at Greenfield and in Daleville.

### *UDA Geography*

The Urban Development Areas cover the Daleville Town Center area and the Gateway Crossing district that is the subject of this area plan. The county identified the UDAs through a study in 2016 funded by the Office of Intermodal Planning and Investment's Urban Development Area Technical Assistance Grant Program.

### *Traditional Neighborhood Design Principles*

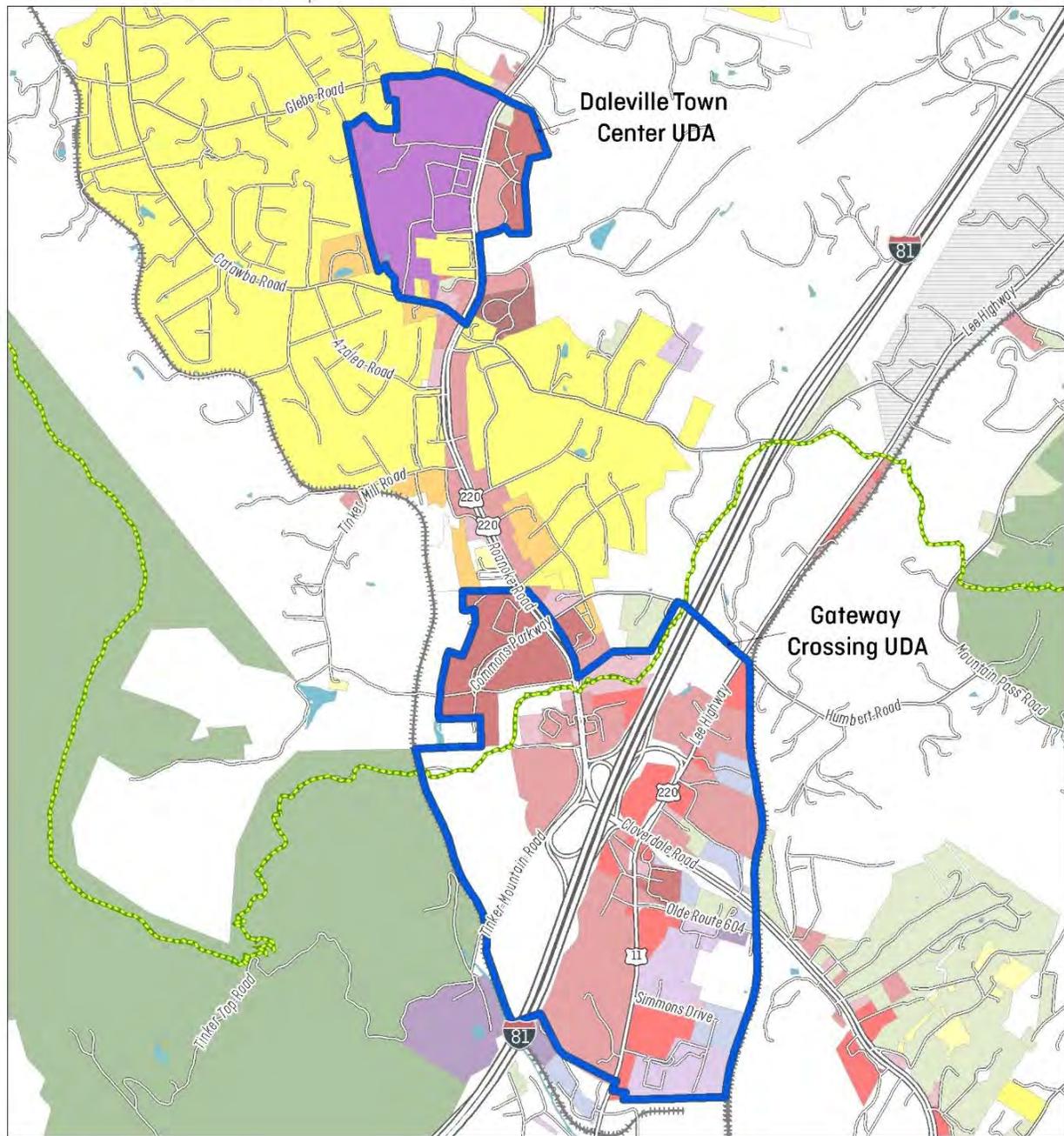
Urban Development Areas are intended to encourage development that makes use of traditional design principles, which are important for the county because they emphasize walkability and a mixture of housing types and commercial uses. Demand for development with these features is growing not just in Virginia, but across the nation. growing nationwide and in Virginia. It is the county's policy to encourage within the UDAs the following traditional town design principles:

- Pedestrian-friendly road design
- Interconnection of new local streets with existing local streets and roads
- Connectivity of road and pedestrian networks
- Preservation of natural areas
- Mixed-use neighborhoods and a mixture of housing types
- Reduction of front and side yard building setbacks
- Reduction of subdivision street widths and turning radii at subdivision street intersections to calm traffic on local streets, as permissible by VDOT standards.
- Public gathering spaces, such as plazas and small parks.

These principles are not new to Botetourt County. The county has a TND zoning designation that has been applied in Daleville Town Center.

The geography for the UDAs is illustrated in the figure below.

**BOTETOURT COUNTY UDA** | UDAS WITH ZONING



**LEGEND**

- |                           |                          |                              |                             |
|---------------------------|--------------------------|------------------------------|-----------------------------|
| UDAs                      | B1 - Business District 1 | RAM - Res & Advanced Man.    | RR/AR - Rural Residential   |
| Appalachian Trail         | B2 - Business District 2 | M1 - Ind District 1 (light)  | R1 - Residential 1          |
| Water                     | B3 - Business District 3 | M2 - Ind District 2 (medium) | R2 - Residential 2          |
| <b>ZONING</b>             | SC - Shopping Center     | M3 - Ind District 3 (heavy)  | R3 - Residential 3          |
| A1 - Agriculture District | FC - Forest Conservation | POP - Planned Office Park    | TND - Trad. Neigh. District |
|                           |                          |                              | Town                        |

Figure 1 - Botetourt County Urban Development Areas

## 2.5 Exit 150 Improvement Project

The Exit 150 interchange, which connects Interstate 81 with U.S. Routes 220 and 11 in southern Botetourt County, is the key feature in the study area. The Commonwealth Transportation Board's statewide transportation plan (VTrans) identifies Interstate 81 and Route 220 as Corridors of Statewide Significance.<sup>4</sup> The purpose of the project is to improve safety and traffic flow at the interchange, which connects these key facilities. According to VDOT, the project entails the following changes to the area<sup>5</sup>:

- Relocating the northbound I-81 entrance ramp (from northbound Route 220 onto northbound I-81) to a new location adjacent to the Exit 150B off-ramp.
- Creating a dedicated Exit 150B off-ramp with NB Route 220 to improve traffic flow at the Route 11/220/220A intersection.
- Modifying Exit 150A to allow right turns onto Route 11 southbound only and eliminating hazardous merge/weaves.
- Constructing a roundabout at the Exit150B/Route 11 intersection to improve traffic flow, enhance safety and increase capacity.
- Building a new road, Gateway Crossing, to connect the new Route 11 roundabout to Route 220 Alternate.
- Modifying business access on Route 11 by installing a raised median and reducing the number of entrances.
- Modifying the entrances onto Route 11 as right-in/right-out only.
- Acquiring the Travel Center America property and a portion of the Painter parcel, which contains the business tenant known as Gene's Trading Post, which necessitates the relocation of this business.

In term of land development, a new road called Gateway Crossing will open access to several acres of developable land north of U.S. 220 and east of U.S. 11. The development potential in this specific area, plus the development interest that may emerge due to improved traffic flow through this area, are in part what created the impetus for this area plan.

## 2.6 Regional Transportation Plans

The Roanoke Valley Transportation Planning Organization (TPO) is responsible for transportation planning within the Roanoke urbanized area, which includes much of southern Botetourt County, including the Gateway Crossing area. This section describes the TPO's plans that could affect transportation in the study area in the future.

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<sup>4</sup> VTrans identifies Route 220 as the North Carolina to West Virginia Corridor and Interstate 81 as the Crescent Corridor.

<sup>5</sup> Virginia Department of Transportation. I-81 Exit 150 Improvement Project. Accessed September 22, 2016.

[http://www.virginiadot.org/projects/salem/i-81\\_exit\\_150\\_improvement\\_project.asp](http://www.virginiadot.org/projects/salem/i-81_exit_150_improvement_project.asp)

*Regional Pedestrian Vision Plan (2015)*

The Regional Pedestrian Vision Plan<sup>6</sup> provides recommendations for hard surface transportation accommodations that are accessible to people with disabilities (compliant with the Americans with Disabilities Act). The Pedestrian Vision Plan recommends a hard surface sidewalk project on the new Gateway Crossing Drive, from the Exit 150 ramp to U.S. 220. This is listed as a high local priority project (shown on map). The plan calls for including trees along the accommodation to provide shading. It also calls for separating vehicle traffic from pedestrian facilities with a planting strip where feasible.

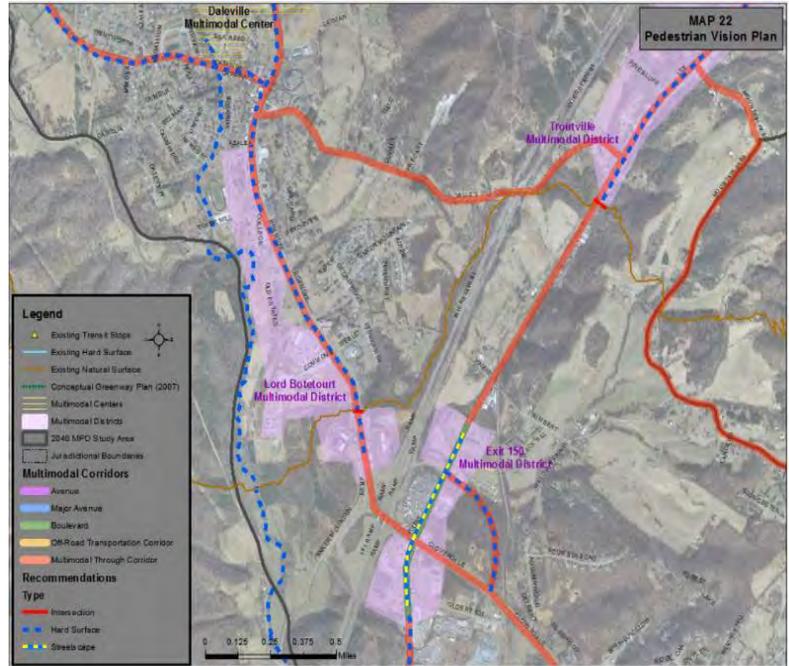


Figure 2 - Regional Pedestrian Vision Plan Map - Botetourt County

Along with the development of the Pedestrian Plan, and as recommended by the Virginia Department of Rail and Public Transportation’s Multimodal System Design Guidelines, the TPO identified multimodal districts, centers, and corridors for the TPO study area. A Multimodal District is defined as an area of a locality or region whose land use characteristics can support multimodal travel, higher densities, and mixed uses; and where it is easier to make trips without reliance upon a car due to the amount of bus routes and safe walking or biking paths currently and in the future. The TPO has identified much of the Gateway Crossing area as a Multimodal District.

*Regional Transit Vision (2016)*

The TPO’s Regional Transit Vision<sup>7</sup> recommends study of a potential park and ride lot near U.S. 220 and Exit 150. This lot could support future access to transit. The Transit Vision Plan also provides policy tools for active transit-supportive transportation (transit trips beginning and ending on foot or bicycle). Among the policy tools called for in the plan that could help implement the Gateway Crossing Area Plan are transit-supportive district and design standards or guidelines. The former could entail the creation of an overlay zoning district that encourages land uses and form supportive of transit, such as higher densities, mixed land use, pedestrian amenities, and access to public transit. Design standards or guidelines could be applied in the area to encourage pedestrian-friendly streets and development near future transit stations or stops.

<sup>6</sup> <http://rvarc.org/transportation/bicycle-pedestrian-greenways/regional-pedestrian-vision-plan/>

<sup>7</sup> <http://rvarc.org/transportation/transit/>

*Roanoke Valley Area Metropolitan Planning Organization Congestion Management Process Plan 2013/14*

Exit 150 is one of ten Areas of Emphasis for congestion listed in the TPO's Congestion Management Process Plan (CMP)<sup>8</sup>. In addition to the highway strategies which are part of the Exit 150 interchange project, the CMP suggests that transit-friendly and walkable mixed-use developments will lessen vehicle miles traveled by enabling more walking and bicycling trips that would otherwise require a vehicle.

A transit strategy for Exit 150 encourages exploring a broader range of transit services (in addition to County van services), to lessen congestion. Specifically, the CMP calls for commuter transit services that would connect to large commercial areas such as Daleville Town Center.

*Transportation Improvement Program for the Roanoke Valley Transportation Planning Organization – Federal Fiscal Years FY2015-2018*

Transportation improvement projects must be in a region's transportation improvement program (TIP) to be eligible for federal funding. The TPO's FY15-18 Transportation Improvement Program highlights the Exit 150 Access Management Project as one of 10 regional projects, citing that the measures to improve the safety and capacity of the existing intersection and northbound interstate movements will directly impact U.S. 11, 220 and 220 Alternate.

### **3. EXISTING CONDITIONS**

Transforming the Gateway Crossing area into a walkable and attractive mixed use neighborhood is a long-term endeavor that will require incremental improvements and patience. This is because much of the area is already developed in an auto-oriented manner with fast-moving traffic, wide streets, few sidewalks or bicycle paths, and separated land uses that necessitate driving and contributes to congestion in the area. This section highlights some of the challenges, but also some opportunities, to transforming this area into an attractive front door to Botetourt County.

#### **3.1 Land Use and Environmental Conditions**

The Gateway Crossing area is a major transportation hub where Interstate 81, U.S. highways, and rail lines converge and cross. Interstate 81 and Route 220 are listed as Corridors of Statewide Significance in the statewide transportation plan, which means they serve an important role not just locally, but in connecting people and businesses across the entire state. The area naturally built up around land uses that rely on the great transportation access including industrial and service uses, such as gas stations and restaurants. Much of the flat land has been developed, and terrain may complicate development on other parcels that have not yet been developed. Figure 3 shows land uses and land cover in the area. This shows that the area has largely been developed except for a few key parcels that will likely play a key role in the future of the area. These include properties along Tinker Mountain Road, the new Gateway Crossing road, and between Route 11 and Interstate 81.

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<sup>8</sup> [http://rvarc.org/wp-content/uploads/2014/01/CMP-Plan\\_Final-Draft.pdf](http://rvarc.org/wp-content/uploads/2014/01/CMP-Plan_Final-Draft.pdf)

**GATEWAY CROSSING AREA PLAN** | LAND COVER FROM USGS SATELLITE IMAGERY (2011)

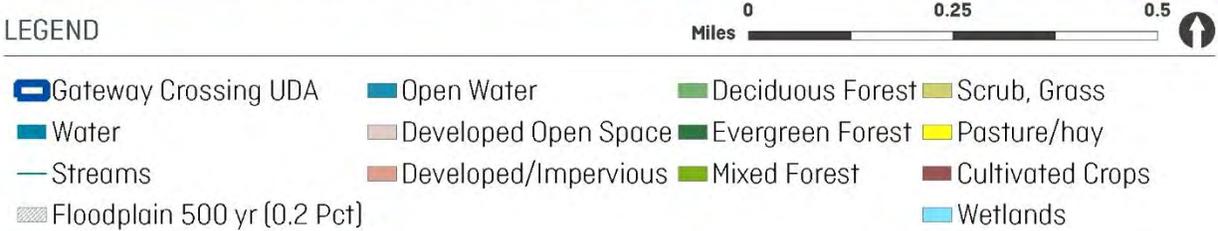
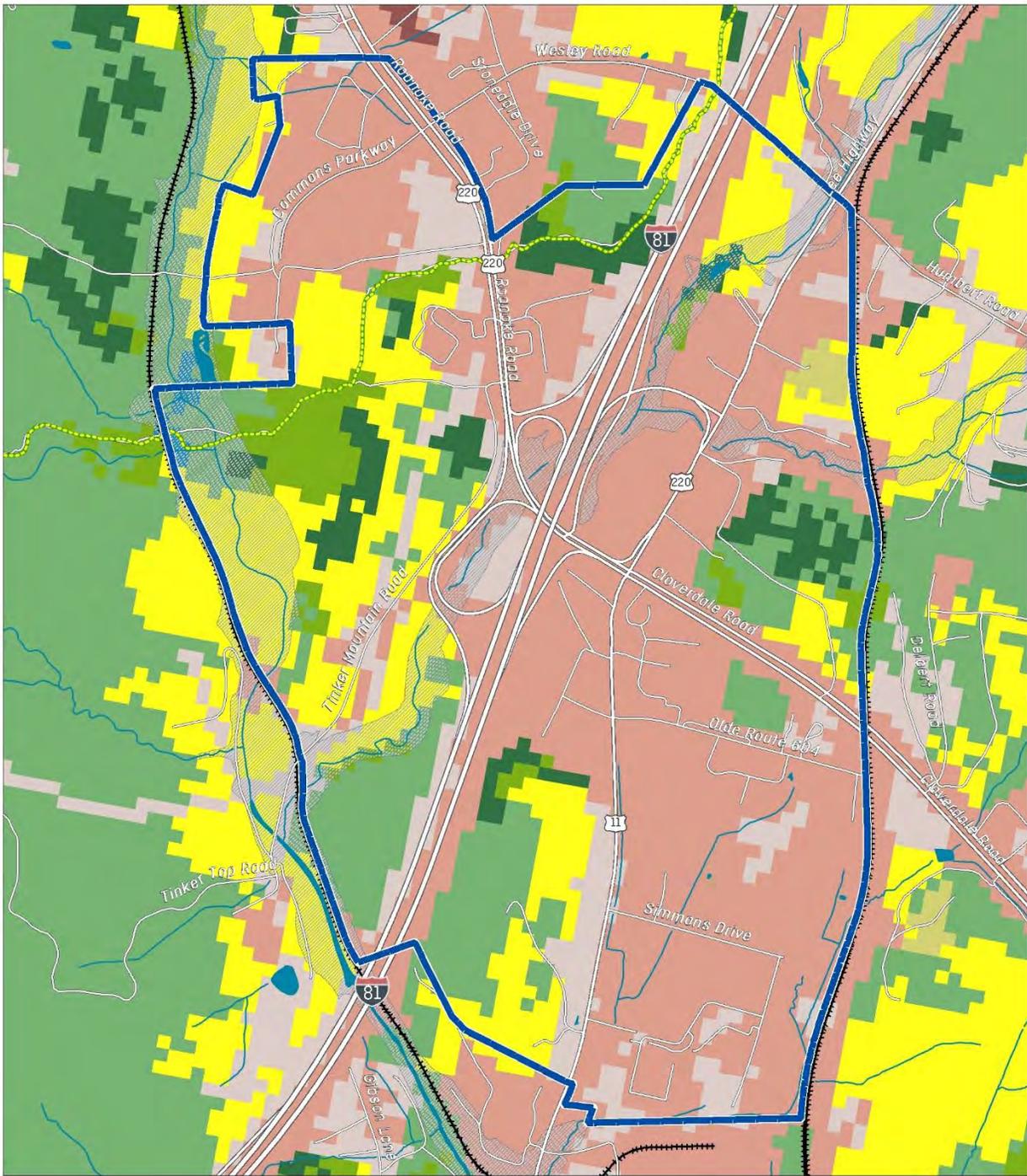


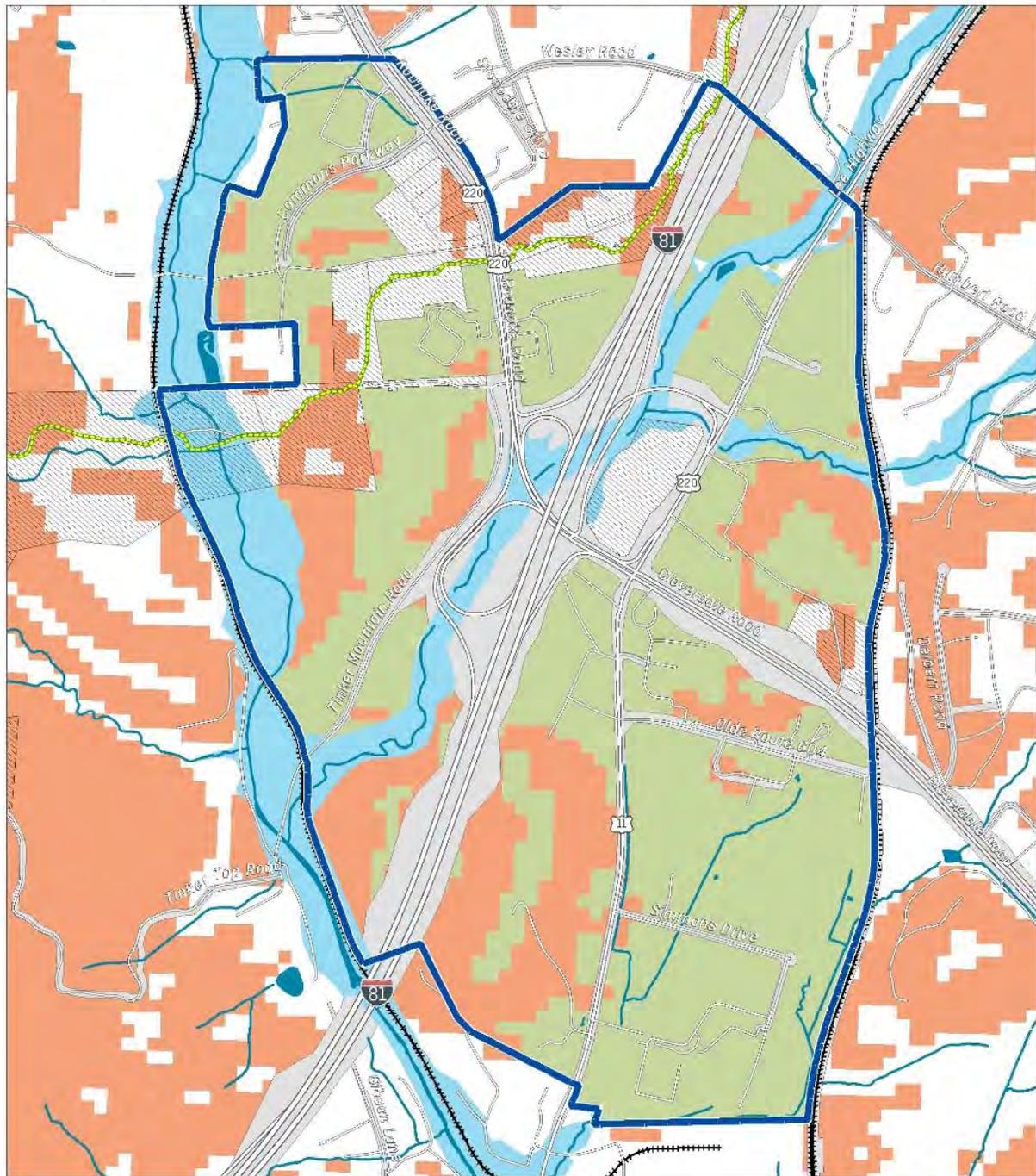
Figure 3 - Land Use, Land Cover - USGS Satellite imagery (2011)

Figure 3 shows some of the key environmental features of the Gateway Crossing area, including slopes of 25 percent or steeper (shown in orange) and floodplains (shown in blue). These areas, plus the Appalachian Trail right of way, are considered “constrained” for development. This does not mean that development cannot or will not happen, but that it will likely be more difficult and could entail a higher cost than development in the unconstrained areas. Constrained acres are either within the 500-year floodplain or have a grade of 25 percent or more. Constrained areas account for 21 percent (155 acres) of the total 741 acres included in the Gateway Crossing area. Meanwhile, unconstrained acres account for 47 percent (345 acres) of the area. Major highways and road right of ways owned and managed by the Commonwealth of Virginia cover 21 percent of the land area (152 acres). The remaining 12 percent (88 acres) are federally-owned lands that buffer the Appalachian Trail. These figures are summarized in Table 2 and illustrated in Figure 4 below.

*Table 2 - Summary of UDA Acres*

<b>Category</b>	<b>Acres</b>	<b>Percent</b>
<b>Unconstrained (green area on following map)</b>	345	47%
<b>Constrained (steep slopes and floodplain)</b>	155	21%
<b>Roads ROW</b>	152	21%
<b>Federally Owned Land/AT</b>	88	12%
<b>Total</b>	741	100%

GATEWAY CROSSING AREA PLAN | ENVIRONMENTAL CONDITIONS



LEGEND

- Gateway Crossing UDA
- Water
- Floodplain 500 yr (0.2 Pct)
- Roads ROW
- Streams
- 345 Unconstrained Acres
- Appalachian Trail
- Steep Slopes > 25%
- State, Federal Owned



Figure 4 - Environmental Conditions

### 3.2 Zoning

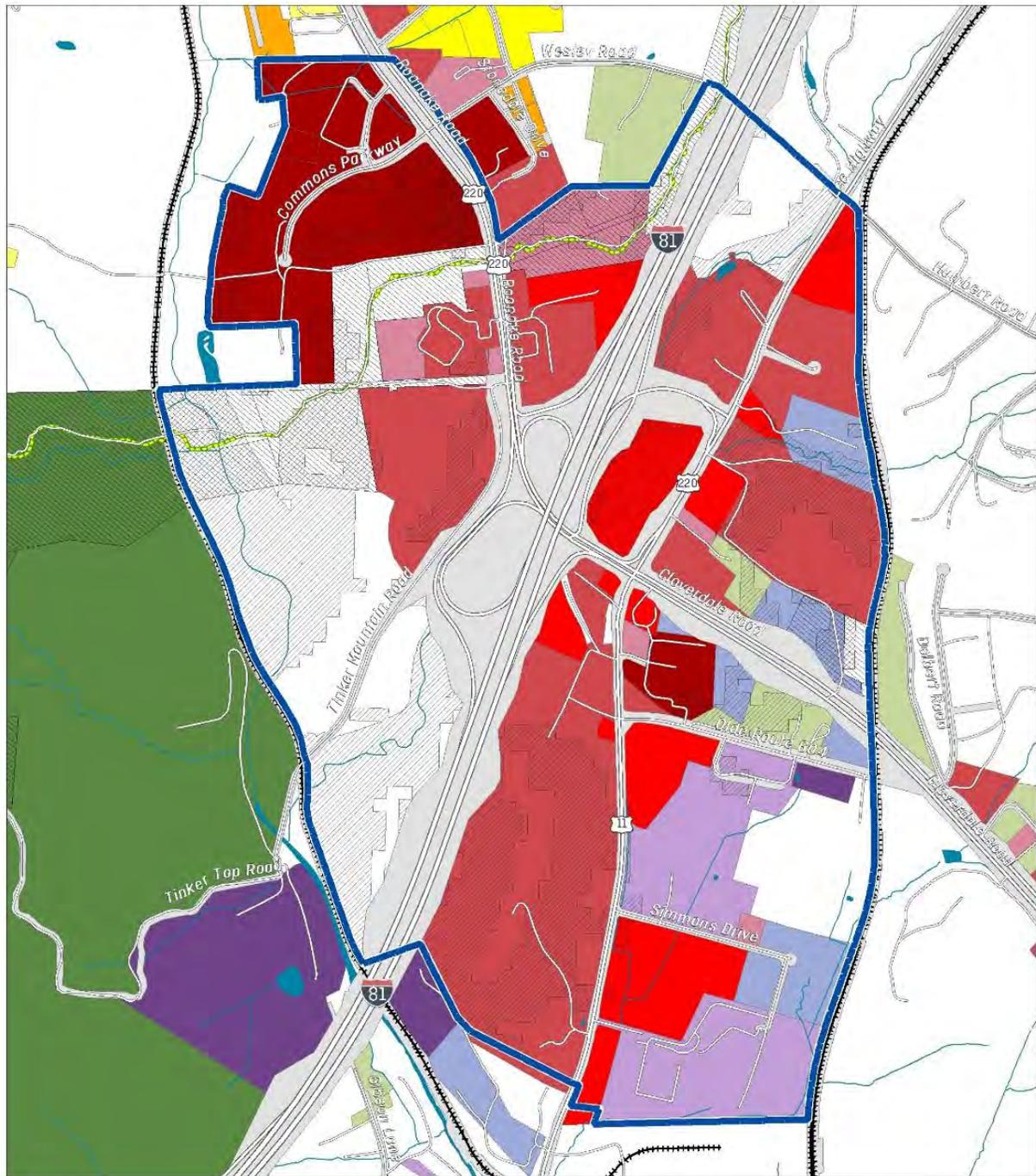
Zoning districts are land use regulations intended to protect and promote the health, safety, and general welfare of current and future county residents by providing specific standards for how parcels of land may be used; lot dimensions, setbacks, and coverage; building size and height; and other related issues. The existing zoning in this area is nearly all for commercial and businesses, and at lower densities which do not currently support some of the more mixed use, town center type of development called for by both the Exit 150 study, and the UDA traditional neighborhood principles. The county’s TND district does represent a model worth consideration in the future, or some variation of it designed with this UDA area specifically in mind.<sup>9</sup>

Table 3 - Zoning Summary

Zoning	Name	Observation	Unconstrained Acres	Constrained Acres	Total Acres
<b>A1</b>	Agricultural District	Many uses allowed, but very rural setback requirements and low density oriented. Single family residential only.	58	61	119
<b>AR (RR)</b>	Rural Residential	Largely the same as A1 but 1.5-acre minimum lot for single family residential and 1.25 in a subdivision	5	4	9
<b>B1</b>	Business District B-1	Local, smaller, lighter traffic, and neighborhood compatible commercial development.	7	0	7
<b>B2</b>	Business District B-2	Community and service oriented commercial development, generates more traffic.	110	69	179
<b>B3</b>	Business District B-3	Heavy commercial, more intensive, higher access and traffic, occasionally trucking and noise and 24-hours.	46	3	49
<b>M1</b>	Industrial M-1	Light industrial uses that do not pose serious problems of compatibility. Requires water and sewer.	20	5	25
<b>M2</b>	Industrial M-2	Medium industrial is for uses that need isolation to mitigate impacts of noise, odor, dust, or smoke. Need road access and careful planning.	52	2	54
<b>M3</b>	Industrial M-3	Heavy industrial. For uses more impactful than M2. Should be close to other similar uses, have high road access, and carefully planned to avoid nuisance to residential and retail commercial development.	2	-	2
<b>SC</b>	Shopping Center District	Shopping center focused. A version of B1 or B2, but that provides a broader range of facilities and services appropriate to the general need of the area.	45	11	56
<b>Totals</b>			345	155	500

<sup>9</sup> The zoning table and map show approximate acres per zoning category within the Gateway Crossing study area. The acres were calculated using GIS, by extracting the zoning coverage based on the study area boundary, removing road right of way and federally owned lands from the calculation, and then overlaying with environmentally constrained layers described in section 3.2 above.

**GATEWAY CROSSING AREA PLAN** | ZONING (EXISTING LAND USE)



**LEGEND**

- |                             |                           |                                     |
|-----------------------------|---------------------------|-------------------------------------|
| Gateway Crossing UDA ZONING | FC - Forest Conservation  | RR/AR - Rural Residential           |
| State, Federal Owned        | A1 - Agriculture District | RAM - Res & Advanced Man.           |
| Roads ROW                   | B1 - Business District 1  | M1 - Industrial District 1 (light)  |
| Water                       | B2 - Business District 2  | M2 - Industrial District 2 (medium) |
| Streams                     | B3 - Business District 3  | M3 - Industrial District 3 (heavy)  |
| Env. Constrained            | SC - Shopping Center      | TND - Traditional Neigh. District   |
|                             | POP - Planned Office Park | Town                                |
|                             |                           | R1 - Residential 1                  |
|                             |                           | R2 - Residential 2                  |
|                             |                           | R3 - Residential 3                  |



Figure 5 - Zoning in the Gateway Crossing UDA

### 3.3 Land Occupancy and Investment

The general state of land occupancy, or how developed an area is, can be examined through looking at the level of investment into the improvements of a property. Property assessors typically evaluate the value of the land, and the value of any physical improvements that are located on the land (such as a building). The ratio of the improvement’s value to the underlying land value is an important measure that economists, realtors, and planners use to understand the level of development in an area, and the potential for redevelopment. Areas where the improvement-to-land value ratio is low may indicate an area that is prepared for redevelopment. However, the improvement-to-land value ratio is more a measure of capacity than an indicator of market demand for redevelopment.

The Exit 150 study conducted an examination of the investment level of the study area. That examination was revisited for the Gateway Crossing Area Plan using a similar assessment approach. However, it takes into account the revised study area boundary, which adds more acreage to the western quadrant, and factors in lands that have environmental constraints, which may serve to slow or deter future investment. Tables 4 and 5, and the map in Figure 6, below show the findings of the investment level analysis.

The building-to-land value for each parcel was assessed and grouped into three categories:

- “Minimal” investment: The ratio is less than 0.1. This indicates undeveloped or vacant land.
- “Some” investment: The ratio is greater than 0.1 but less than 1.0.
- “Substantial” investment: The ratio is greater than 1.0, which means the improvements are worth more than the underlying land.

Table 4 below summarizes land and improvement values for the 138 parcels in the study area, grouping them by these three categories. The building-to-land value of the “substantial” investment properties is 2.57 overall, indicating a generally high level of development. Generally, a ratio of two-to-one is industry standard for classifying a property as fully developed and less likely to redevelop soon.

The “Some” and “Minimal” investment categories represent properties that have capacity to add investment in the future, as these are currently either undeveloped or underdeveloped. The existing land values of these properties combined is \$36 million. Probably not all properties will develop to full capacity. Some may have access challenges, or environmental constraints, per Table 5 below. But in summary, it is reasonable to expect there will be future investment in this area. Future investments levels could be in a wide range, depending on many variables. Attaining a 1.0 building-to-land value level for these properties could yield another \$30 to 40 million in property value for the county. At a ratio of 2.0 new development on these properties could yield as high as \$70 million of new property value.

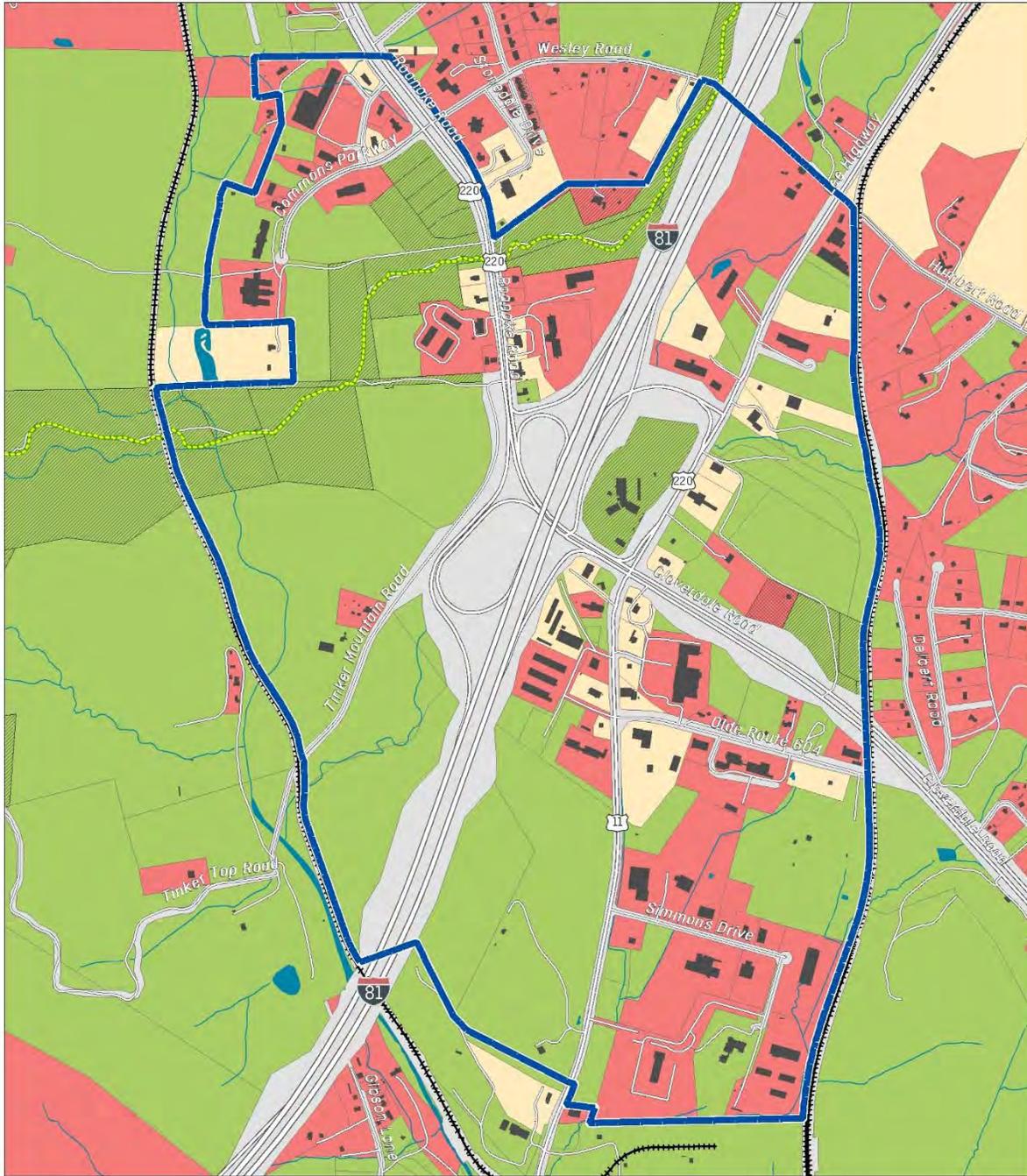
*Table 4 - Investment Levels with Land, Improvement and Total Value*

<b>Investment Level Group by Building-to-Land Value Ratio</b>	<b>Land Value</b>	<b>Improvement Value</b>	<b>Total Value</b>	<b>Building to Land Value Ratio</b>
<b>Minimal (Less than 0.1)</b>	\$20,734,200	\$50,500	\$20,784,700	0.00
<b>Some (.11 to 1.0)</b>	\$15,642,700	\$10,236,200	\$25,878,900	0.65
<b>Substantial (1.0+)</b>	\$29,221,400	\$75,117,700	\$104,339,100	2.57
<b>Total</b>	<b>\$65,598,300</b>	<b>\$85,404,400</b>	<b>\$151,002,700</b>	<b>1.30</b>

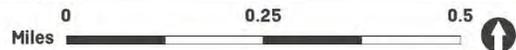
*Table 5 - Investment Levels by Acres*

<b>Investment Level Group by Building-to-Land Value Ratio</b>	<b>Unconstrained Acres</b>	<b>% of Total</b>	<b>Constrained Acres</b>	<b>% of Total</b>	<b>Total</b>	<b>% of total</b>
<b>Minimal (Less than 0.1)</b>	165	48%	129	83%	294	59%
<b>Some (.11 to 1.0)</b>	39	11%	4	2%	43	8%
<b>Substantial (1.0+)</b>	142	41%	23	15%	164	33%
<b>Total</b>	<b>345</b>	<b>100%</b>	<b>155</b>	<b>100%</b>	<b>501</b>	<b>100%</b>

GATEWAY CROSSING AREA PLAN | BUILDING TO LAND VALUE RATIO



LEGEND



- Gateway Crossing UDA
- County Owned
- State, Federal Owned
- Appalachian Trail
- Water
- Streams
- Buildings
- Roads ROW Building to Land Value Ratio
- 0.00 - 0.1 (minimal investment)
- 0.11 - 1.00 (some investment)
- 1.01 + (substantial investment)

Figure 6 - Building to Land Value Assessment: Investment Level

### 3.4 Summary

The key issues and opportunities that can be determined from the existing conditions analysis can be summarized as follows:

- Land use in the Gateway Crossing area is complicated by the convergence of multiple transportation networks, and further challenged by steep topography and rivers/floodplains.
- The Appalachian Trail related lands represent about 12% (88 acres, see table 2) of lands that are federally owned and protected, and are removed from development consideration in this analysis.
- The prominent presence of the Appalachian Trail in this area is a considerable asset that can leverage quality development adjacent or nearby.
- Steep slopes and floodplains are the most dominant environmental features that will represent some challenges in realizing the full potential development of the land.
- Even with the presence of access and topography challenges, about 47 percent (or 345 acres) of the area is unconstrained by environmental features or right-of-way (see table 2).
- Current zoning is largely business, commercial, and auto-centric and lower density. It does not take full advantage of the mixed use TND district that the county has successfully implemented at Daleville Town Center. This area plan represents an opportunity to recommend mixed use, multi-modal, and higher density development patterns that will make the most use of the unconstrained or underdeveloped lands in this area.
- Only 33 percent of the area is developed at levels of 1.0 improvement-to-land value or greater. This leaves 67 percent, or 337 acres (see table 5), that are either under or undeveloped, representing a considerable capacity to accommodate new growth and investment despite some topography challenges and if access to un-constrained land can be provided.

## 4. GATEWAY CROSSING VISION AND PLAN

### 4.1 Overall Concept

The Exit 150 study, completed in October 2015, provides an overarching vision for Gateway Crossing as a walkable, mixed use district that is an economic hub and an attractive gateway for the county. The land use, development, and infrastructure policies described in this chapter support the implementation of that vision.

The Exit 150 study created a vision which divided the study area into 4 distinct quadrants, separated by Interstate 81 and Route 220. The study also went into detail for each quadrant for Gateway Crossing, laying out concepts for general land use, transportation, and design features for each of four quadrants. The north area covers land north of Tinker Mountain Road on either side of Route 220. Commons Parkway is key transportation route in this quadrant. The vision for this area called for a modern Appalachian Trail trailhead with parking; a park and ride lot, retail, office, and hotel



Figure 7 – Vision for Gateway Crossing North Quadrant.

Source: Exit 150 Study (2015)



Figure 8 - Vision for Gateway Crossing West Quadrant.

Source: Exit 150 Study (2015)

development along 220; a shared use path on 220 from Gateway Crossing towards Daleville Town Center; and sidewalks knitting the area together.

The west area includes large undeveloped tracts between the Appalachian Trail and Interstate 81. Tinker Mountain Road is currently the only significant transportation facility in this quadrant. The lands in this area have beautiful views of the Blue Ridge Mountains to the north and west. The vision for the west area includes a walkable mixed use residential community consisting mostly of apartments and townhomes. However, implementation of this vision depends on access to large undeveloped properties off Tinker Mountain Road. The access concept presented in the Exit 150 study – via a new signal at Tinker Mountain Road and 220 – is probably not feasible due to cost and its proximity to the Interstate 81 ramps. This area plan includes another concept that would open access from the north via an



Figure 9 Vision for Gateway Crossing East Quadrant  
Source: Exit 150 Study (2015)

The south area encompasses the land along Route 11 south of Route 220. Land use changes are not envisioned for the industrial development east of 220, but substantial infill development and long-term redevelopment is called for both in the areas adjacent to the Route 11 and 220 intersection, and between Route 11 and Interstate 81. The large undeveloped property between Route 11 and Interstate 81 at the southern edge of Gateway Crossing is envisioned as a hospital, corporate headquarters, or a destination retail outlet center. While this property has substantial slopes that would need to be addressed, it has good access to both the interstate highway and the large populations centers south of Gateway Crossing. The vision also includes some new street connections in the area, including an extension of the new Gateway Crossing road south across Route 220 to link up with Old Route 604. It also shows a new access road off Simmons Drive in the industrial area of Gateway Crossing.

The Exit 150 study describes the overarching vision and the vision for each quadrant in more detail. But this section sets the context for the future land use

extension of Commons Parkway. The vision also includes a network of sidewalks and shared use paths running along the waterways of this area.

The east area is most affected by the VDOT project to improve traffic safety and flow around Exit 150. The project will create a new road – Gateway Crossing – that will open access to undeveloped parcels north of Route 220. The Exit 150 study called for additional landscaping, signage and wayfinding, and lighting in this area to create an improved front door experience for Botetourt County. The vision showed a potential park and ride lot and public park at the location of the old TA truck stop property. Other components of the vision include the desire for hotels, restaurants, and services both through infill development and longer-term redevelopment.



Figure 10 - Vision for Gateway Crossing South Quadrant  
Source: Exit 150 Study (2015)

and connectivity policies described in the remainder of this chapter. The overall vision is also provided in the figure below.



Figure 11 - Vision for Gateway Crossing  
Source: Exit 150 Study (2015)

## 4.2 Future Land Use & Connectivity Plan

The purpose of the future land use and circulation plan provided in this section is to illustrate the county's policies for land use and transportation in the Gateway Crossing area. It illustrates the principles of mixed land uses and walkable, interconnected streets. The new policy direction, upon adoption by the Board of Supervisors, will supersede the county's previous policy for the area. The future land use policy described in this section will then become the foundation for decision-making regarding land use proposals in the area. The future land use plan will guide any decisions on changing the zoning for Gateway Crossing, and will be used by the county staff, the planning commission, and board of supervisors to evaluate petitions for a rezoning of any property in the study area. This makes it a very important tool to implement the county's vision for the future of Gateway Crossing.

### *Future Land Use Plan*

The plan shows three new categories of future land use for the area, from the least intense to most intense levels of development. These categories are described in more detail in section 4.3 – Policies by Land Use Category. They are:

- Mixed Use Residential
- Mixed Use Neighborhood Commercial
- Mixed Use Highway Commercial

Each category calls for a mix of uses. However, the types of uses and the ratio between residential and commercial varies by district. The mixed use residential district applies to the western quadrant of Gateway Crossing. The Exit 150 study envisioned a walkable mixed use community of largely townhomes and apartments in this area. Some commercial uses supporting the neighborhood, and civic uses, such as a park oriented towards the Appalachian Trail, would be appropriate in this area.

The mixed use neighborhood commercial district applies to the northern quadrant. This area has many developable acres with access from Commons Parkway. There is also near-term redevelopment potential along the east side of 220, just north of the Interstate 81 interchange. Appropriate uses in this area may include locally-serving retail, offices, and services. Higher density housing or assisted living facilities would also be appropriate in this area.

The mixed use highway commercial district applies to the east and south quadrants of Gateway Crossing. These are the lands east of Interstate 81 on which highway-oriented and regionally-serving commercial and civic uses, hotels, and potentially high density housing are envisioned. No significant changes are envisioned in the industrial areas east of Route 11, except for some new street and trail connections that are described in Figure 12, and in the following section. Design principles for future development in the mixed use districts are described in section 4.3. That section also includes photographs that illustrate the desired forms of development.

### *Connectivity Plan*

The connectivity plan, which is also illustrated in Figure 12, shows the potential location of new streets, which would serve future development, enhancements to existing streets to make them more friendly towards pedestrians and bicyclists, and extensions of existing streets that improve connectivity in the area. The actual location of future streets will depend on the location of development, a more thorough

analysis of the site conditions, and negotiations with property owners. But the broad concepts shown in Figure 12 reflect the county's policy for Gateway Crossing.

The connectivity plan shows a connected street grid in each of Gateway Crossing's four quadrants. Building streets in a grid pattern gives vehicles, pedestrians, and bicyclists multiple paths. It also supports walkability by creating shorter blocks and paths between origins and destinations. The plan also shows new connections that would open access to parcels for future development, new connections that would help traffic flow smoothly through the area, and new shared use paths that provide safe routes for people of all ages to walk, run, and bike in the area and between the quadrants of Gateway Crossing.

One key new street connection would extend Commons Parkway south from its present cul de sac terminus and linking it to Tinker Mountain Road. A new signalized intersection proposed in the Exit 150 study at 220, Tinker Mountain Road, and the Interstate 81 south off ramp is likely not feasible due to VDOT's access management policies and the difficulty adding a left turn lane from 220 North onto Tinker Mountain Road. This signal was proposed as a strategy for providing access to the west quadrant of Gateway Crossing. An alternative is to extend Commons Parkway south, crossing the Appalachian Trail right of way, and then following the original Appalachian Trail right of way just south of the Howard Johnson hotel and Exxon gas station, before connecting to 220 near its existing intersection with Tinker Mountain Road. This proposal would make Commons Parkway a semi-circle with two connections to 220. This new southern intersection of Commons Parkway and 220 would allow right in and right out turns only. A network of neighborhood streets and shared use paths could be built from the new Commons Parkway to the south, opening access to several acres of real estate that would become a mixed use residential community.

This plan for Commons Parkway would require coordination with the Appalachian Trail Conservancy and National Park Service to relinquish their ownership of what is the original trail right of way, and currently a spur trail to a parking lot off Tinker Mountain Road.

The plan shows a second option for providing access to the mixed use residential district. This option is a new signal on Route 220 at the existing crossover that provides access to the Howard Johnson Inn driveway. The signal would provide access from 220 to a new street that could run between the Howard Johnson Inn property and the Appalachian Trail right of way and connect into the proposed street network for the mixed use residential district. The signal would have an additional benefit of providing access to parcels on the east side of 220 between the highway and Interstate 81. A new signal at this location would also provide for a safer crossing of 220 for pedestrians and Appalachian Trail hikers.

Another key new connection shown in the plan is the extension of the new Gateway Crossing road across 220 and connecting with Old Route 604. Gateway Crossing could potentially be extended further south connecting to Simmons Drive. This would provide an alternate route for trucks to access 220 and Interstate 81, which could alleviate traffic on Route 11 and improve conditions for all users in the future.

Four new signalized intersections are shown in the plan. Two are along Route 11 south of 220. These would be located at Old Route 604 and Simmons Drive. Both signals would support additional development in the southern quadrant of Gateway Crossing. They would also provide safe crossing points for pedestrians and bicyclists. A third signal would be along the new Gateway Crossing road. It would provide access to new development between the Gateway Crossing Road and 220. It could also allow a street to run north near the railroad tracks, connecting to Route 11 north of the new traffic circle. Like the connection between the new Gateway Crossing Road and Old Route 604, this new street would

provide an alternate route to using the traffic circle to access Route 11 north, helping traffic flow more smoothly through the area. The fourth new signal is the previously described intersection of 220 with the Howard Johnson Inn driveway. The benefit of this signal is access to parcels that are poised to development and pedestrian safety, especially for the 7,000 to 10,000 people that hike through this area on the Appalachian Trail each year.

Route 11 is another key corridor in Gateway Crossing that is addressed in the plan. The highway carries a lot of truck traffic and has four lanes through the study area. However, it is a key connector between the east and south quadrants of the district. As the area develops more densely over time, it will be important to provide safe pedestrian facilities and crossings of Route 11. The plan calls for streetscape improvements and sidewalks on both sides of the highway south of Route 220, and on the east side north of 220 up to the future traffic circle. The improvements would continue on both sides of 220 north of the traffic circle. The streetscape improvements could consist of a landscaped buffer between the travel lane and sidewalk, street trees for shade, and a wide shoulder or bicycle lane for bicyclists.

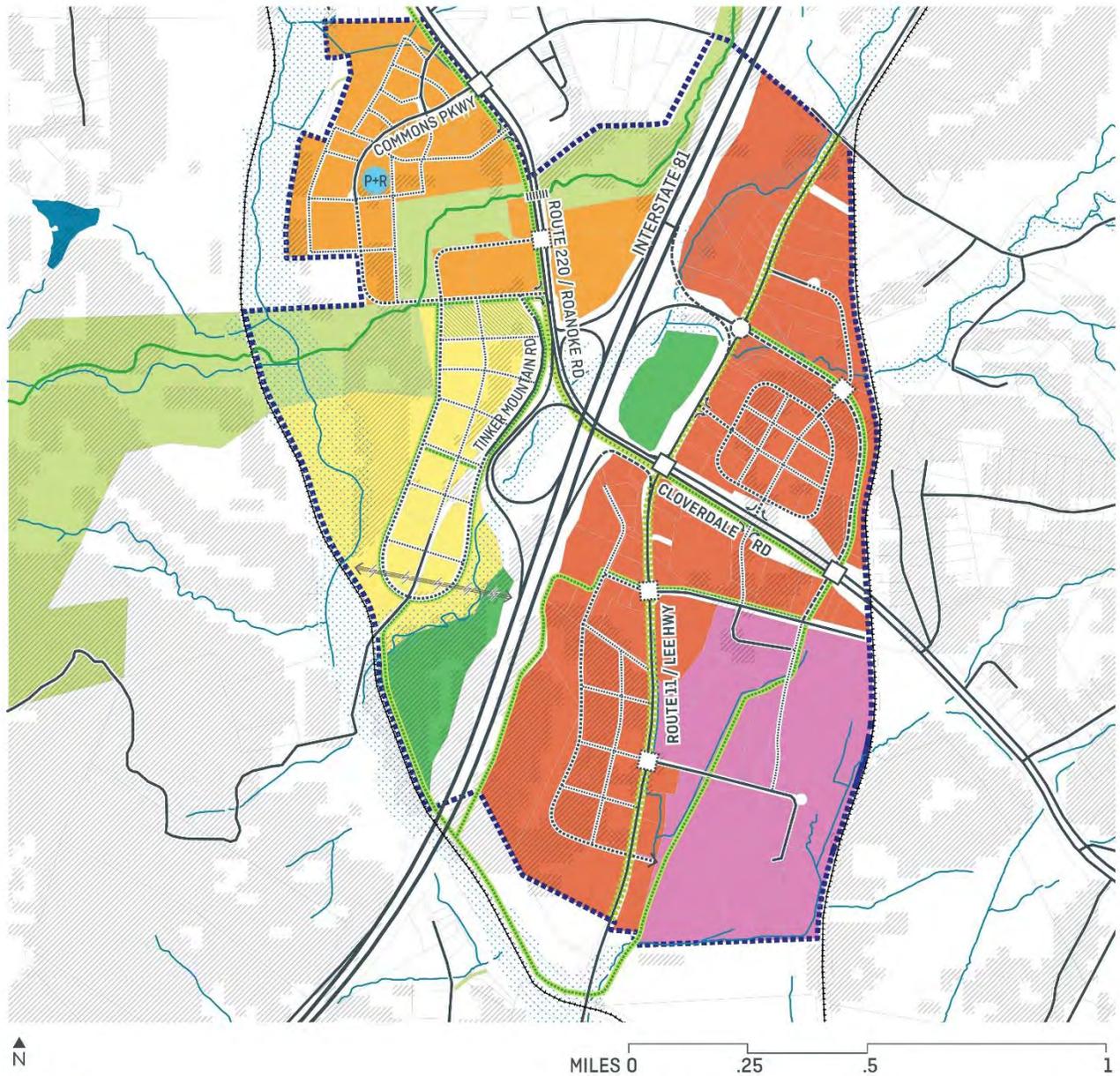
Also critical to the future development of the Gateway Crossing district is a network of shared use paths that would provide a safe place for people to walk, run, and bike. These paths would also connect new development in Gateway Crossing to Daleville Town Center and to the greenway system at the Botetourt Center at Greenfield industrial park via a new shared use path along the west side of Route 220. Adding a path along Route 220 under Interstate 81 remains an unresolved challenge. Until a solution is found, this causes a gap between the west and east sides of the Gateway Crossing District for pedestrians and bicyclists.

One potential solution for closing this gap, which is illustrated in the connectivity plan, is to run a path along Tinker Creek under Interstate 81. This path would connect the west and east sides of the district, and could eventually connect into the system being planned by the Roanoke Valley Greenway Commission, making it possible to walk, run, or ride to Roanoke. The plan also calls for a system of paths on the east side of the district, which would funnel people from major roads and new development areas along the new Gateway Crossing Road and Route 11 to the proposed path along Tinker Creek. The potential for a path along the creek would require further study, but is an attractive option due to the level terrain often found near creek beds, and the existing bridge that takes Interstate 81 over the creek.

The Appalachian Trail is another key transportation and recreation feature in this area. Up to 10,000 people per year hike along the Appalachian Trail in the study area. The existing trail head is poorly marked, and parking can be difficult to find for hikers. The plan illustrates a potential new public park oriented around a trailhead to the Appalachian Trail. The plan shows this park, trailhead, and parking area on the north end of the mixed use residential district, along the proposed extension of Commons Parkway. Another challenge for hikers is crossing Route 220. The trail presently crosses 220 between Commons Parkway and Interstate 81. The plan calls for a safer crossing, which could be achieved through a new signalized intersection, a pedestrian-activated signal, a pedestrian safety island in the 220 median, or a bridge over the highway. The county, National Park Service, Appalachian Trail Conservancy, and the Virginia Department of Transportation should work together to identify the preferred safety improvement.

While Gateway Crossing is not presently served by transit, the plan does call for a park and ride lot somewhere near Commons Parkway and 220. The exact location of this park and ride lot will be determined in the future by VDOT and the county. But the potential Commons Parkway extension could

create a logical turn around point for a regional transit bus running between the county and Roanoke. The lot could also serve carpoolers heading into Roanoke.



**LEGEND**

<ul style="list-style-type: none"> <li>Proposed Gateway Crossing Urban Development Area</li> <li>Parcels</li> <li>Approx. location of Overhead Power Lines</li> <li>Potential Park &amp; Ride Lot</li> </ul>	<p><b>NATURAL FEATURES</b></p> <ul style="list-style-type: none"> <li>Water</li> <li>Floodplain</li> <li>Steep Slopes (&gt;25%)</li> </ul>	<p><b>PROPOSED FUTURE LAND USE</b></p> <ul style="list-style-type: none"> <li>Mixed Use Residential</li> <li>Mixed Use Neighborhood Commercial</li> <li>Mixed Use Highway Commercial</li> <li>Industrial / Flex</li> <li>National Forest / Appalachian Trail R.O.W.</li> <li>Open / Park Space</li> <li>Civic Overlay [Potential Community Park w Trailhead, focused on A.T.]</li> </ul>	<p><b>ROADWAYS/TRAILS</b></p> <ul style="list-style-type: none"> <li>Existing Roadway</li> <li>Existing Roadway w/ Proposed Streetscape Improvements &amp; Sidewalks</li> <li>Roadway Under Construction</li> <li>Potential Collector Street</li> <li>Potential Local Street</li> <li>Existing Appalachian Trail</li> <li>Potential Shared Use Paths</li> <li>Potential Long-Term Path Connection</li> </ul>	<p><b>INTERSECTIONS</b></p> <ul style="list-style-type: none"> <li>Existing Signalized Intersection</li> <li>Potential Signalized Intersection</li> <li>Future Roundabout</li> <li>Potential Right-In, Right-Out</li> <li>Potential Improved A.T. Crossing</li> </ul>
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Figure 12 - Gateway Crossing Future Land Use Map and Connectivity Plan

### 4.3 Policies by Land Use Category

#### *Mixed Use Residential*

The mixed use residential district implements the vision of the Exit 150 Study of a mixed use residential community consisting mainly of townhomes and apartments in the west quadrant of Gateway Crossing, surrounding Tinker Mountain Road.

Future development in this district should include a combination of mixed density residential uses, including apartments, townhomes, and single-family homes that incorporate a walkable community design and limited office and retail that serves the neighborhood. This district could also include elderly or age-specific residential communities. However, the majority of developed space in this district should be residential. Pedestrian accommodations should be provided throughout, with sidewalks, connected residential blocks, and trail connections to open space.

The civic overlay district is located at the northern end of the mixed-use residential district and should provide amenities for hikers, open park space, and parking facilities. The design should provide access to the Appalachian Trail from Route 220 and access to the local system of shared use paths. Surface parking should well screened from the park and surrounding residential development by trees and greenery. Park space should serve both hikers and residents.

The table below describes preferred design principles for future development in this district. These principles reflect elements of traditional neighborhood design, which is appropriate in urban development areas such as Gateway Crossing. These principles may inform future updates to the county’s development code for the area. They are also illustrated through the example photographs that follow the table.

*Table 6 - Mixed Use Residential District Design Principles*

<b>Design Principles</b>	<b>Mixed Use Residential</b>
General Character	The mixed use residential district should provide a diverse mix of housing types and may also include complementary neighborhood-scale commercial uses to meet the community’s needs. Future housing, shops, and civic spaces should be well connected by streets designed to accommodate all users. Views of the nearby mountain ridges and access to the Appalachian Trail are important distinguishing features of the neighborhood.
Appropriate Land Uses	The mixed use residential district should be at least 75 percent residential (by developed area) and incorporate a range of residential types. Up to 25 percent of the developed area may be other compatible uses, such as retail, home offices, or civic uses.
General Scale & Intensity	The mixed use residential district should include residential densities of generally 4 dwelling units per acre for single family homes, 6 dwelling units per acre for townhomes, and 12 dwelling units per acre for apartments. These densities are consistent with state code provisions for Urban Development Areas (UDAs). Floor area ratios (FAR) for retail and office spaces should be generally 0.4, which is also consistent with the state code for UDAs.
Built Form	Future development in the mixed use residential district should incorporate features such as rear-alley access to parking behind

Design Principles	Mixed Use Residential
	homes, front porches and limited front setbacks for residential development to foster social interaction, common green spaces shared by residents, neighborhood-scale retail with parking relegated to the rear of the building, and a variety of housing types and styles to accommodate residents at all stages of life.
Transportation & Connectivity	Pedestrian accommodations should be provided throughout the district, with uninterrupted sidewalks on both sides of new streets (except where a shared use path is provided); short, connected residential blocks with a perimeter of 2,000 feet for less; and shared use path connections to open space and regional destinations. New streets should form a network that provides multiple pathways through the area and to the larger Gateway Crossing district and region.
Appropriate Public Facilities	Facilities serving the local community are appropriate in this district, such as an elementary school, public library, community center, or small pocket parks.



Single family housing with rear-alley access to parking behind houses.



Single family housing with front porches designed to foster social interaction



Local trail system



Common lawn / park space to be shared by neighborhood



Neighborhood-scaled retail space to serve local residents



Townhome development with front stoops, including street trees and grassed buffer zone between street and sidewalks.



Townhomes / potential elderly residential community fronting common lawn / park space



Single family housing with front porches and views toward the Blue Ridge mountains

Figure 13 - Example Photographs, Mixed Use Residential District

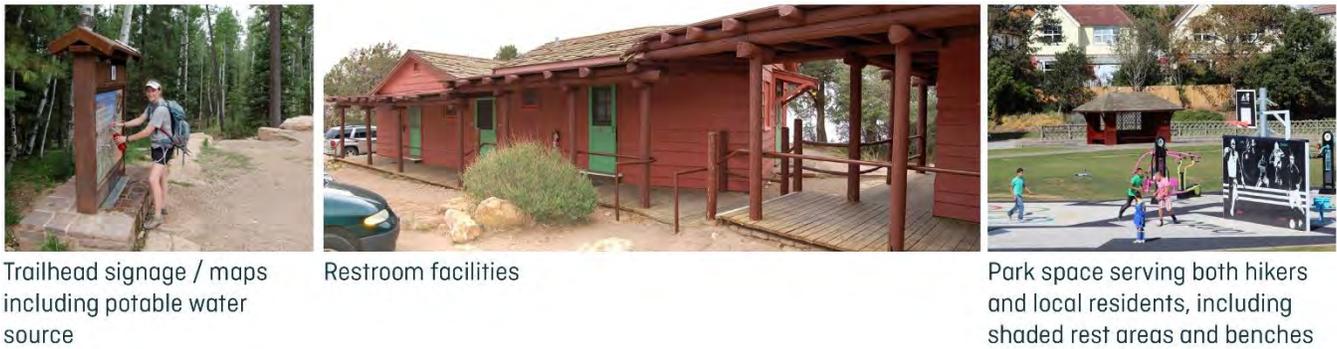


Figure 14 - Example Photographs, Civic Overlay District

**Mixed Use Neighborhood Commercial**

The mixed use neighborhood commercial designation applies to the north quadrant, which is west of Exit 150 and north of the mixed use residential area. It straddles the Appalachian Trail right of way and Route 220. This area should include commercial development oriented towards meeting the needs of the local community. It may include a mix of small-scale retail shops, offices (medical as well as professional services), civic spaces, pocket parks, and other uses to meet local needs. Residential development including apartments, townhomes, and live-work units may also be mixed in to complement the residential mixed use to the south. However, the majority of the developed space by square footage should be commercial. Pedestrian accommodations should be provided throughout, with sidewalks, connected blocks, and shared use path connections to open space.

The table below describes preferred design principles for future development in this district. These principles reflect elements of traditional neighborhood design, which is appropriate in urban development areas such as Gateway Crossing. These principles may inform future updates to the county’s development code for the area. They are also illustrated through the example photographs that follow the table.

Table 7 - Mixed Use Neighborhood Commercial District Design Principles

Design Principles	Mixed Use Neighborhood Commercial
General Character	The mixed use neighborhood commercial district is a local employment and services activity center, with uses that should be oriented towards meeting the needs of neighborhood and county residents. Land uses in this district should be well connected by streets designed to accommodate all users. Views of the nearby mountain ridges and access to the Appalachian Trail are important distinguishing features of the area.
Appropriate Land Uses	The mixed use neighborhood commercial district should have a range of commercial uses, which may include retail shops, offices for medical and professional services, civic spaces, and small pocket parks or neighborhood parks. 50 percent or more of the developed area in the district should be used for commercial purposes. Associated residential development should include higher density housing types, such as apartments or townhomes. Live-work units are also appropriate.

Design Principles	Mixed Use Neighborhood Commercial
General Scale & Intensity	Future development in this district should have a walkable and compact character with a mix of densities and intensity of uses. Residential densities should range from 6 to 15 dwelling units per acre and floor area ratios for commercial space should be generally 0.4. These densities are consistent with the state codes for urban development areas (UDAs).
Built Form	Built form in the mixed use neighborhood commercial district should include medium height mixed use buildings (up to 4 stories) with narrow building setbacks from the street right of way, buildings fronting the street, and parking relegated to the rear or sides of the buildings. Taller buildings should be in the center of the district, and may include a vertical mix of uses with first floor retail or office and office or residential on upper floors. Transitioning away from the center, buildings should be 1 or 2 stories and designed for compatibility with adjacent communities and open spaces.
Transportation & Connectivity	The mixed use neighborhood district should be pedestrian and bicycle-friendly with small block perimeters (2,000 feet or less), low speed streets, uninterrupted sidewalks on both sides of all streets (except where a shared use path is provided), shared use paths that connect to the regional trail network, and collector streets capable of accommodating bus transit in the future. The district should have good access to an arterial street with excellent access and connections to the surrounding area. Shared-access driveways should be used to limit new access points and maintain traffic flow on major streets and arterial highways.
Appropriate Public Facilities	Facilities serving the neighborhood and broader county are appropriate in this district including a public safety facility (police/fire), public library, village park or pedestrian plaza, farmers market pavilion, schools, community activity centers, and a park and ride lot that supports carpooling or bus transit.



Figure 15 - Example Photographs, Mixed Use Neighborhood Commercial District

**Mixed Use Highway Commercial**

The mixed use highway commercial designation applies to the non-industrial areas east of Interstate 81. The Exit 150 improvements scheduled for completion in 2018 will make access to this area more convenient for both interstate travelers and residents. Future development in this district may include a combination of service related commercial uses including hospitality, lodging, retail, and office uses. These may include compatibly designed hotel, restaurant or service station uses. This district may also include some high density residential uses. However, the majority of the developed space by square footage should be commercial. Pedestrian accommodations should be provided throughout, with sidewalks, and trail connections to open space.

The table below describes preferred design principles for future development in this district. These principles reflect elements of traditional neighborhood design, which is appropriate in urban development areas such as Gateway Crossing. These principles may inform future updates to the county’s development code for the area. They are also illustrated through the example photographs that follow the table.

Table 8 - Mixed Use Highway Commercial District Design Principles

Design Principles	Mixed Use Highway Commercial
General Character	The mixed use highway commercial district is the front door to Botetourt County. Future development should support an attractive gateway with extensive landscaping and signage that is low to the

Design Principles	Mixed Use Highway Commercial
	ground. The district is also a regional service and employment center, with a mix of higher density commercial, residential, civic, and entertainment uses oriented towards both highway through-travelers and residents of the region.
Appropriate Land Uses	Development in the mixed use highway commercial district should include a variety of service-oriented commercial uses. These may include hotels, restaurants, an outlet retail center, and service stations designed to be compatible with the goals of a walkable district with a mixture of uses. The district may also include medical, retail, and office uses that serve the region. This district may also include high density residential uses and regional attractions. However, at least 70 percent of the developed area should be for commercial uses.
General Scale & Intensity	The development in this area should be higher density and intensity with a more urban feel. Residential densities should range from 6 to 20 dwelling units per acre. Floor area ratio for commercial uses should generally be 0.4 and higher.
Built Form	The built form in this district should be more urban in character. Building heights may range from 2 to 8 stories, with higher density towards the center of the district. Development on the periphery of the district should be compatible in scale and function with adjacent lower density development. Parking should be relegated to the rear or sides of buildings, with narrow front setbacks creating an interesting streetscape that makes walking attractive.
Transportation & Connectivity	This district is located in the non-industrial areas east of I-81, near the planned improvements for the Exit 150 interchange. This makes regional access a critical function of the transportation system. New streets connections should be provided to improve both local and regional access. All streets should have uninterrupted sidewalks on both sides (except where a shared use path is provided). They may also include bicycle lanes or shared use paths that provide connections to the emerging regional trail network. New streets and development should preserve opportunities for bus transit in the future. Shared-access driveways should be used to limit new access points and maintain traffic flow on major streets and arterial highways.
Appropriate Public Facilities	Facilities serving the neighborhood, county, and broader region are appropriate in this district including a public safety facility (police/fire), hospital, recreation center, library, middle or high school, and a park and ride lot that supports carpooling or bus transit.

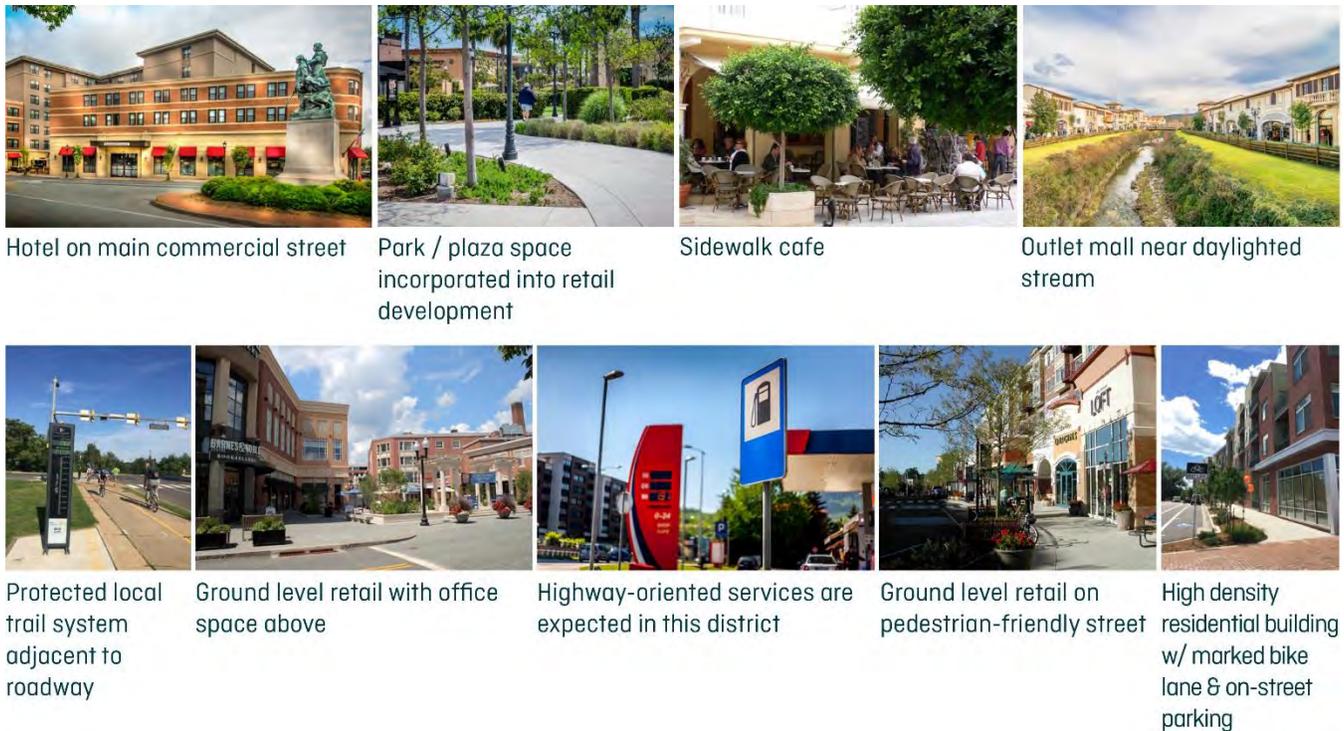


Figure 16 - Example Photographs, Mixed Use Highway Commercial District

## 4.4 Streetscape Plan

Walkable streets are an important part of the county’s vision for Gateway Crossing. The design of new streets is an important tool for achieving this vision. The graphics in the following figures illustrate street design concepts that support all modes of transportation, including vehicles, pedestrians, bicycles, and eventually transit.

The future land use plan showed a potential network of new collector and local streets. The purpose of these types of streets is to provide access to developed areas, and to connect these areas to the larger arterial roads that provide for mobility within a community or region. The local streets provide direct access to abutting land uses, such as houses or businesses. Meanwhile, the collectors connect these local streets to the arterials, such as Route 220 and Route 11. These streets, because they directly serve neighborhoods and commercial centers, should be designed for slower traffic speeds.

The following graphics illustrate cross section concepts for six potential new street types. These include new collector and local streets in the mixed-use residential district, new collector and local streets in the mixed-use neighborhood commercial district, and new collector and local streets in the mixed-use highway commercial district. Each of the cross section concepts shows accommodations for all users. They each include:

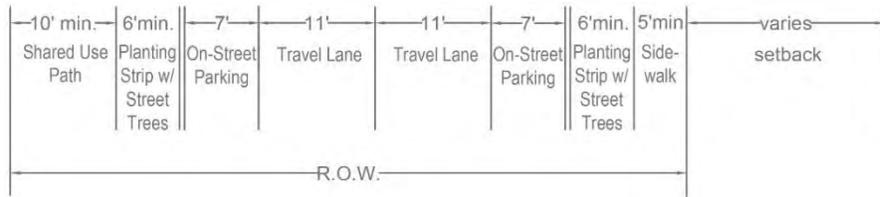
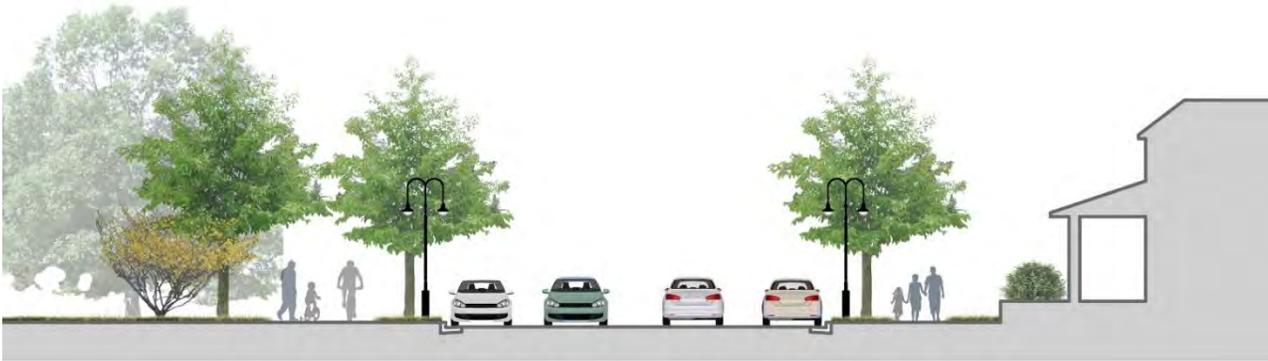
- A sidewalk of varying widths with a minimum width of five feet on both sides of the street for pedestrians.
- A planting strip or amenity zone between the street and sidewalk for items such as street trees and benches, which also creates a buffer between vehicle traffic and pedestrians.

- Eleven-foot wide travel lanes, which are sufficient for vehicles, yet are not overly wide, and discourage faster traffic which is incompatible with walkable neighborhoods.
- On-street parking, which provides access to homes and businesses, and acts as a buffer between the vehicle travel lanes and pedestrians on the sidewalk.
- Narrow setbacks, which improve pedestrian access to homes and businesses, while also creating an interesting streetscape that encourages people to walk more.
- Bike accommodations either through a shared use path, a bike lane that is five feet in width, or a shared lane marking (sharrow) that sends a message that the travel lanes are for both vehicles and bicycles.

These concepts illustrate preferred cross sections for creating walkable neighborhoods and commercial centers. However, the final design of any new street should be reviewed with VDOT to ensure it will meet all of their standards for acceptance into the state system for maintenance.

**MIXED-USE RESIDENTIAL** | PROPOSED SECTION CONCEPTS

MIXED-USE RESIDENTIAL Collector Street



MIXED-USE RESIDENTIAL Local Street

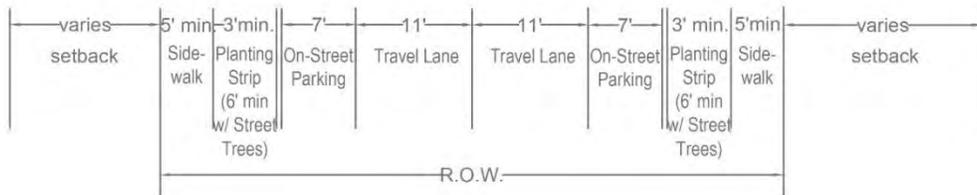
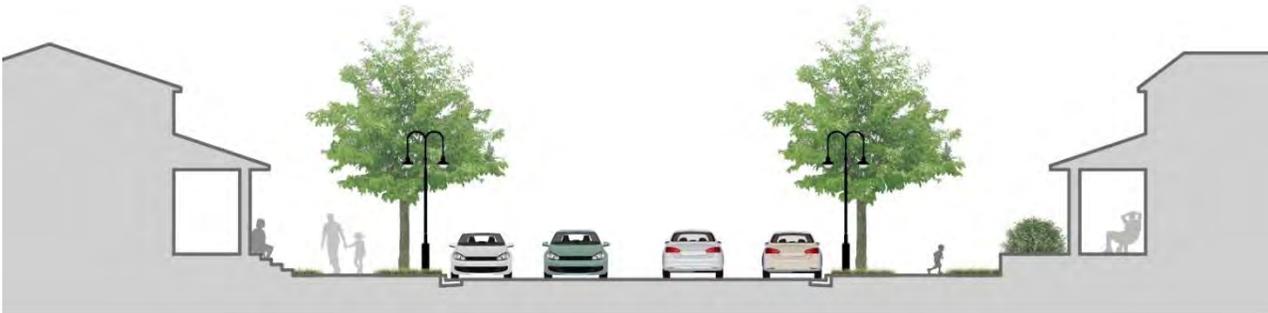
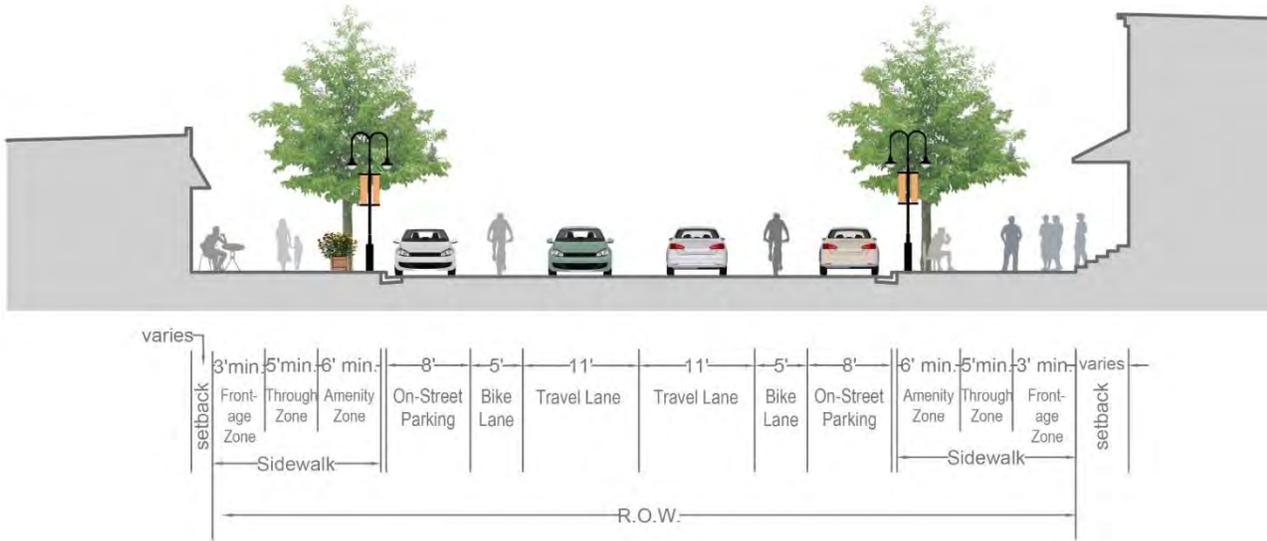


Figure 17 - Cross Section Concepts for Streets in the Mixed Use Residential District

**MIXED-USE NEIGHBORHOOD COMMERCIAL** | PROPOSED SECTION CONCEPTS

**MIXED-USE NEIGHBORHOOD COMMERCIAL** Collector Street



**MIXED-USE NEIGHBORHOOD COMMERCIAL** Local Street

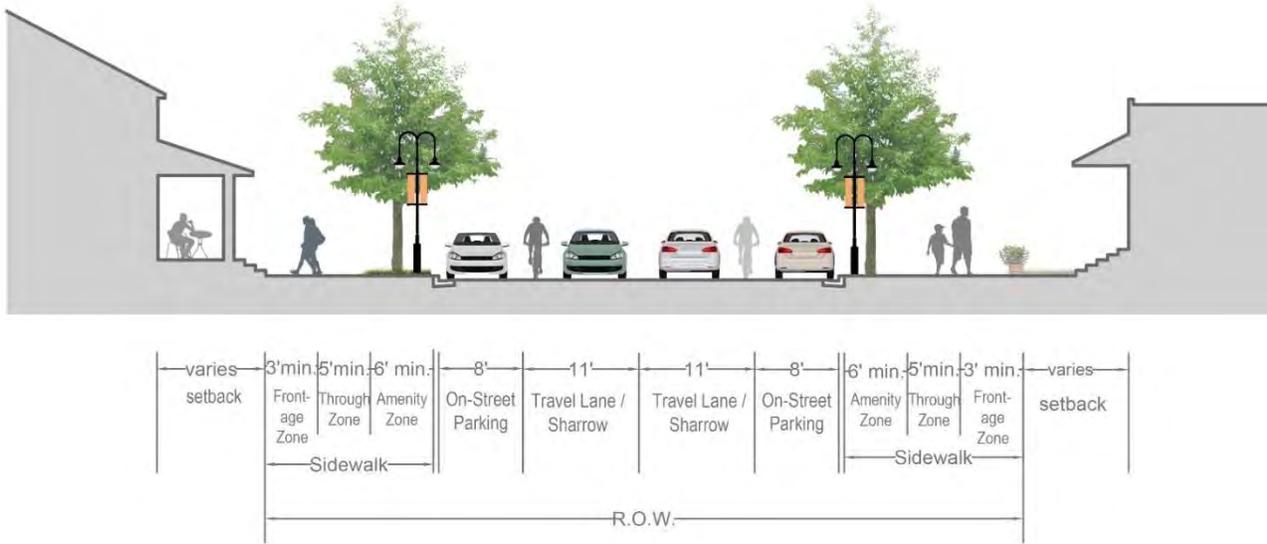
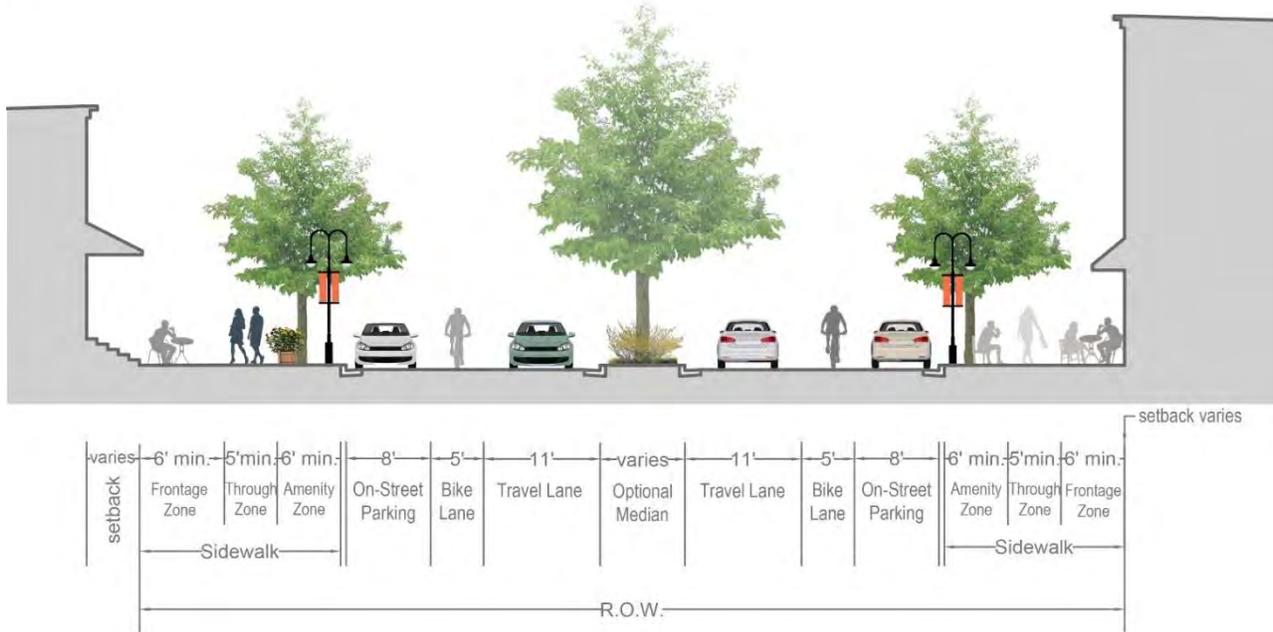


Figure 18 - Cross Section Concepts for Streets in the Mixed Use Neighborhood Commercial District

**MIXED-USE HIGHWAY COMMERCIAL** | PROPOSED SECTION CONCEPTS

**MIXED-USE HIGHWAY COMMERCIAL Collector Street**



**MIXED-USE HIGHWAY COMMERCIAL Local Street**

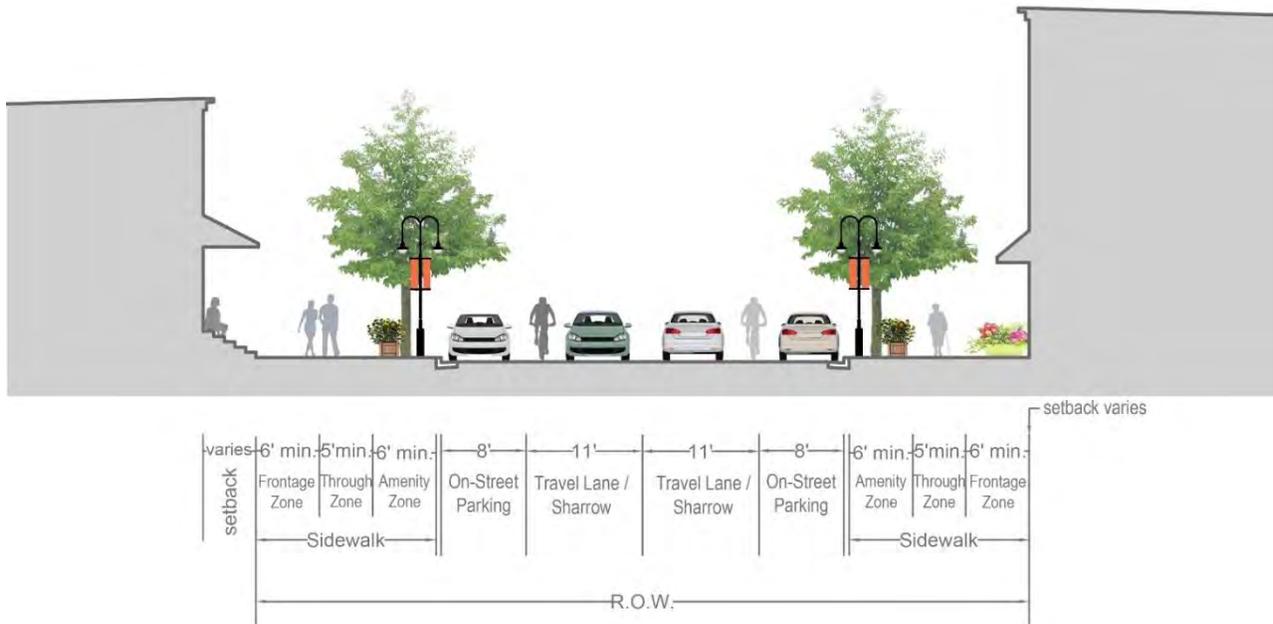


Figure 19 - Cross Section Concepts for Streets in the Mixed Use Highway Commercial District

## 4.5 Access Management

The public outreach associated with this plan revealed access management on Routes 220 and 11 as a key concern. This section identifies key access management issues in the 220 corridor from Glebe Road to the new Gateway Crossing Road, and on Route 11 within the Gateway Crossing study area. The section concludes with a toolbox of options for improving access management in this area.

The consulting team evaluated access points along Route 220 and Route 11 compared to the VDOT access standards included in the August 2016 revision of the Road Design Manual. The standards in the manual are listed by the functional classification and posted speed limit of the roadway being studied. VDOT also has established specific access management standards for roadways with access points adjacent to interstate ramp termini locations. The VDOT standards are shown below in Figures 20 and 21.

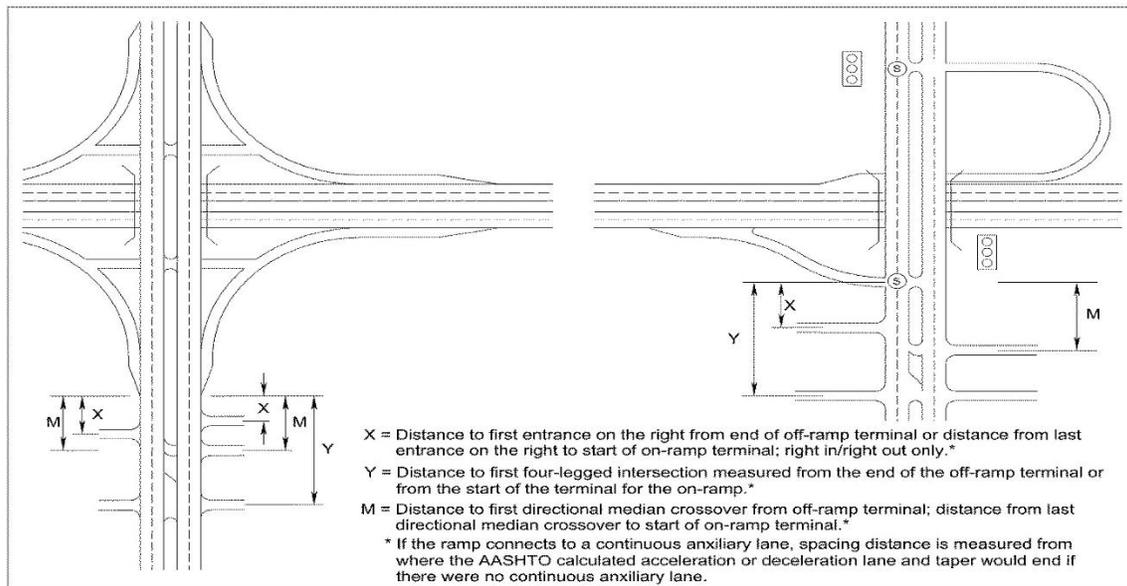
Figure 20 - Minimum Spacing Standards for Commercial Entrances, Intersections, and Median Crossovers<sup>10</sup>

Highway Functional Classification	Legal Speed Limit (mph) <sup>①</sup>	Minimum Centerline to Centerline Spacing (Distance) in Feet			
		Spacing from Signalized Intersections to Other Signalized Intersections <sup>②</sup>	Spacing from Unsignalized Intersections & Full Median Crossovers to Signalized or Unsignalized Intersections & Full Median Crossovers <sup>③</sup>	Spacing from Full Access Entrances & Directional Median to Other Full Access Entrances and Any Intersection or Median Crossover <sup>④</sup>	Spacing from Partial Access One or Two Way Entrances to Any Type of Entrance, Intersection or Median Crossover <sup>⑤</sup>
Principal Arterial	≤ 30 mph	1,050	880	440	250
	35 to 45 mph	1,320	1,050	565	305
	≥ 50 mph	2,640	1,320	750	495
Minor Arterial	≤ 30 mph	880	660	355	200
	35 to 45 mph	1,050	660	470	250
	≥ 50 mph	1,320	1,050	555	425
Collector	≤ 30 mph	660	440	225	200
	35 to 45 mph	660	440	335	250
	≥ 50 mph	1,050	660	445	360
Local Street <sup>⑥</sup>	Commercial entrance spacing: See Figure 4-11.				

<sup>10</sup> A crossover is a break or gap in the median of a roadway that allows turning movements.

Figure 21 - Minimum Spacing Standards for Intersections and Commercial Entrances Near Interchange Areas on Multilane Crossroads

Minimum Spacing Standards for Intersections and Commercial Entrances Near Interchange Areas on Multilane Crossroads (These Spacing Standards Apply to Both Signalized Intersections and Commercial Entrances Regardless of the Interchange Configuration)		
X	Y	M
750'	1320'	990'



Route 220 is classified as a principal arterial with a posted speed of 45 miles per hour north and south of the I-81 interchange and has a posted speed limit of 35 miles per hour within the interchange area between Commons Parkway/Wesley Road and Route 11. Route 11 is classified as a minor arterial and has a posted speed limit of 35 miles per hour along the northern portion between Kinzie Road and Olde Route 604. South of Olde Route 604, the posted speed limit is 45 miles per hour.

The existing access points along Route 220 within the Gateway Crossing Study Area are shown in Figure 22 for the northern portion of the study area and in Figure 23 for the southern portion. The existing access points along Route 11 are shown in Figure 24. The consulting team compared the distances between crossover locations and signalized intersections to the VDOT spacing standards described previously. Of the 18 crossovers and signalized intersections along Route 220, ten locations do not meet the standard distance. There are also approximately 64 direct access points along Route 220, most of which do not meet the VDOT spacing standards; particularly directly north of the I-81 interchange. Within this area, there are several small commercial properties, each having multiple access points onto Route 220. South of the I-81 interchange, there is only one commercial entrance along Route 220 which does not meet the required spacing distance. The intersection of Route 220 and Route 11 is approximately 280

feet east of the off-ramp from northbound I-81 and 400 feet east of the on-ramp to northbound I-81. Neither of these distances meet the VDOT standard of 1320 that is required for a four-legged intersection adjacent to an interchange ramp terminus.

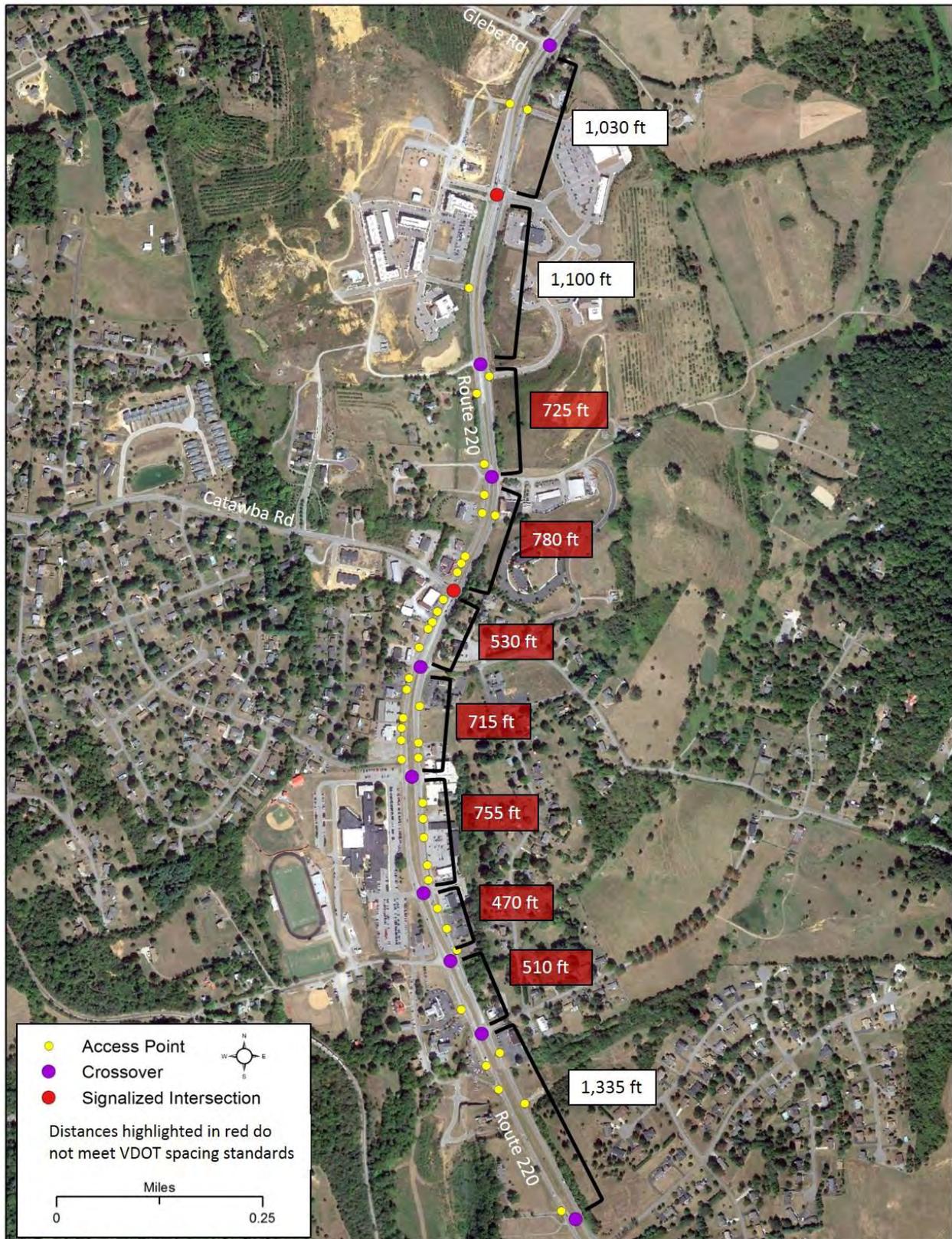


Figure 22 - Access Management Assessment, Route 220 from Glebe Road (north) to cemetery (south)

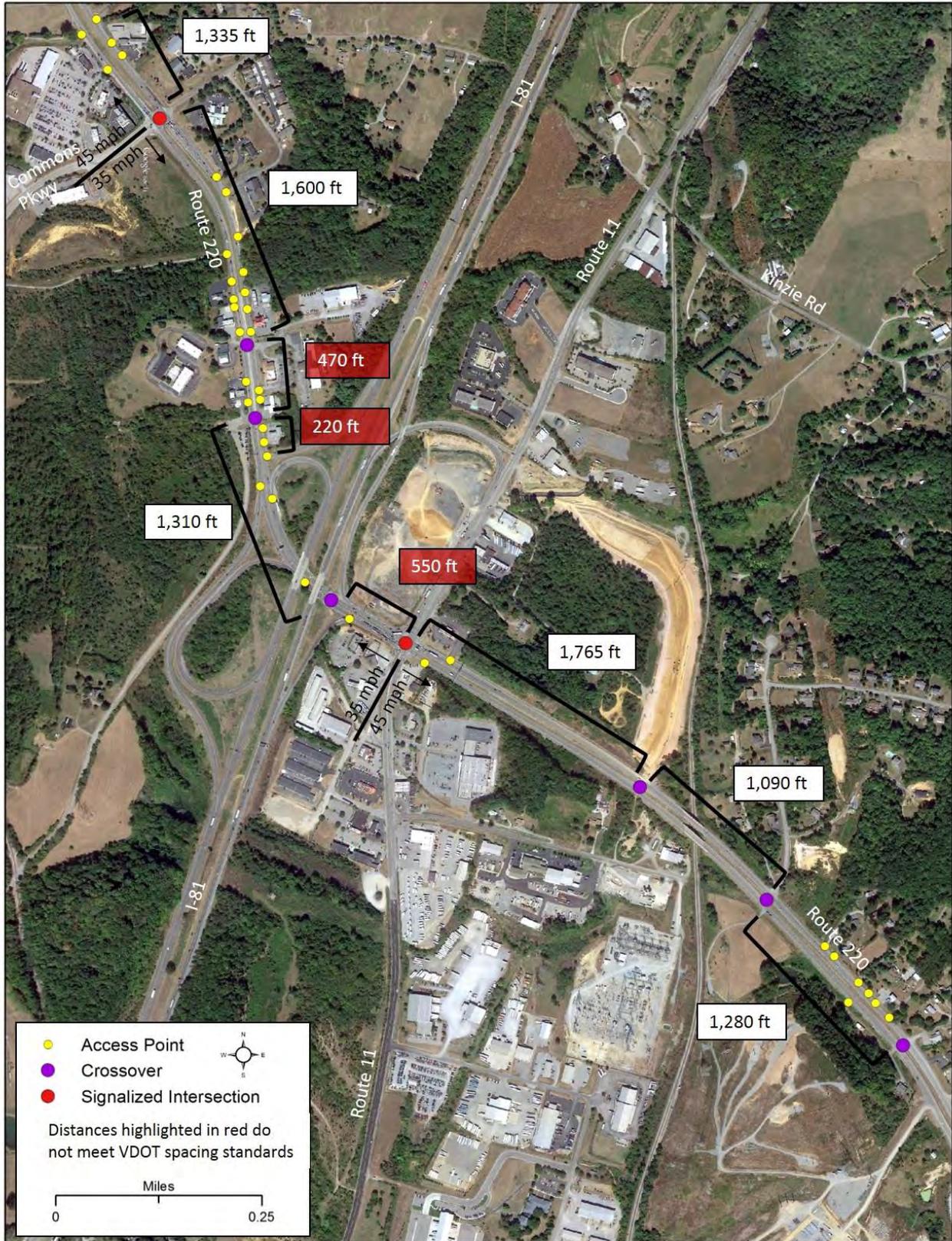


Figure 23 - Access Management Assessment, Route 220 from cemetery (north) to Spring Hollow Road (south)

Route 11 is classified as a minor arterial and is a four-lane undivided roadway for much of the corridor within the Gateway Crossing study area, except for the segment between the northern I-81 off-ramp and the northern limits of the study area, where it merges down to one lane in each direction. There is also a small segment that includes a raised median for approximately 450 feet between the intersection with Route 220 and the Dollar General Market entrance; this segment is the only portion of Route 11 in the study area with access management. As presented in Figure 24, there are approximately 48 direct access points to along the 1.5-mile portion of Route 11 within the study area; 41 access points are located in the most northern one-mile segment which has a 35 mile per hour posted speed limit, while there are only seven direct access points in the most southern half-mile segment, which has a 45 mile per hour speed limit. There is only one signalized intersection along Route 11 in the study area at the intersection with Route 220. As discussed previously, this intersection does not meet the VDOT required 1320-foot distance from the I-81 interchange ramp termini.

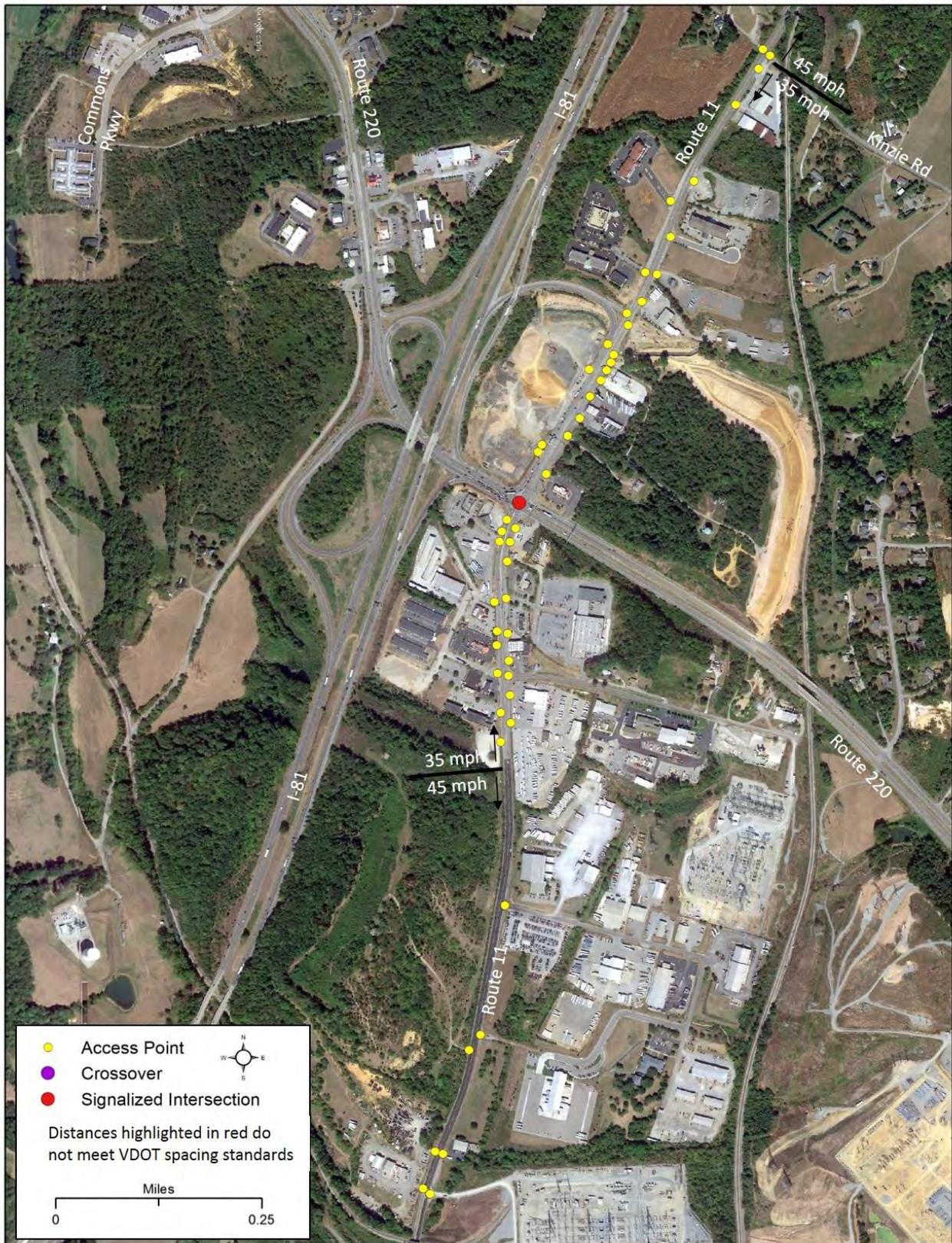


Figure 24 - Access Management Assessment, Route 11 from Kinzie Road (north) to railroad overpass (south)

There are several options for managing access on Routes 220 and 11. The benefits of access management can include less congestion and crashes in a corridor. Table 9 below is a toolbox of access management alternatives for the Route 220 and Route 11 corridors. These options are all relevant to the Gateway Crossing study area and should be applied as necessary to meet VDOT requirements and ease congestion along arterials. Figures 25 and 26 shows examples of offset left-turn lanes and directional median openings; these are some of the techniques that are lower cost options.

Table 9 - Access Management Toolbox of Alternatives

<b>Toolbox of Alternatives</b>		
<b>TYPE</b>	<b>EXAMPLES</b>	<b>BENEFITS</b>
<b>Medians</b>	<ul style="list-style-type: none"> <li>• Non-Traversable</li> <li>• U-Turn Treatment</li> <li>• Median without turn lanes</li> <li>• Median with turn lanes</li> </ul>	<ul style="list-style-type: none"> <li>• Helps delineate travel lanes, separating left-turns from through traffic</li> <li>• Improves pedestrian safety</li> <li>• Improves vehicle safety</li> <li>• Increases efficiency</li> <li>• Improves aesthetics</li> </ul>
<b>Spacing</b>	<ul style="list-style-type: none"> <li>• Traffic Signal Spacing</li> <li>• Commercial Driveway Spacing</li> </ul>	<ul style="list-style-type: none"> <li>• Controls the number of access points along a corridor</li> <li>• Wider spacing allows for drivers to better respond to changing conditions</li> </ul>
<b>Offset Left-Turn Lanes</b>		<ul style="list-style-type: none"> <li>• Improves sight distance for opposing left-turning vehicles</li> <li>• Reduces the potential for dangerous right angle crashes</li> </ul>
<b>Consolidation of Access Points</b>		<ul style="list-style-type: none"> <li>• Reduces conflict points</li> <li>• Enhances safety</li> <li>• Lessens severity of crashes</li> <li>• Improves mobility</li> <li>• Increases connectivity</li> <li>• Develops aesthetics</li> <li>• Improves the functionality of a major roadway</li> <li>• Roadway operates more efficiently, channeling the turns into more predictable locations</li> <li>• Minimizes the number of trips on the major arterial</li> </ul>
<b>Frontage Roads</b>	<ul style="list-style-type: none"> <li>• Regular Frontage Roads (adjacent to mainline)</li> <li>• Reverse Frontage Roads (behind development)</li> </ul>	<ul style="list-style-type: none"> <li>• Proper use of frontage roads can help eliminate conflict points on major route</li> </ul>
<b>Alternative Median Opening Configurations</b>	<ul style="list-style-type: none"> <li>• Full median crossover</li> <li>• Directional crossover</li> <li>• Right-In/Right-Out</li> </ul>	<ul style="list-style-type: none"> <li>• Directional median openings are appropriate for limiting cross traffic and exiting turns and exiting turns</li> </ul>
<b>Driveway Location and Design</b>		<ul style="list-style-type: none"> <li>• Provides geometry and a safe environment that accommodates the characteristics of various users</li> <li>• Provides areas of smooth transitional flow</li> <li>• Corner Clearance - reduction of interferences from side-street activity</li> </ul>

<p><b>Joint and Cross Access (Access Easements)</b></p>	<ul style="list-style-type: none"> <li>• Combined Driveways</li> <li>• Interparcel Connections</li> </ul>	<ul style="list-style-type: none"> <li>• Improves the operation and safety of the main highways</li> <li>• Reduces the number of trips on primary roadway; thereby, preserving capacity</li> <li>• Reduces number of driveways on major streets</li> <li>• Encourages pedestrian trips</li> <li>• Encourages shorter trips in autos</li> <li>• Provides good access to all properties through the use of easements</li> <li>• As property develops, local government can require owners provide for space for future public roads/accesses</li> <li>• Helps local governments achieve level of service goals</li> </ul>
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Figure 25 - Directional Median Crossover Options

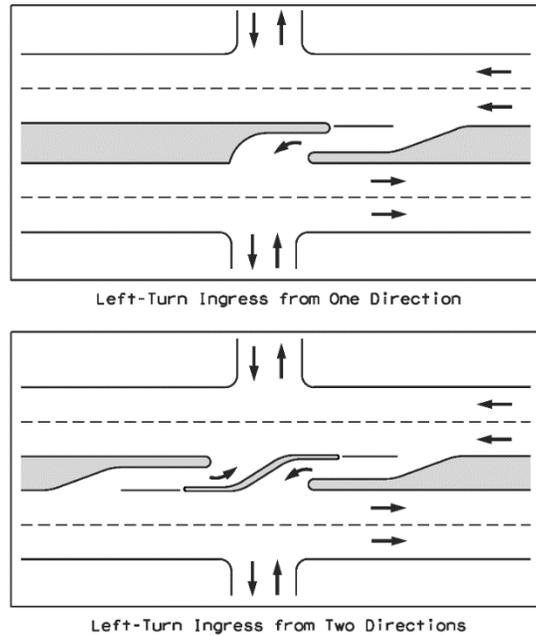
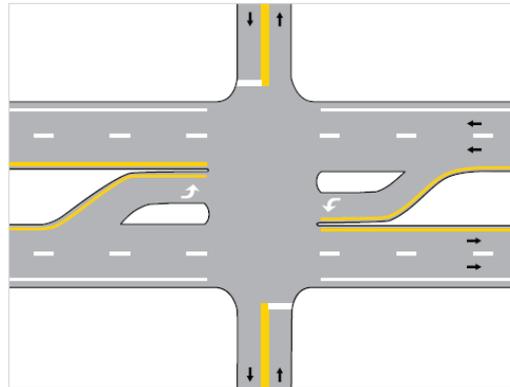


Figure 26 - Offset Left Turn Lane Option



## 5. IMPLEMENTATION

Implementing this vision will require the county to align its policies and development code with its vision. It will also require private entities to come forward and invest in the area. Opportunities for public and private collaboration should be sought out to realize the vision of Gateway Crossing. This section lays out some of the tools the county could use to implement its vision. No single tool is likely to make the vision a reality. It will take a combination of tools, and a long-term incremental approach to development, infrastructure investment, and redevelopment. The first section below lays out actions recommended in the Exit 150 study. The second section describes some tools the county can use to build the infrastructure needed to implement the vision.

### 5.1 Exit 150 Study Implementation Actions

The Exit 150 study laid out several recommendations and specific actions that the county should take to implement its vision for Gateway Crossing. The recommendations and corresponding goals are listed below. Recommendations that are no longer under consideration are not listed below. Some of the specific actions are also listed, but more detail is provided in the Exit 150 study.

#### *Goal 1: To create the organization capacity to implement the Exit 150 redevelopment strategy*

- Create a County Economic Development Authority dedicated to the implementation of the Exit 150 redevelopment and other economic development initiatives. (Already completed-the County's IDA was renamed the EDA in 2015)
- Examine opportunities to assemble key properties to facilitate important redevelopment opportunities in cooperation with developers and property owners who propose plans consistent with the county's vision for Exit 150.
- Consider the creation of a special financing district to help fund infrastructure improvements and other redevelopment activities.
- Hire an experienced Executive Director and small support staff to coordinate the County's efforts to improve the Exit 150 area and work in partnership with property owners, business owners, real estate developers, the Board of Supervisors and residents.
- Seek annual funding commitments to operate EDA.
- Seek partnership support from Exit 150 businesses and property owners for 1/3 of EDA annual budget.

- Create an Exit 150 Special Taxing District to partially fund the EDA and to provide business recruitment, marketing and land development services to the study area.

*Goal 2: To improve access to key development parcels in the Exit 150 study area to increase the tax base, create jobs and expand housing options*

- Work in partnership with all key stakeholders to unlock development potential of vacant land located off Tinker Mountain Road.
- Work in partnership with VDOT and key property owners to provide suitable site access to undeveloped land behind the Pilot gas station off US Route 11.
- Prepare Gateway Crossing Access Plan.
- Examine opportunity to connect new VDOT road connection at Alt 220/Cloverdale Road to Old Route 604.

*Goal 3: To limit the future impact of truck parking and traffic in the Exit 150 study area*

- Mitigate the challenge associated with truck parking and traffic demand.

*Goal 4: To seek the creation of new Park & Ride facilities on both sides of Interstate 81 Exit 150*

- Consider acquisition of VDOT Park & Ride property on US Route 220 North for future commercial development and a shared Park & Ride facility.

*Goal 5: To adopt and implement planning and zoning measures to create opportunities for future (re)development to occur*

- Rezone vacant land off Tinker Mountain Road to accommodate a mixed-use development consisting of commercial, apartments and townhome development at higher densities.
- Draft a new mixed-use zoning classification that specifically addresses the need for a higher density development in areas designated as urban growth districts (UGD) and designate this area as a UGD.
- Encourage development plans that incorporate new walking/biking trails and connect to, and capitalize on the Appalachian Trail.
- Encourage the introduction of higher density housing options (e.g., apartments, townhomes, condominiums) as part of any development in this area.
- Consider the benefits of rezoning the mixed business/agriculture/industrial zone between Cloverdale Road and Old Route 604 as B3 Business or SC Shopping Center.
- Consider the creation of an Exit 150 overlay zone to allow more integrated mixed-use development in the study area.

*Goal 6: To make necessary public infrastructure improvements in locations that will stimulate private investment and (re)development*

- Make streetscape improvements on US Route 11 south of Cloverdale Road to improve aesthetics and pedestrian amenities.
- Improve bicycle/pedestrian system.
- Evaluate opportunities with VDOT (i.e. grant funding) to enhance safety of the existing AT crossing on US Route 220.
- Further develop the streetscape edge conditions with signage, wayfinding, lighting and landscaping strategies presented on the conceptual land use plan and conceptual sections to create a study-wide program to guide future development.

- Make streetscape improvements on the eastern segment of Alt. Route 220 from the new signalized intersection to Common Parkway at First Citizens Bank.

*Goal 7: To adopt mechanisms for financing public investments in the Exit 150 study area*

- Create a synthetic tax increment financing district to finance public infrastructure and related development costs in conjunction with key (re)development projects.

*Goal 8: To adopt a policy for providing development incentives to assist projects that are consistent with the County's Exit 150 development plan and vision*

- Establish criteria for the use of public funds in partnership with other public and private funding to achieve (re)development goals.
- Identify (re)development initiatives that require the use of public funds or the powers and authorities of the EDA to be successful.
- Consider the use of declining tax abatements for property owners making significant private investments to redevelop their properties.

## 5.2 Funding Options for Infrastructure

This section lists some additional financing and funding options available to local governments in Virginia. The county may consider using some of these options to implement the Gateway Crossing vision.

### *Grant Programs*

The Transportation Partnership Opportunity Fund (TPOF) is to be used by the Governor of Virginia through the Design-Build provisions of the Virginia Code (§33.1-12(2)(b)) pursuant to the Public Private Partnership Act of 1995 (Virginia Code § 56-556 et seq.). The Governor can also use TPOF monies for transportation aspects of economic development projects. Grants can be up to \$5 million, while loans up to \$30 million can be obtained interest free, but require repayment within 7 years. While flexible, TPOF funds are limited to use when the capacity of existing funding mechanisms has been exceeded.

### *Revenue Leveraging*

The Transportation Funding and Reform Act of 2007 (HB 3202) allows counties to raise commercial property taxes as much as \$0.25. Funds can be spent on roadway, pedestrian, and transit projects.

### *SMART SCALE*

Local governments may submit funding requests through the state's SMART SCALE program for transportation projects that support Urban Development Areas. Access management and bicycle and pedestrian improvements are among the project types that are eligible for funding through SMART SCALE. Applications are due annually on September 30. The SMART SCALE cycle will transition to a bi-annual application process beginning in 2017. Visit <http://vasmartyscale.org/> for more information.

### *Revenue Sharing*

The Virginia Department of Transportation Revenue-Sharing Program is authorized under Virginia Code §33.1-2305. The program allows for Virginia Department of Transportation funds to match locality funds for improvement, construction, or reconstruction on any functional class of roadway. A locality can request funds for projects in other localities. A locality may apply for up to a maximum of \$10 million in matching allocations. Up to \$5 million of these requested funds may be specified for maintenance projects.

### *General Obligation Bond Financing*

General obligation bonds provide up-front capital financed through a revenue stream backed by local government tax revenues (primarily property tax). However, there are nearly always competing priorities for the use of general obligation bonds, since they are commonly used for many local capital projects, including schools, parks, and libraries. Infrastructure improvements in the Gateway Crossing area would need to be put in the County's Capital Improvements Program (CIP) in conjunction with local funding allocations and financing provisions.

### *Service Districts*

Service districts may be created by any locality, by ordinance (Code of Virginia (§ 15.2-2400)). The locality must hold a public hearing prior to the creation of any district. Two localities may jointly act to create such a district located in both localities.

Service districts are created to provide additional, more complete, or more timely services of government than are desired in the locality as a whole. Once an ordinance creating a service district is adopted, the governing body has additional powers pertaining to the district, including:

- to construct, maintain, and operate such facilities and equipment as may be necessary or desirable to provide additional, more complete, or more timely governmental services within a service district.
- to provide construction, maintenance, and general upkeep of streets and roads, public transportation systems serving the district, including the acquisition of real estate necessary to provide such services.
- to levy and collect an annual tax upon any property in the service district subject to local taxation to pay for providing the additional governmental services. Note, however, in contrast with the Community Development Authority provisions, such annual tax shall not be levied for or used to pay for schools, police, or general government services.

In addition to the taxes and assessments provide for by the enabling legislation, a locality may contribute money from its general fund as it deems appropriate to pay for the governmental services authorized within the service district. The proceeds from any annual tax or portion thereof collected for road construction may be accumulated and set aside for such period of time as is necessary to finance such construction.

### *Community Development Authorities (CDA)*

Community Development Authorities may be established by the governing body upon petition from 51 percent of the land area or assessed value of land in any tract or tracts of land in a proposed district (Code of Virginia (§ 15.2-5152)).

The locality may then adopt a resolution or ordinance creating the authority, after a public hearing. The resolution or ordinance is then recorded in the land records of the circuit court for each parcel included in the district. Two localities may jointly act to create such a district located in both localities.

The main powers of a CDA are to finance, fund, plan, construct, operate, and maintain the infrastructure improvements enumerated in the ordinance establishing the district. These can include acquisition of land; construction or improvement of roads, bridges, parking facilities, curbs, gutters, sidewalks, traffic signals, storm water management and retention systems, gas and electric lines and street lights, parks, cultural and educational uses; fencing and landscaping; fire stations, water mains and plugs, fire trucks, rescue vehicles and other vehicles and equipment; and school buildings and related structures.

A CDA may issue revenue bonds, subject to terms and conditions as may be established in the ordinance or resolution establishing the district, for all costs associated with the improvements. Revenue bonds must be payable solely from revenues received by the development authority. The revenue bonds issued by a CDA do not require the consent of the locality, except where consent is specifically required by the provisions of the authorizing resolution, and such bonds are not deemed to constitute a debt or obligation of the local governing body. The CDA may provide that the locality annually collects a special tax on taxable real property within the CDA's jurisdiction to finance the services and facilities provided by the authority. Unless requested by every property owner within the proposed district, the rate of the special tax cannot be more than \$0.25 per \$100 of the assessed fair market value of any taxable real estate.

### *Tax Increment Financing (TIF)*

The governing body of any county, city, or town may adopt tax increment financing by passing an ordinance designating a development project area and providing that real estate taxes in the development project area shall be assessed, collected, and allocated such that the future gains in tax revenues created by the improvements are used to finance the improvements (Virginia Code §58.1-3245.2).

When a public project (e.g., sidewalk improvements) is constructed, surrounding property values generally increase and encourage surrounding development or redevelopment. The increased tax revenues are then dedicated to finance the debt created by the original public improvement project.

The local assessing officer records in the land book both the base assessed value and the current assessed value of the real estate in the development project area. Real estate taxes attributable to the increased value between the current assessed value of any parcel of real estate and the base assessed value of such real estate are allocated by the local treasurer and paid into a special fund entitled the "Tax Increment Financing Fund" to pay the principal and interest on obligations issued or development project cost commitments entered into to finance the development project costs.

Tax Increment Financing typically occurs within designated Urban Renewal Areas (URA) that meet certain economic criteria and approved by a local governing body. To be eligible for this financing, a project (or a portion of it) must be located within the URA.

### *Conditional Zoning*

The Virginia General Assembly enabled conditional zoning to address the shortcomings of traditional zoning methods when competing and incompatible land uses conflict (Virginia Code §15.2-2296-2203). While it is technically a zoning tool, it is also a tool for funding infrastructure and the financial impacts of growth.

Conditional zoning allows reasonable conditions, known as proffers, to be offered by the applicant during a rezoning process as a way of mitigating the impacts of the proposed rezoning. Proffers may include land, infrastructure, cash, or other conditions or constraints on the use of the property. These proffers, if accepted by the governing body as part of the rezoning approval, become part of the zoning ordinance as it applies to that property. In theory, conditional zoning allows land to be rezoned that might not otherwise be rezoned because the proffers will protect the community or area affected by the rezoning.

All proffers must be made voluntarily. A governing body is not authorized to require a specific proffer as a condition to granting a rezoning. However, there may be times, in the near or longer-term future, where an owner may indeed wish to rezone their property in the Gateway Crossing area, in which case proffers could come into play.

## 6. SUMMARY

Gateway Crossing is the front door of Botetourt County. As such, it creates a first impression for travelers on Interstate 81 and Routes 11 and 220. It is also a centrally located place for many of the county's residents, making it a critical commercial area. For decades traffic congestion has limited the potential of Gateway Crossing. The VDOT improvements at Exit 150 offer a rare opportunity to transform this area into a thriving community that serves both the interstate highway travelers and local residents. This plan creates a policy framework for achieving the county's vision for long-term development and redevelopment in the area.

The next important step will be for the county to review and revise its zoning ordinance as needed to enable the type of development it would like to see. The county may also consider requesting transportation funds through the state SmartScale program to implement some of the transportation improvements described in this plan. Once this plan is complete, the county is planning future studies for how the Gateway Crossing district can be connected better to Blue Ridge, Troutville, and Fincastle.

# Chapter II: Population and Demographics

This chapter provides an overview and analysis of trends that may shape the future of the County. Evaluating changes in a community's population and demographics over time helps us to better understand and plan for future needs that should be addressed in the goals, objectives and policies of the comprehensive plan.

## Key Trends

**The population of Botetourt is aging, with 59% of residents over 40 years old.** *An aging population creates unique challenges in regards to the provision of services, mobility and housing needs.*

**The age demographics of the county are polarized, with a notable decrease in population aged 20 to 34 years and 35 to 44 years.** *Retaining and attracting this segment of the population will be an important component to ensuring an active workforce and sustained growth.*

**The racial and cultural composition of the county remains fairly homogenous, but trends point towards a gradual diversification of the population.** *How institutions and services, particularly public schools, respond to the challenges and opportunities presented by an increasingly diverse population will be an important consideration moving forward.*

**Ninety-one percent of county residents, aged 25 years and older, have an educational attainment of high school or above. Overall, 17% of citizens have obtained bachelor's degrees and 7% have obtained graduate or professional degrees.** *Improving support systems that encourage students to apply for and attend institutions of higher education or complete trade certifications while simultaneously retaining or attracting residents with college degrees will be important to the County's growth and economic prosperity.*

**The workforce of Botetourt is highly mobile.** *Only 14% of the workforce lives and works in the area. Diversifying housing and career options may help to capture some of this mobile workforce—creating a community to both live in and work.*

**Existing housing stock is primarily low density, single-family homes that are owner occupied. The average home value is \$210,300 which is higher than neighboring localities.** *Recent economic announcements within the county and surrounding region, paired with shifting demographics, have highlighted the importance of constructing new housing that will meet the needs of a growing workforce and the changing preferences of current residents.*

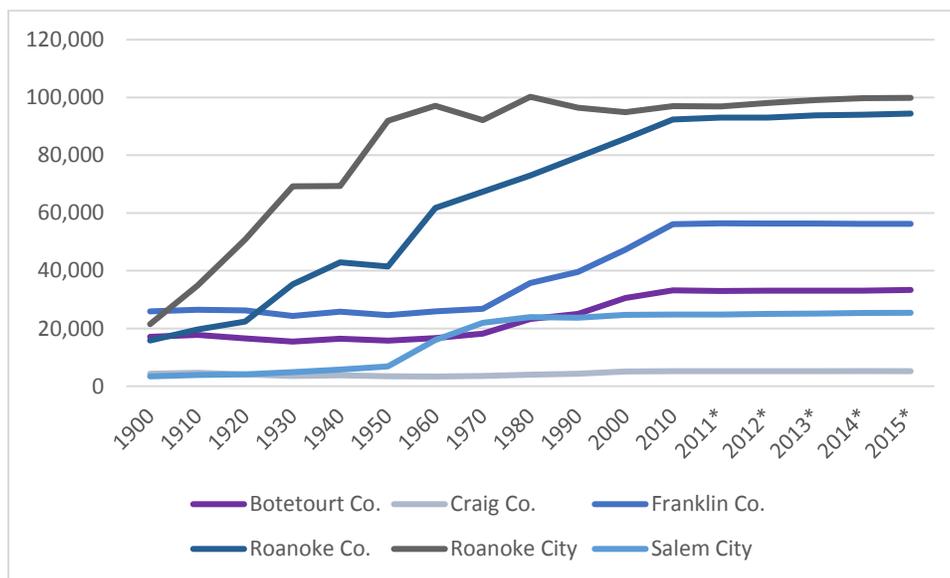
## Population Growth and Density

Beginning in 1970, the county experienced significant population growth. Figure 1 illustrates the growth of Botetourt County compared to municipalities in the Roanoke Metropolitan Statistical Area (MSA), depicting where each decade falls within the overall population growth and decline of each locality.

Between 1970 and 2013, the County grew 82% with significant increases during the decades of 1970 and 1990, while, overall, the Roanoke MSA only grew by 33% during the same timeframe. Recent data suggests a much slower rate of population growth than previous decades. From 2000 to 2010, growth in the County occurred at a rate of 8%, compared to a 22% increase between 1990 to 2000. The growth rate for the Roanoke MSA during this same time period (2000-2010) was a more modest 7%.

Populations across all municipalities have somewhat stabilized since 2010. Growth over the past five years in Botetourt reflects this trend, with population estimates suggesting an increase of only 0.6% between 2010-2015.

**Figure 1. Peer County Comparison of Population Growth Trends- 1900-2015**



Source: \* U.S. Census Bureau, July 1, 2015 Population Estimates; \*\*American Community Survey, 2010-2014 5-Year Estimates

These trends are typical of rural communities across the state. Data from the University of Virginia suggests that the death rate in Botetourt County has exceeded the birth rate between the years of 2010-2015 (Table 1). This phenomenon is referred to as natural decrease and is caused by two interrelated factors, the first of which being a local age structure that has fewer young adults of child bearing age and a large surplus of older adults. Second, natural decrease is also attributed to lower fertility rates than in the past, with individuals choosing to postpone childbirth and have fewer children. As with many rural communities of the state, population growth has been reliant on the influx of new residents. Rural communities, such as Botetourt, experiencing slight population growth are typically near urban centers and they tend to attract retirees or those close to retiring.

**Table 1. Change Since 2010 Census & Components of Change**

April 1, 2010 Census	July 1, 2015 Estimate	Numeric Change	Births minus Deaths	Net Migration
33,148	33,486	338	-279	617

Source: Weldon Cooper Center for Public Service, Demographics Research Group, University of Virginia

Population growth is an indicator of existing demand for services and can be used to predict future need for public services such as education, recreation, and public safety. The Virginia Employment Commission (VEC) predicts Botetourt County's population will grow to 38,885 in 2040, a projected 17% increase from 2015. The VEC population forecasts take into account anticipated growth rates and projected job growth in the region and state, as well as actual growth rates experienced by the county in the past, and therefore provides the best representation of the future population size of Botetourt County.

**Table 2. Virginia Employment Commission Population Forecast**

Year	Botetourt	% Change	Virginia	% Change
2000	30,496	-----	7,079,030	-----
2010	33,148	8.70%	8,001,024	13.02%
2020	35,235	6.30%	8,811,512	10.13%
2030	37,121	5.35%	9,645,281	9.46%
2040	38,885	4.75%	10,530,229	9.17%

Source: U.S. Census Bureau, Virginia Employment Commission

As population expanded during the 1980s and 1990s, population density for the entire County increased from 42 persons per square mile in 1980, to 56 persons per square mile in 2000, a 33% increase. Between 2000 and 2010, density increased by 9%, reaching 61 persons per square mile. Table 3 and Map 2 (Population Distribution-2010) show total population and density in the year 2010 by U.S. Census Blocks. As of 2010, 76% of the population was concentrated in the southern part of the County, specifically in Census Tracts 403, 404, and 405. Map 4 illustrates the 2014 estimated population distribution based on the location of dwelling units.

**Table 3. Population Density by Census Tract (2010)**

	401	402	403	404	405	Total
Square Miles	239	132	121	31	24	547
Population	3,498	4,294	10,521	7,099	7,736	33,148
Population/Sq. Mi.	15	33	87	229	322	61

Source: U.S. Census Bureau, 2010 Census.

## Demographic Characteristics

This section will focus on demographic characteristics of the population in Botetourt County, looking at age, gender, and race. While the population of Botetourt County is no longer growing at such a high rate in 2015 as it was in previous decades, the demographics continue to shift due to a variety of factors.

The population of Botetourt County is aging, as demonstrated by Table 4, with 31% of citizens aged 40-59 years old and 28% aged 60 years and over. Together this equates to 59% of the population over the age of 40.

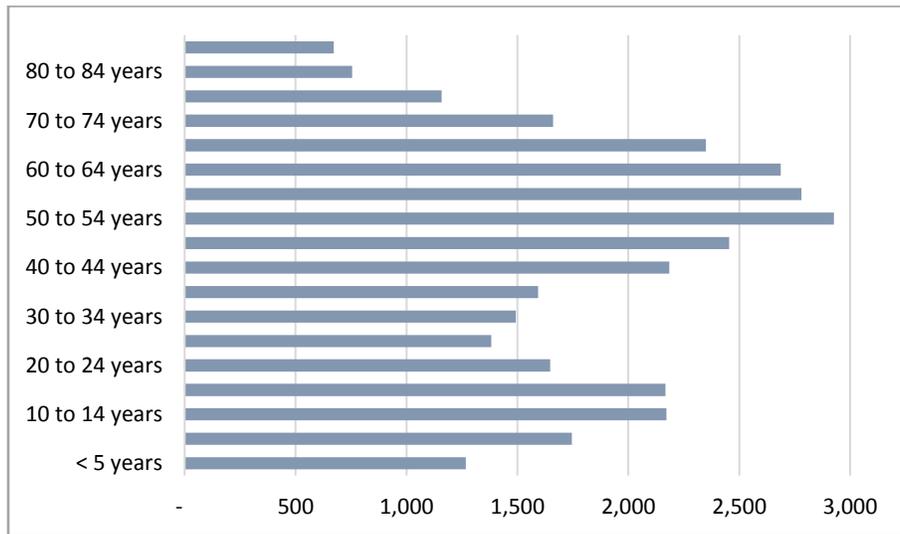
**Table 4. Age Group Trends - Botetourt County (2000-2015)**

Age Group	2000 Census	2010 Census	2011 (Est.)	2012 (Est.)	2013 (Est.)	2014 (Est.)
Under 19 years	7,772	8,095	7,875	7,769	7,485	7,351
20 to 39	7,084	6,097	5,955	5,945	5,998	6,118
40 to 59	10,064	11,019	10,844	10,741	10,522	10,347
Over 60 years	5,576	7,937	8,378	8,702	9,024	9,284
Total Population	30,496	33,148	33,052	33,157	33,029	33,100

*Source: U.S. Census Bureau, Population Division, June 2015*

Figure 2 offers a visualization of the demographic structure of the county in 2014. The largest cohort of individuals is between 45 and 69 years of age—with the population aged 19 and under reflecting this distribution—as these are likely the children of persons within this cohort. The notable drop in population aged 20-29 years is likely due to children of residents leaving to pursue educational and career opportunities.

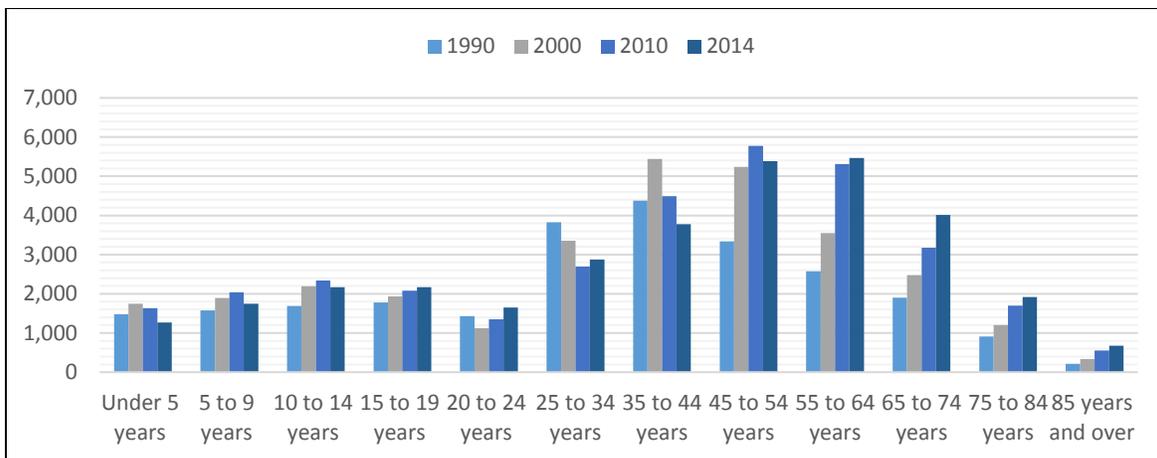
**Figure 2. 2014 Population Age Groups**



Source: 2010-2014 American Community Survey 5-Year Estimates

Figure 3 provides a visual comparison of age group distribution and growth over the past three decades. The data shows that there has been a decrease in the population of 25 to 34 year olds as well as in 35 to 44 year olds. This population, also referred to as a household forming population, is the group which is often most active in the workforce as well as being most likely to have children to attend Botetourt County schools.

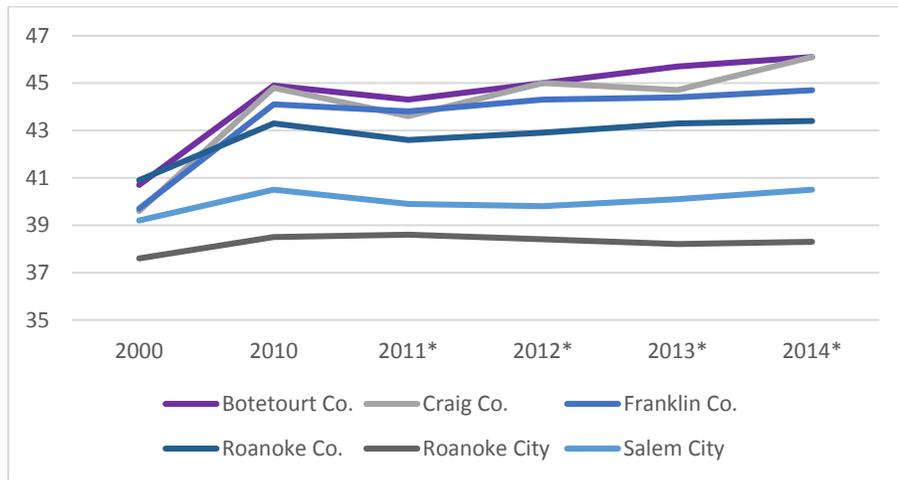
**Figure 3. Age Group Growth Trends for Botetourt County: 1990-2014**



Source: U.S. Census Bureau, Decennial Census 1990, 2000 and 2010; 2014 American Community Survey 5-Year Estimates

The median age for Botetourt county is estimated to be 46 years, likewise for Craig County, which is roughly three years higher than the median age of the Roanoke MSA overall. More urban peers have the lowest median ages, with Roanoke City maintaining a stable median age of 38 years since 2000. This trend may reflect a lack of younger, household forming generations moving to Botetourt and similar rural communities when deciding where to live and work.

**Figure 4. Median Age, Peer County Comparison**



Source: U.S. Census Bureau, Decennial Census 2000 and 2010; \*2010-2014 American Community Survey 5-Year Estimates

Table 5 shows projections of the population to 2040, broken down by gender. This table shows a continuation of trends seen in the previous tables and figures. Of note is the general proportion of female to male residents. The female population is projected to be greater than the male population, with the gap growing in each successive decade. This disparity may be due to the fact that women generally live longer than men. However, it is unclear whether the data in Table 5 reflect recent economic announcements which are projected to increase the number of jobs in Botetourt County by 1,000 in the next 10 years and could subsequently cause an increase in population.

**Table 5. Population Projections by Age and Gender - Botetourt County**

Age	2020		2030		2040	
	Female	Male	Female	Male	Female	Male
Under 5 years	812	818	886	893	944	951
5 to 9 years	873	910	961	1,002	1,036	1,081
10 to 14 years	1,116	1,198	1,132	1,215	1,245	1,337
15 to 19 years	1,112	1,254	985	1,111	1,094	1,234
20 to 24 years	713	770	716	773	732	791
25 to 29 years	659	811	761	936	680	836
30 to 34 years	955	830	1,067	927	1,079	938
35 to 39 years	964	919	1,127	1,074	1,312	1,251
40 to 44 years	935	910	1,185	1,152	1,335	1,298
45 to 49 years	1,219	1,161	1,140	1,086	1,344	1,280
50 to 54 years	1,293	1,339	990	1,025	1,285	1,310
55 to 59 years	1,561	1,526	1,301	1,271	1,227	1,199
60 to 64 years	1,430	1,453	1,329	1,350	1,028	1,042
65 to 69 years	1,372	1,315	1,537	1,472	1,291	1,237
70 to 74 years	1,163	1,037	1,355	1,208	1,270	1,132
75 to 79 years	699	598	1,042	891	1,177	1,007
80 to 84 years	464	319	771	530	906	623
85 years and over	505	223	639	282	955	421
<b>TOTALS</b>	<b>17,845</b>	<b>17,391</b>	<b>18,924</b>	<b>18,198</b>	<b>19,918</b>	<b>18,968</b>
	<b>35,236</b>		<b>37,122</b>		<b>38,886</b>	

Source: Virginia Employment Commission, Botetourt County Community Profile, October 2016

The racial and cultural composition of Botetourt County remains fairly homogenous. In 1990, approximately 95.3% of the population was white. This number has changed very little in subsequent years, with the numbers in 2010 describing 94.7% of the population as white. Table 6 shows the demographic breakdown of the different racial and ethnic groups within the county, as well as the percent change of those populations from 1990 to 2010. Of particular note in this table is a large increase in the Hispanic population, though the overall representation of this demographic remains 1% of the total county population. According to estimates from the American Community Survey, a supplement to the official decennial census, the racial/ethnic makeup of the county has changed very little between 2010-2014.

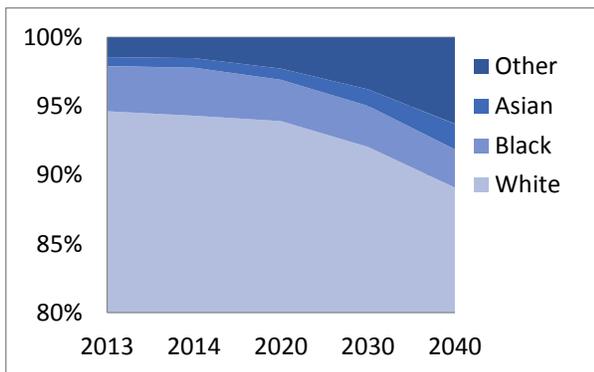
**Table 6. Racial and Cultural Composition - Botetourt County (1990-2010)**

Group	1990	2000	2010	% Change
Total Population	24,992	30,496	33,148	33%
White	23,818	28,944	31,397	32%
White/Hispanic	82	111	257	213%
White/Non-Hispanic	23,736	28,833	31,140	31%
Black	1,035	1,073	1,004	-3%
American Indian, Eskimo, or Aleut	22	66	N/A	200%
Asian or Pacific Islander	97	145	175	80%
Total Hispanic	107	181	356	233%
Other Race	20	59	N/A	195%
2 or More Races	N/A	209	345	65%

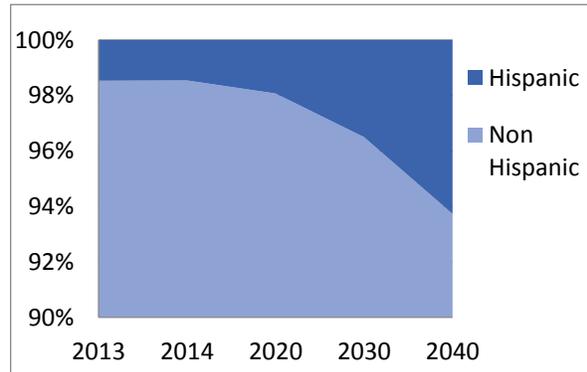
Source: U.S. Census Bureau, Decennial Census 1990, 2000 and 2010

Estimates from the Census Bureau for the year 2040 suggest a 5-6% change in the racial and ethnic composition of the county.

**Figure 5. Population by Race, 2013-2040**



**Figure 6. Population by Ethnicity, 2013-2040**

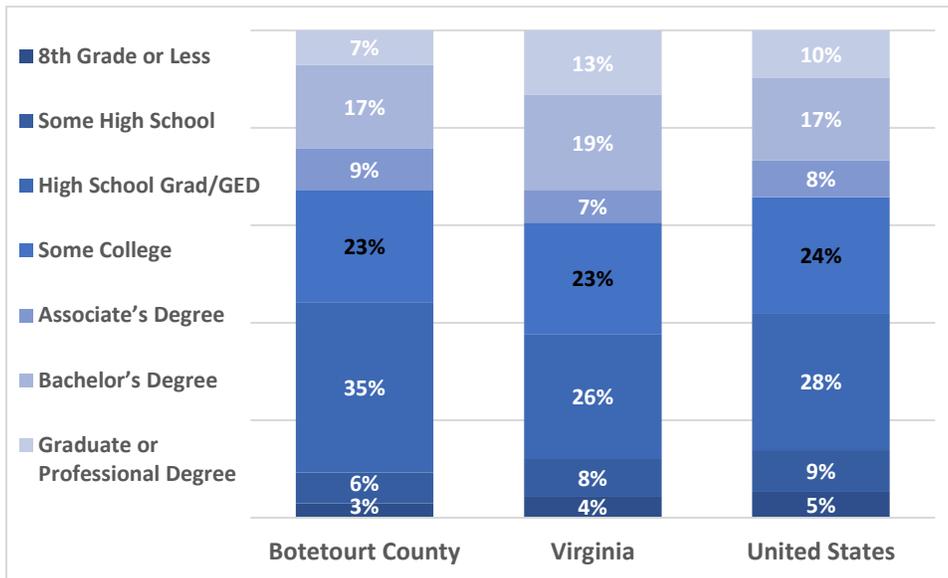


Source: U.S. Census Bureau

## Education

Botetourt County has a relatively well-educated population, with 91% of residents having completed high school or above. Figure 7 explores the educational attainment of Botetourt’s 18 years or older population, and compares that to state and national statistics. Botetourt has a proportionally greater percentage of the population with at least a high school diploma than both the state and the United States as a whole. However, the county has a slightly lower percentage of people with a Bachelor’s or graduate degree than the broader state population, though the numbers are closer to national averages for these categories.

**Figure 7. Educational Attainment – County, State and National Data**



Source: U.S. Census Bureau, American Community Survey, 2010-2014

## Income

Table 7 shows the Median Annual Gross Income across Botetourt and peer localities. From these estimates, it becomes apparent that Botetourt has a higher median income, with 2014 estimates being \$63,011 for Botetourt compared to an average of \$50,172 for the entire Roanoke MSA. Roanoke County's median household income growth mirrors that of Botetourt and is the most closely comparable of the peer localities, with a median income of \$60,950.

**Table 7. Median Annual Household Income, Peer County Comparison**

Municipality	2009	2010	2011	2012	2013	2014	% Change
Botetourt County	\$59,823	\$64,724	\$65,633	\$66,053	\$65,935	\$63,011	5%
Roanoke County	\$57,800	\$59,446	\$62,895	\$61,686	\$60,795	\$60,950	5%
Salem City	\$47,746	\$48,828	\$48,050	\$47,776	\$48,733	\$50,590	6%
Craig County	\$48,845	\$51,291	\$54,120	\$47,691	\$47,806	\$46,658	-4%
Franklin County	\$45,578	\$45,555	\$47,606	\$45,049	\$45,624	\$44,827	-2%
Roanoke City	\$35,811	\$36,422	\$37,753	\$38,265	\$38,145	\$39,530	10%

Source: U.S. Census Bureau, 2010-2014 American Community Survey 5-Year Estimates

A more in depth look at the income distribution for the year 2014 shows that of total households, 61% in Botetourt and 59% in Roanoke County had an income above \$50,000, while the next closest peer was Salem City at 51%. Roanoke City's income distribution is the inverse, with 60% of households having made less than \$50,000 in 2014.

**Table 8. Income Distribution, Peer Comparison, 2014**

Income Bracket	Botetourt County	Craig County	Franklin County	Roanoke County	Roanoke City	Salem City
Below \$10,000	488	103	1,631	1,654	4,491	590
\$10,000 to \$29,999	2,080	647	5,954	6,459	12,123	2,228
\$30,000 to \$49,999	2,386	387	4,968	7,417	8,716	2,078
\$50,000 to \$74,999	2,420	368	4,499	7,547	8,448	2,197
\$75,000 to \$99,999	2,319	242	2,763	5,896	4,123	1,003
\$100,000 to 124,999	1,267	201	1,230	3,707	1,623	640
\$125,000 and above	1,907	203	2,203	5,517	3,025	1,217
Total	12,867	2,151	23,248	38,197	42,549	9,953

Source: U.S. Census Bureau, 2010-2014 American Community Survey 5-Year Estimates

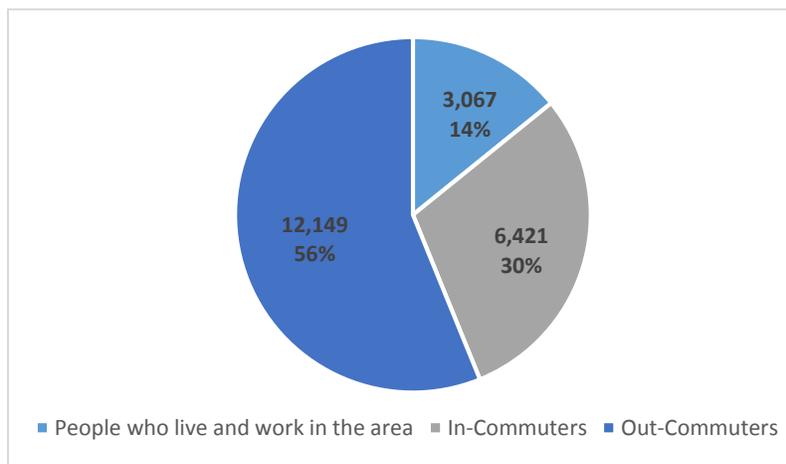
## Workforce Characteristics

This section of the chapter looks at workforce characteristics such as commuting destinations, employment statistics, and types of jobs which may be available in the county.

### Commuter Profile

According to data, Botetourt County is a commuter community, with 6,421 people commuting from other localities to work in the county and 12,149 residents commuting out. This equates to 56% of the workforce commuting outside of the county daily. Compared to other areas, Botetourt residents commute to work overwhelmingly by car, with 96% percent of workers commuting by motor vehicle, either alone or via carpooling (ACS 2014). This means Botetourt’s workforce is highly mobile and car-dependent. Figure 5 shows the proportion of persons who commute out of the community for work versus the persons who commute in. The smallest proportion of Figure 5 shows people who both live and work in the county (14%).

**Figure 8. Botetourt County Commuting Patterns, 2012**



Source: U.S. Census Bureau, OnTheMap Application and LEHD Origin-Destination Employment Statistics, 2012

The top places where residents commute to are Roanoke City, Roanoke County, and Salem. This is expected as Roanoke City is the largest metropolitan center in the area. Botetourt’s southern half is included in the city’s metropolitan planning boundary because of its relationship to the city as a commuter community. Likewise, the two leading source localities for workers coming in to the county are from Roanoke County and City. This could be due to a variety of factors, of which could be more affordable housing options in these localities.

**Table 9. Top 10 Places Workers Are Commuting To**

Area	Workers
Roanoke City	4,393
Roanoke County	2,305
Salem City	1,252
Montgomery County	376
Lynchburg City	210
Henrico County	197
Alleghany County	193
Bedford County	160
Richmond City	158
Fairfax County	157

**Table 10. Top 10 Places Workers Are Commuting From**

Area	Workers
Roanoke County	1,344
Roanoke City	1,186
Bedford County	557
Franklin County	285
Salem City	279
Montgomery County	194
Alleghany County	183
Rockbridge County	131
Pulaski County	107
Augusta County	104

Source: U.S. Census Bureau, OnTheMap Application and LEHD Origin-Destination Employment Statistics, 2012.

## Employment

Botetourt County is characterized by low unemployment. Table 11 compares the unemployed population and corresponding unemployment rates for Botetourt’s peer counties as well as the broader Roanoke MSA as well.

**Table 11. Labor Force, Region and Peer Counties**

Area	Labor Force	Employed	Unemployed	Unemployment Rate
Botetourt County	17,410	16,795	615	3.7%
Roanoke County	49,170	47,410	1,760	3.7%
Salem City	12,915	12,403	512	4.1%
Franklin County	26,733	25,595	1,138	4.4%
Craig County	2,387	2,282	105	4.6%
Roanoke City	49,025	46,843	2,182	4.7%
<b>Roanoke MSA</b>	<b>157,640</b>	<b>151,328</b>	<b>6,312</b>	<b>4.2%</b>

Source: Virginia Employment Commission, Local Area Unemployment Statistics, March 2016.

Unemployment rates in the county show a notable increase in 2009, which is similar in both the state and nation due to the economic crisis. This number has decreased gradually since 2010. The unemployment rate in 2015 is only one percent higher than that in 2008. This indicates that employment markets have somewhat stabilized in the region.

**Table 12. Unemployment Rates - Trends**

	Botetourt County	Virginia	United States
2003	3.6%	4.1%	6.0%
2004	3.3%	3.7%	5.5%
2005	3.0%	3.5%	5.1%
2006	2.6%	3.0%	4.6%
2007	2.7%	3.1%	4.6%
2008	3.3%	4.0%	5.8%
2009	6.5%	7.0%	9.3%
2010	6.7%	7.1%	9.6%
2011	6.1%	6.4%	8.9%
2012	5.6%	5.9%	8.1%
2013	5.2%	5.5%	7.4%
2014	4.8%	5.2%	6.2%
2015	4.3%	3.9%	5.3%

Source: Virginia Employment Commission, Local Area Unemployment Statistics

Botetourt County's employers are made up primarily of small businesses employing between 0 and 9 employees. Recent economic development announcements in the Botetourt Center at Greenfield, a research and manufacturing park developed by the county to encourage economic growth as well as the Virginia Community College System Shared Service Center, may provide future growth in the establishments with 250 to 999 employees. Botetourt currently has no businesses that employ over 1000 people.

**Table 13. Employers by Size of Establishment**

	Botetourt	Virginia
0 to 4 employees	526	157,588
5 to 9 employees	130	38,062
10 to 19 employees	98	28,119
20 to 49 employees	44	20,310
50 to 99 employees	16	7,036
100 to 249 employees	13	3,721
250 to 499 employees	***	1,030
500 to 999 employees	***	370
1,000 and over employees	0	236
<b>TOTALS</b>	<b>832</b>	<b>256,472</b>

Source: Virginia Employment Commission, Quarterly Census of Unemployment and Wages, 1<sup>st</sup> Quarter 2016

Note: Asterisks (\*\*\*) indicate non-disclosable area

When looking at where people are employed, however, the numbers are somewhat inverted. The category with the most individuals employed is 100-249 employees.

**Table 14. Employment by Size of Establishment**

	Botetourt	Virginia
0 to 4 employees	808	226,110
5 to 9 employees	858	252,887
10 to 19 employees	1,326	381,783
20 to 49 employees	1,356	615,099
50 to 99 employees	1,100	480,746
100 to 249 employees	2,113	554,968
250 to 499 employees	***	354,440
500 to 999 employees	***	252,921
1,000 and over employees	0	605,266
<b>TOTALS</b>	<b>10,575</b>	<b>3,724,220</b>

Source: Virginia Employment Commission, Quarterly Census of Unemployment and Wages, 1<sup>st</sup> Quarter 2016 Note: Asterisks (\*\*\*) indicate non-disclosable area

According to Tables 15, the top occupations in the county include Office and Administrative Support Occupations, Sales and Related Occupations, and Food Preparation and Service Related Occupations, in that order. Sales and food service jobs are often not particularly high paying positions. Additional top occupations which are more competitive in terms of pay include Healthcare Practitioners and Technical Occupations, Production Occupations, and Transportation and Material Moving Occupations. Many of the jobs found in these areas are more traditional middle class jobs. Together, these six occupations make up 58% of all occupations based on 2012 estimates. Jobs in food service and sales make up 19% of estimated employment, nearly one-fifth across all occupations.

Table 16 shows specific occupations which are considered Growth Occupations. The highest percent change between 2012 employment levels and 2022 employment levels is 63% growth in the number of Personal Care Aides which are projected to be employed in the county. This is likely related to the continued aging of the current population. The Average Annual Salary for this occupation is only \$19,348, much lower than the median household income for the county overall. Growth in other occupations, however, should counterbalance this. The majority of other occupations reported have average salaries of over \$40,000 a year. Veterinarians and Software Developers, the third and fourth fastest growing industries, have salaries of \$128,582 and \$94,470 respectively, significantly higher than the median household income for the county.

**Table 15. Long-term Occupation Employment and Projections**

Occupation	Employment			Openings		
	2012 (est.)	2022	% Change	Replac- ement	Growth	Total
Total, All Occupations	164,595	181,061	10%	3,899	1,773	5,672
Management	6,908	7,526	9%	140	64	204
Business and Financial Operations	7,141	7,924	11%	148	80	228
Computer and Mathematics	3,668	4,410	20%	60	75	135
Architecture and Engineering	2,027	2,196	8%	50	20	70
Life, Physical, Social Sciences	664	749	13%	20	8	28
Community and Social Service	2,974	3,630	22%	67	66	133
Legal Occupations	907	1,048	16%	15	14	29
Education, Training, Library	8,194	9,438	15%	176	124	300
Arts, Design, Entertainment, Sports, Media	2,218	2,397	8%	53	22	75
Healthcare Practitioners and Technical	12,008	13,550	13%	249	155	404
Healthcare Support	4,894	5,721	17%	94	84	178
Protective Service	3,834	4,471	17%	105	65	170
Food Preparation and Service Related	13,929	14,334	3%	558	59	617
Building, Grounds Cleaning, Maintenance	4,674	5,211	11%	95	54	149
Personal Care and Service	5,656	7,258	28%	108	161	269
Sales and Related Occupations	16,898	18,151	7%	501	126	627
Office and Administrative Support	27,151	28,767	6%	610	196	806
Farming, Fishing, Forestry	177	184	4%	4	2	6
Construction and Extraction	7,853	9,416	20%	128	156	284
Installation, Maintenance, Repair	7,591	8,500	12%	179	93	272
Production	12,642	12,701	0.5%	252	58	310
Transportation and Material Moving	12,587	13,479	7%	289	90	379

Source: Virginia Employment Commission, Long-Term Industry and Occupational Projections, 2012-2022

**Table 16. Growth Occupations - Botetourt County**

Occupation	Employment			Average Annual Openings			Avg. Annual Salary
	2012	2022	% Change	Replacement	Growth	Total	
Personal Care Aides	1,556	2,530	63%	11	97	108	\$19,348
Audiologists	***	***	***	***	***	***	\$69,478
Phlebotomists	***	***	***	***	***	***	\$31,410
Medical and Clinical Laboratory Technicians	354	524	48%	9	17	26	\$43,486
Veterinarians	92	134	46%	3	4	7	\$128,582
Software Developers, Systems Software	493	718	46%	6	22	28	\$94,470
Physical Therapist Assistants	101	147	46%	2	5	7	\$58,546
Emergency Medical Technicians, Paramedics	244	351	44%	7	11	18	N/A
Personal Financial Advisors	151	211	40%	2	6	8	\$129,218
Rehabilitation Counselors	310	431	39%	7	12	19	\$51,754
Veterinary Assistants, Lab Animal Caretakers	200	278	39%	4	8	12	\$20,000
Physical Therapists	301	407	35%	7	11	18	\$105,377
Helpers—Electricians	145	195	34%	2	5	7	\$25,888
Brickmasons and Blockmasons	123	164	33%	1	4	5	\$40,184
Nonfarm Animal Caretakers	***	***	***	***	***	***	\$19,158
Fence Erectors	***	***	***	***	***	***	N/A
Multimedia Artists and Animators	***	***	***	***	***	***	N/A
Mental Health Counselors	457	588	29%	10	13	23	\$49,540
Healthcare Support Workers, All Other	***	***	***	***	***	***	N/A
Software Developers, Applications	740	950	28%	10	21	31	\$77,342

Source: Virginia Employment Commission, Long-Term Industry and Occupational Projections, 2012-2022. Note: Asterisks (\*\*\*) indicate non-disclosable data

In contrast, Table 17 shows occupations that are in decline in the county. These include two categories of postal workers, likely a result of the rollback of the United States Postal Service in the area, which included the closing of a major sorting center in Roanoke City.

**Table 17. Declining Occupations - Botetourt County**

Occupation	Employment			Average Annual Openings		
	2012	2022	% Change	Replacements	Growth	Total
Postal Service Mail Sorters, Processors, and Processing Machine Operators	243	188	-23%	2	0	2
Sewing Machine Operators	177	138	-22%	1	0	1
Textile Knitting and Weaving Machine Setters, Operators, and Tenders	***	***	***	***	***	***
Postal Service Mail Carriers	315	251	-20%	11	0	11
Data Entry Keyers	414	332	-20%	5	0	5
Coil Winders, Tapers, and Finishers	***	***	***	***	***	***
Computer Operators	116	95	-18%	1	0	1
Switchboard Operators, Including Answering Service	127	106	-17%	2	0	2
Electrical and Electronic Equipment Assemblers	472	399	-15%	6	0	6
Packaging and Filling Machine Operators and Tenders	303	263	-13%	7	0	7
Prepress Technicians and Workers	101	88	-13%	3	0	3
Electrical and Electronics Engineering Technicians	101	90	-11%	2	0	2
Counter Attendants, Cafeteria, Food Concession, and Coffee Shop	850	764	-10%	52	0	52
Cutting, Punching, and Press Machine Setters, Operators, and Tenders, Metal and Plastic	240	221	-8%	2	0	2
Cooks, Fast Food	***	***	***	***	***	***
Cabinetmakers and Bench Carpenters	187	174	-7%	2	0	2
File Clerks	165	154	-7%	4	0	4
Writers and Authors	187	175	-6%	4	0	4
Tire Builders	***	***	***	***	***	***
Merchandise Displayers and Window Trimmers	263	249	-5%	7	0	7

Source: Virginia Employment Commission, Long-Term Industry and Occupational Projections, 2012-2022. Note: Asterisks (\*\*\*) indicate non-disclosable data

Table 18 looks at the age of the Botetourt County workforce. Overall, the majority of workers in Botetourt County are between 25 and 64, with the highest proportion of workers being between 45 and 54. The proportion of workers from a given age group changes by industry. Notably, the food service industry contains the largest number of workers between 14 and 21, followed by retail.

**Table 18. Age of Work Force by Industry**

Industry	14-18	19-21	22-24	25-34	35-44	45-54	55-64	65+
Total, all industries	215	424	536	1,813	2,082	2,418	1,809	541
Agriculture, Forestry, Fishing and Hunting		4		27	22	14	22	7
Mining, Quarrying, and Oil and Gas Extraction								
Utilities								
Construction	5	29	51	193	219	284	178	43
Manufacturing		29	68	307	448	546	341	58
Wholesale Trade	3	35	59	213	226	232	173	53
Retail Trade	48	77	72	172	131	155	138	54
Transportation and Warehousing		18	18	76	113	133	139	32
Information		5	20	56	59	45	24	6
Finance and Insurance		3	8	39	52	63	63	12
Real Estate and Rental and Leasing				15	5	14	17	4
Professional, Scientific, and Technical Services	5		11	33	52	63	55	13
Management of Companies and Enterprises			6	22	32	48	37	12
Administrative and Support and Waste Management	9	33	43	157	151	168	93	40
Educational Services	7	9	24	120	191	246	213	66
Health Care and Social Assistance	32	36	36	131	171	162	139	46
Arts, Entertainment, and Recreation		4	5	8	7	8	11	6
Accommodation and Food Services	95	126	95	162	120	109	62	35
Other Services (except Public Administration)	3	10	4	31	26	50	46	26
Public Administration			12	50	50	67	51	26

Source: U.S. Census Bureau, Local Employment Dynamics (LED) Program, 1<sup>st</sup> Quarter 2014, all ownerships

Table 19 shows long-term employment projections by industry, with the highest percent change being seen in Professional, Scientific, and Technical Services, followed by Construction jobs.

**Table 19. Long-term Industry Employment and Projections**

Industry	Employment			Percent	
	2012	2022	Change	Total	Annual
Total, all industries	164,595	181,061	16,466	10%	1%
Agriculture, Forestry, Fishing and Hunting	134	145	11	8%	0.8%
Mining, Quarrying, and Oil and Gas Extraction	153	152	-1	-0.7%	-0.1%
Utilities	314	274	-40	-13%	-1%
Construction	7,825	9,822	1,997	26%	2%
Manufacturing	16,614	16,059	-555	-3%	-0.3%
Wholesale Trade	6,991	7,600	609	9%	0.8%
Retail Trade	19,161	20,671	1,510	8%	0.8%
Transportation and Warehousing	6,881	7,456	575	8%	0.8%
Information	1,931	1,845	-86	-4%	-0.5%
Finance and Insurance	6,118	6,761	643	11%	1%
Real Estate and Rental and Leasing	1,716	1,910	194	11%	1%
Professional, Scientific, and Technical Services	7,316	9,430	2,114	29%	3%
Management of Companies and Enterprises	4,707	4,224	-483	-10%	-1%
Administrative and Support and Waste Management	8,178	9,479	1,301	16%	1%
Educational Services	11,791	13,456	1,665	14%	1%
Health Care and Social Assistance	23,122	27,814	4,692	20%	2%
Arts, Entertainment, and Recreation	1,437	1,643	206	14%	1%
Accommodation and Food Services	12,608	12,716	108	0.9%	0.1%
Other Services (except Public Administration)	5,211	6,080	869	17%	2%

Source: Virginia Employment Commission, Long Term Industry Occupational Projections, 2012-2022

## Housing

This section characterizes housing units, value, homeownership, and other information to better understand the current housing situation in the county.

### Housing Stock

Census estimates of housing units are shown in Table 20. New housing units in the county increased rapidly during the 80s, 90s and early 2000s. It is important to note that the American Community Survey produced *estimates* of total housing units for the years 2011-2015. Although the margin of error is relatively low for these years, it is advised to only draw broad conclusions over this time period. The data suggests that the housing construction market has been slow to rebound after the economic crisis of 2008. Future reiterations of this section will reveal more concrete trends and conclusions.

**Table 20. Total Housing Units - Botetourt County**

Year	Units	Change
1960*	5,215	
1970*	6,180	19%
1980*	8,710	41%
1990*	9,785	12%
2000*	12,571	28%
2010*	14,562	16%
2011	14,494	-0.5%
2012	14,555	0.4%
2013	14,588	0.2%
2014	14,628	0.3%
2015	14,749	1%

Source: \*U.S. Bureau of the Census; American Community Survey, 2010-2014 5-Year Estimates; American Community Survey July 2015 estimates

Table 21 shows the year that a particular residence was built. It is interesting to note that, according to the Census, the majority of housing stock in the county was built between 1970 and 2009. This corresponds with the general shape of the population curve shown in Figure 1. Therefore, a correlation may exist between the decrease in new housing structures and the decrease in new residents in the county. This correlation is likely the result of several external factors, including decreased economic activity which would draw in new workers and residents. Likewise, Roanoke county shows a similar distribution in the year built, while the broader Roanoke MSA demonstrates more stable housing growth over time.

**Table 21. Year Structure Was Built, Peer Comparison**

Year Built	Botetourt County	% Total	Roanoke County	% Total	Roanoke MSA	% Total
Built 2010 or later	95	1%	221	1%	790	1%
Built 2000 to 2009	2,629	18%	4,610	11%	17,545	12%
Built 1990 to 1999	2,898	20%	5,673	14%	18,940	13%
Built 1980 to 1989	2,054	14%	6,200	15%	18,523	13%
Built 1970 to 1979	2,598	18%	10,123	25%	26,250	18%
Built 1960 to 1969	1,075	7%	6,451	16%	18,432	13%
Built 1950 to 1959	1,003	7%	4,210	10%	18,112	12%
Built 1940 to 1949	425	3%	1,218	3%	8,753	6%
Built 1939 or earlier	1,851	13%	1,613	4%	18,034	12%
<b>Total Housing Units</b>	<b>14,628</b>	<b>100%</b>	<b>40,319</b>	<b>100%</b>	<b>145,379</b>	<b>100%</b>

Source: 2010-2014 American Community Survey 5-Year Estimates

Housing stock in Botetourt is predominantly single-family, detached housing units (Table 22).

**Table 22. Housing Units per Structure**

	Botetourt County	% Total	Roanoke County	% Total	Roanoke MSA	% Total
1-Unit, detached	12,489	85%	30,662	76%	104,328	72%
1-Unit, Attached	289	2%	1,968	5%	4,627	3%
2 Units	130	1%	634	2%	4,575	3%
3 or 4 Units	76	1%	470	1%	3,789	3%
5 to 9 Units	122	1%	1,310	3%	5,271	4%
10 to 19 Units	23	0%	2,886	7%	8,645	6%
20 or More Units	189	1%	1,374	3%	5,227	4%
Mobile Home	1,300	9%	991	2%	8,860	6%
Boat, RV, Van, etc.	10	0%	24	0%	57	0%
<b>Total Housing Units</b>	<b>14,628</b>	<b>100%</b>	<b>40,319</b>	<b>100%</b>	<b>145,379</b>	<b>100%</b>

Source: U.S. Census Bureau, 2010-2014 American Community Survey 5-Year Estimates

As can be seen in Table 23, these units often contain multiple rooms, with 21% of all homes in Botetourt County having nine rooms or more. Table 24 shows that most of the houses in the county have three or more bedrooms. Table 25 shows that close to 100% of households in Botetourt County have sufficient rooms to allow for one occupant or less per room.

**Table 23. Number of Rooms**

Botetourt County	Estimate	Percent
Total Housing Units	14,628	100%
1 Room	228	2%
2 Rooms	128	1%
3 Rooms	418	3%
4 Rooms	1,253	9%
5 Rooms	2,352	16%
6 Rooms	2,615	18%
7 Rooms	2,616	18%
8 Rooms	1,998	14%
9 Rooms or More	3,020	21%
Median Rooms	6.6	-----

Source: U.S. Bureau of the Census,  
2010-2014 American Community Survey 5-Year Estimates

**Table 24. Number of Bedrooms**

Botetourt County	Estimate	Percent
Total Housing Units	14,628	100%
No Bedroom	237	3%
1 Bedroom	493	3%
2 Bedrooms	2,434	17%
3 Bedrooms	7,031	48%
4 Bedrooms	3,549	24%
5 or More Bedrooms	884	6%

Source: U.S. Bureau of the Census,  
2010-2014 American Community Survey 5-Year Estimates

**Table 25. Occupants per Room**

Botetourt County	Estimate	Percent
Occupied Housing Units	12,867	100%
1.00 or Less	12,699	98.7%
1.01 to 1.50	57	0.4%
1.51 or More	111	0.9%

Source: U.S. Bureau of the Census,  
2010-2014 American Community Survey 5-Year Estimates

Housing in Botetourt largely relies on a centralized electrical system to provide heat. However, there is still a significant portion of the housing stock which uses utility gas, at 19%. Many houses also use fuel sources that must be delivered to tanks on site by truck or other vehicle, such as bottled gas or fuel oil, equating to 17% of all housing stock. Lastly, 7% of houses are heated solely by wood in Botetourt County. This is a high percentage, though perhaps not atypical in rural areas of Southwest Virginia.

**Table 26. Type of Heating Fuel**

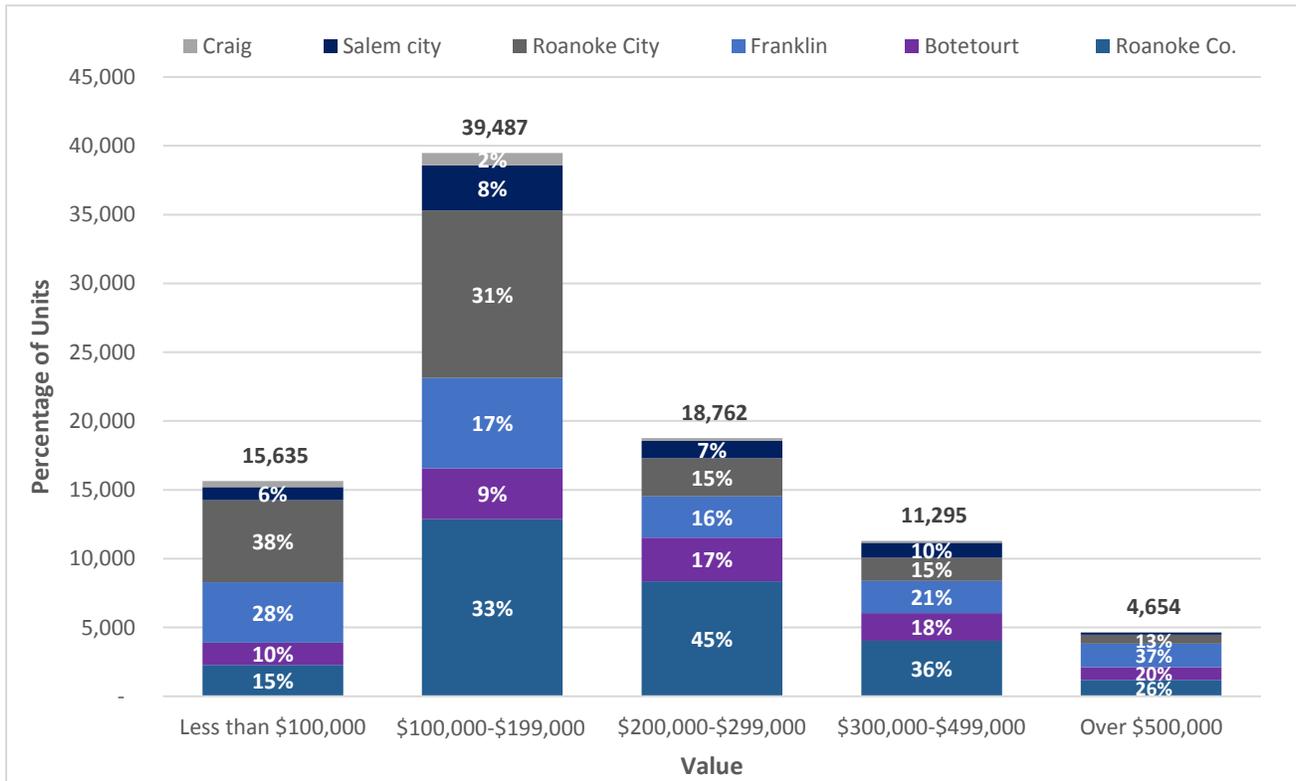
<b>Botetourt County</b>	<b>Estimate</b>	<b>Percent</b>
Total Housing Units	12,867	100%
Utility Gas	2,441	19%
Bottled, Tank or LP Gas	1,049	8%
Electricity	7,244	56%
Fuel Oil, Kerosene, etc.	1,174	9%
Coal or Coke	0	0.0%
Wood	935	7%
Solar Energy	5	0.0%
Other Fuel	19	0.1%
No Fuel Used	0	0.0%

Source: U.S. Bureau of the Census, 2010-2014 American Community Survey 5-Year Estimates

## Housing Value

Figure 9 shows the values of owner-occupied housing units in Botetourt and its peer localities. Botetourt County has a relatively high housing value, with 28% of homes being priced between \$200,000 and \$299,999, and an additional 18% being priced between \$300,000 and \$499,999. This means that roughly half of the owner-occupied housing units in Botetourt are valued at over \$200,000. In contrast, only 39% of the housing units in the broader MSA are valued so highly. Despite high home values, housing occupancy in the county is fairly average, with a homeowner vacancy rate of only 2%. This indicates a sustained demand for more expensive housing stock.

**Figure 9. Occupied Housing Units and their Values, Peer Comparison**



Source: U.S. Bureau of the Census, American Community Survey 2010-2014 5-Year Estimates

Table 27 shows how many of the owner-occupied housing units in the county are estimated to have a mortgage, and how many do not have a mortgage currently. The number of housing units with a mortgage mirrors that of the Roanoke MSA.

**Table 27. Mortgage Information, Owner-Occupied Housing Units**

Mortgage Status	Botetourt County		Roanoke MSA	
	Estimate	% Total	Estimate	% Total
Owner-occupied units	11,366		89,833	
Housing units with a mortgage	7,243	64%	57,258	64%
Housing units without a mortgage	4,123	36%	32,575	36%

Source: U.S. Bureau of the Census, 2010-2014 American Community Survey 5-Year Estimates

### Rental Units and Rates

Rental units are important accommodations for people who want to work in Botetourt but may not have enough money to take out a mortgage or purchase a house. Renting is also a common choice for people who are taking jobs in a community but do not intend to remain in that area for longer than 5 years. Currently, there is a relatively limited rental market in Botetourt County.

In Botetourt County, approximately 88% of occupied housing units are owner occupied and 12% are renter occupied, which is significantly lower than the communities selected for peer comparison. The number of rental units in surrounding localities are higher, with the closest peer comparison being Craig County with an estimated 19% of housing stock classified as renter-occupied. More broadly, rentals comprise 26% of the of the housing stock in the Roanoke MSA.

**Table 28. Housing Tenure and Characteristics, Peer Comparison**

Housing Units	Botetourt County		Craig County		Franklin County		Roanoke County		Roanoke City		Salem City	
	Total	%	Total	%	Total	%	Total	%	Total	%	Total	%
Total	14,628	--	2,868	--	29,386	--	40,319	--	47,330	--	10,848	--
Occupied	12,867	88%	2,151	75%	23,248	79%	38,197	95%	42,549	90%	9,953	92%
Owner-occupied	11,366	88%	1,733	81%	18,072	78%	28,749	75%	23,204	55%	6,709	67%
Renter-occupied	1,501	12%	418	19%	5,176	22%	9,448	25%	19,345	46%	3,244	33%
Vacant	1,761	12%	717	25%	6,138	21%	2,122	5%	4,781	10%	895	8%

Source: American Community Survey, 2010-2014 5-Year Estimates; U.S. Bureau of the Census, July 1, 2015 Population Estimates.

An estimated 90% of rental units in the county cost over \$500 a month, while 59% cost over \$750 per month. Assuming that a renter should pay no more than 30% of their monthly income on rent in order to remain financially stable, this means that roughly 41-70% of rental properties in Botetourt are priced at rates which would be affordable to people making \$3,000 per month, or a minimum of \$36,000 a year.

This is a decent middle class wage, but many employees in the county like those occupations listed in Table 16 are projected to make less than this.

**Table 29. Gross Rental Rates, Botetourt County**

Botetourt County	Estimate	Percent
Occupied Units Paying Rent	1,263	100%
Less than \$200	0	0.0%
\$200 to \$299	0	0.0%
\$300 to \$499	158	12.5%
\$500 to \$749	361	28.6%
\$750 to \$999	364	28.8%
\$1,000 to \$1,499	333	26.4%
\$1,500 or More	47	3.7%
Median (Dollars)	881	N/A
No Rent Paid	238	N/A

Source: U.S. Bureau of the Census, 2010-2014 American Community Survey 5-Year Estimates

Median rent in Botetourt County is \$881 per month, which would require that the renter make \$2,936 per month, or \$35,232 annually, to keep this expense at 30% of their income. Compared to the broader Roanoke MSA, Botetourt County has the highest rent. However, median rent appears competitive with that of Roanoke County and Salem City.

**Table 30. Median Rent, Peer County Comparison**

Municipality	Median Rent	Margin of Error
Botetourt County	\$881	+/-123
Roanoke County	\$857	+/-23
Salem City	\$833	+/-24
Roanoke City	\$719	+/-14
Franklin County	\$ 668	+/-45
Craig County	\$550	+/-112
<b>Roanoke MSA</b>	<b>\$751</b>	<b>N/A</b>

Source: U.S. Census Bureau, 2010-2014 American Community Survey 5-Year Estimates

Table 31 shows gross rent in the county as a percentage of income. It indicates that 64% of people renting in Botetourt County are paying less than 30% of their monthly income in rent. This leaves 36% of the county paying an amount greater than 30% of their monthly income. In comparison with the broader MSA, Botetourt appears to be on par with average distribution of percent income dedicated to rent. Peer comparison reveals a similar rent as a percentage of income to that of Roanoke County. Craig County is particularly notable, as 84% of residents dedicate less than 30% of their income to rent, this could be attributed to Craig County having the lowest median rent (\$550) in the Roanoke MSA.

**Table 31. Rent as a Percentage of Income, Peer Comparison, 2014**

Percent Income	Botetourt County	Craig County	Franklin County	Roanoke County	Roanoke City	Salem City	Roanoke MSA
Less than 30%	64%	84%	50%	60%	51%	51%	60%
30.0 to 34.9%	6%	0%	11%	9%	8%	5%	7%
35.0% or more	30%	16%	39%	32%	41%	44%	33%

Source: American Community Survey 2010-2014 5-Year Estimates

## Homeowner Information

The majority of households in the county are married couple households, of which 35% contain children less than 18 years of age.

**Table 32. Households and Families - Botetourt County**

Subject	Married-couple	Male HH, no wife present	Female HH, no husband present	Nonfamily household	Total
<b>Total Households</b>	<b>8,637</b>	<b>373</b>	<b>1,031</b>	<b>2,826</b>	<b>12,867</b>
Average HH Size	2.94	2.87	2.86	1.19	2.55
<b>Families</b>					
Total Families	8,637	373	1,031	N/A	10,041
Average Family Size	2.94	2.71	2.72	N/A	2.91
<b>Age of Own Children</b>					
HH with Own Children Under 18	2,791	113	419	N/A	3,323
Under 6 Years	23%	8%	8%	N/A	21%
0 to 17 Years	15%	21%	19%	N/A	16%
6 to 17 Years	62%	71%	73%	N/A	63%
<b>Selected by Household Type</b>					
HH with 1 or more people under 18	35%	41%	60%	1%	30%
HH with 1 or more people older than 60	40%	43%	43%	55%	43%
Householder living alone	N/A	N/A	N/A	85%	19%
65 Years and over	N/A	N/A	N/A	40%	9%
<b>Unmarried Partner Households</b>					
Same Sex	N/A	N/A	N/A	N/A	0.4%
Opposite Sex	N/A	N/A	N/A	N/A	3%
<b>Units in Structure</b>					
1-Unit Structures	93%	69%	78%	84%	89%
2-or-More-Unit-Structures	1%	3%	8%	7%	3%
Mobile Homes and All Other Types of Units	6%	28%	14%	9%	8%
<b>Housing Tenure</b>					
Owner-Occupied Housing Units	93%	81%	86%	76%	88%
Renter-Occupied Housing Units	7%	19%	14%	24%	12%

Source, U.S. Bureau of the Census, 2010-2014 American Community Survey 5-Year Estimates

Note: HH=Household

Table 33 shows that most homeowners in Botetourt County maintain fairly long residencies, with only 12% having moved to their current dwelling unit during or after 2010. This could be an indicator of quality of life satisfaction or area job stability among other factors.

**Table 33. Year Householder Moved into Housing Unit**

Botetourt County	Estimate	Percent
Occupied Housing Units	12,867	100%
Moved in 2010 or Later	1,582	12%
Moved in 2000 to 2009	5,276	41%
Moved in 1990 to 1999	2,855	22%
Moved in 1980 to 1989	1,343	10%
Moved in 1970 to 1979	1,023	8%
Moved in 1969 or Earlier	788	6%

Source: U.S. Bureau of the Census, 2010-2014 American Community Survey 5-Year Estimates

## Agricultural Activity

Botetourt County has traditionally been a rural community heavily reliant on agriculture. Population growth, coupled with development and economic diversification have shifted industry. Consequently, the farming sector of the county has declined over time in absolute and relative size. Table 34 shows the changes in the characteristics of agriculture in Botetourt from 1982 to 2012. These statistics were obtained from the Census of Agriculture. In general, the data shows a diminishing role for agriculture as a part of the Botetourt County economy.

The number of farms decreased by 14% between the years of 1982 and 1997 and began to rebound in the early 2000s. Data for 2012, suggest a return to a trending decline. The extent to which the economic downturn of 2008 played a role in this decline cannot be extrapolated from this data. While the number of farms has decreased, the total acreage devoted to farming has recently increased (2007-2012) but shows an overall decline of 8% over the last decade. The average value of farms continues to rise, increasing 75% between 1997-2007 and a more modest 35% between 2002-2012. This reflects the overall trend of increasing land values throughout the County.

In 2015, the county developed the Botetourt County Agricultural Development Strategic Plan, a roadmap for local agriculture that contains strategic goals, objectives and initiatives to promote and expand local agriculture. The plan also explains in further detail the consumer and production trends impacting County Agriculture.

**Table 34. Agricultural Statistics**

	1982	1987	1992	1997	2002	2007	2012	%Δ 2002- 2012
Number of Farms	586	532	512	505	610	638	584	-4%
Land in Farms (acres)	97,835	97,523	96,833	90,502	97,091	87,913	89,316	-8%
Average Farm Size (acres)	167	183	189	179	159	138	153	-4%
<b>Estimated market value of land and buildings:</b>								
Average per farm (dollars)	\$179,118	\$202,592	\$259,284	\$332,893	\$496,590	\$584,921	\$668,360	35%
Average per acre (dollars)	\$1,007	\$1,070	\$1,459	\$1,870	\$2,732	\$4,245	\$4,370	60%
Total Cropland (acres)	46,236	40,465	41,373	40,662	44,393	27,662	26,190	-41%
Harvested Cropland (acres)	19,193	19,397	18,689	20,023	23,458	21,005	22,007	-6%
Market value of agricultural products sold (\$1000)	\$10,580	\$11,934	\$12,549	\$10,773	\$9,982	\$13,548	\$18,704	87%
Average per farm (dollars)	\$17,983	\$22,432	\$25,410	\$21,253	\$16,365	\$21,234	\$32,028	96%
Crops, including nursery and greenhouse crops (\$1000)	\$2,011	\$2,086	\$2,138	\$1,772	\$1,850	\$2,488	\$6,063	228%
Livestock, poultry, and their products (\$1000)	\$8,527	\$9,848	\$10,411	\$8,961	\$8,133	\$11,059	\$12,641	55%

Source: Census of Agriculture 1982, 1987, 1997, 2002, 2007, 2012

## Planning for Growth and Change

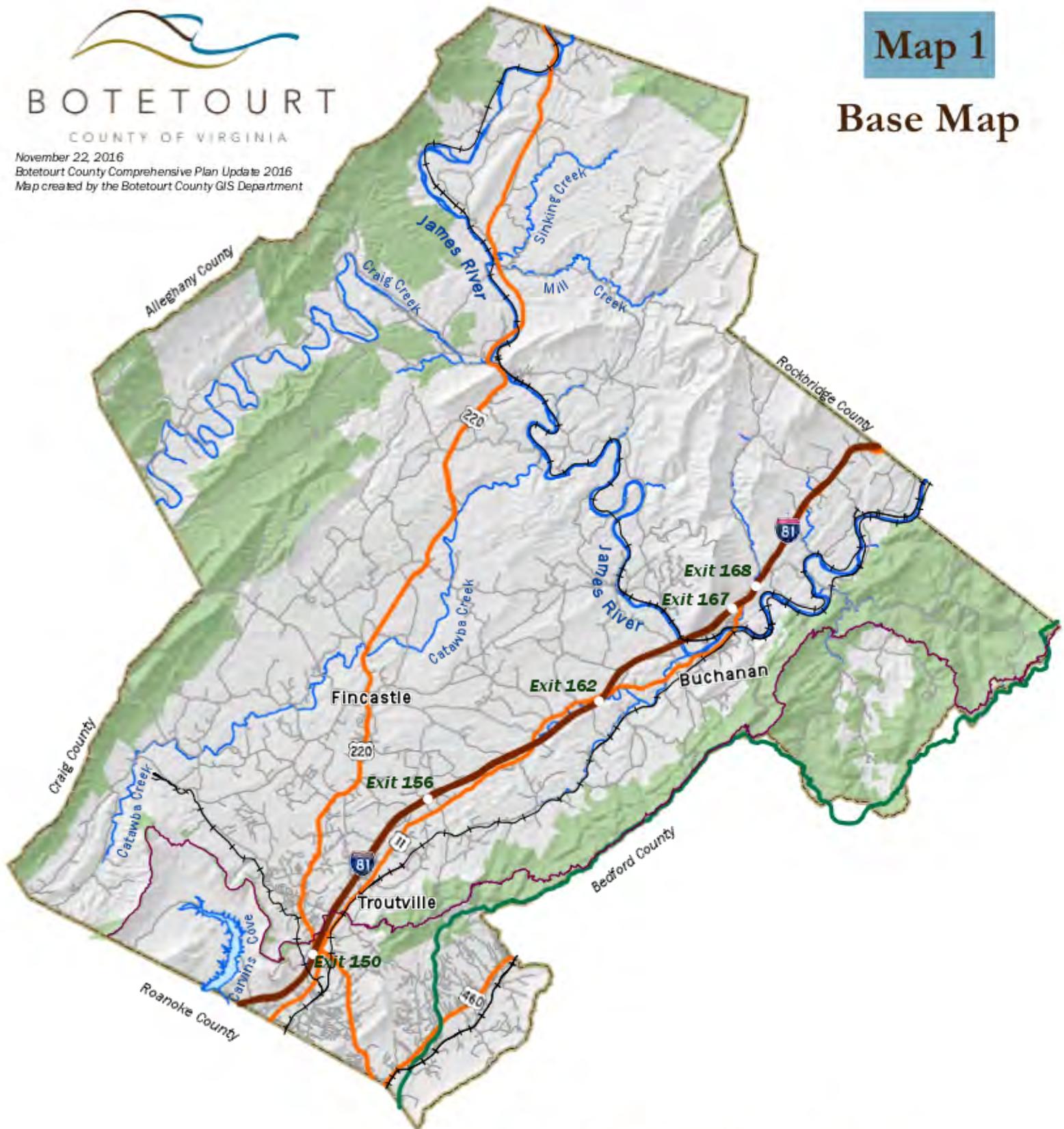
Change is usually inevitable, but not entirely unpredictable. As the children of the baby boom generation age and graduate from the County school system, they often leave the County to pursue higher education, job opportunities, or a greater diversity of housing options. Those same boomer children may gravitate back to the area with young families in later years. Seniors are increasingly choosing to “age in place” rather than migrate away from familiar communities for their retirement years. To remain attractive, competitive and stable, the County needs to anticipate changes that will affect the future and anticipate local, regional and national trends that will influence future land use patterns and drive public facility and utility needs. The comprehensive plan is designed to respond to the driving forces that will affect the County's future through policies that will maintain the county's quality of life and economic vitality.

# Map 1

## Base Map

**BOTETOURT**  
COUNTY OF VIRGINIA

November 22, 2016  
Botetourt County Comprehensive Plan Update 2016  
Map created by the Botetourt County GIS Department

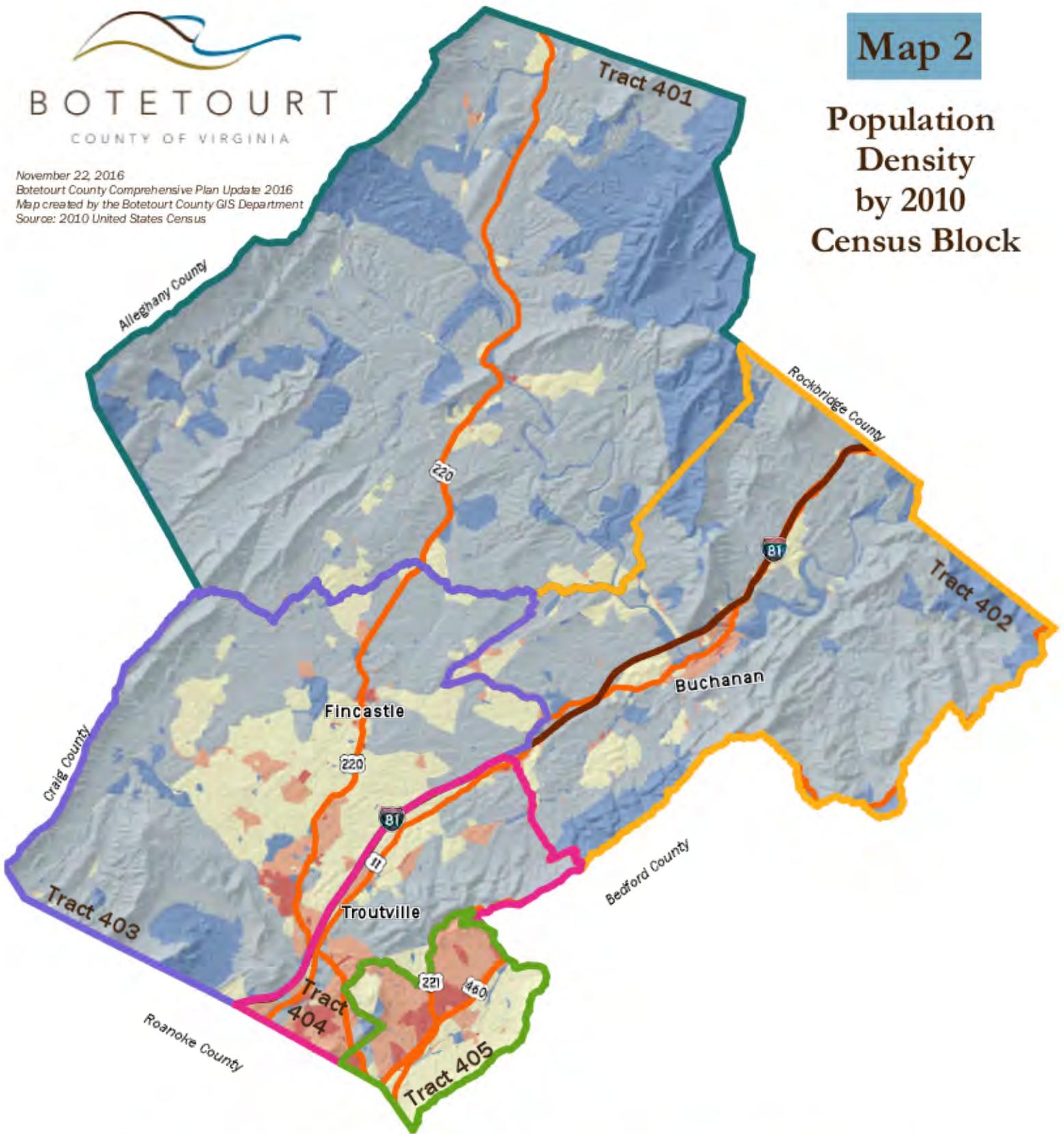


- +— Railroad
- Appalachian Trail
- National Forest
- Water Feature
- Blue Ridge Parkway
- Interstate
- Primary Road
- Secondary Road



# Map 2

## Population Density by 2010 Census Block



- Tract 401
- Tract 402
- Tract 403
- Tract 404
- Tract 405

**Population Density by Census Block (Persons per Sq. Mile)**





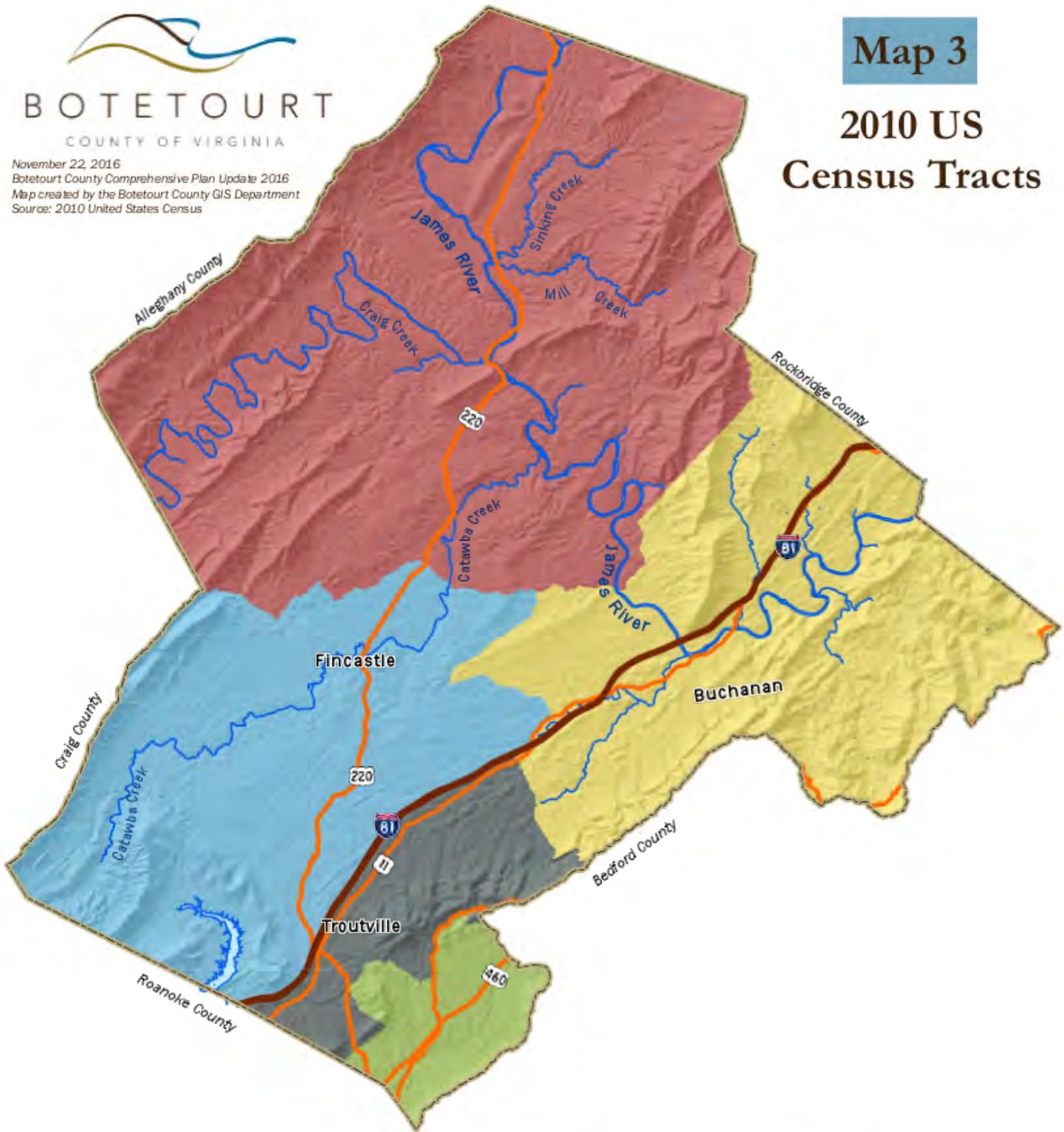
# BOTETOURT

COUNTY OF VIRGINIA

November 22, 2016  
Botetourt County Comprehensive Plan Update 2016  
Map created by the Botetourt County GIS Department  
Source: 2010 United States Census

## Map 3

### 2010 US Census Tracts



- |   |                  |   |                  |
|---|------------------|---|------------------|
|  | Census Tract 401 |  | Census Tract 404 |
|  | Census Tract 402 |  | Census Tract 405 |
|  | Census Tract 403 |   |                  |

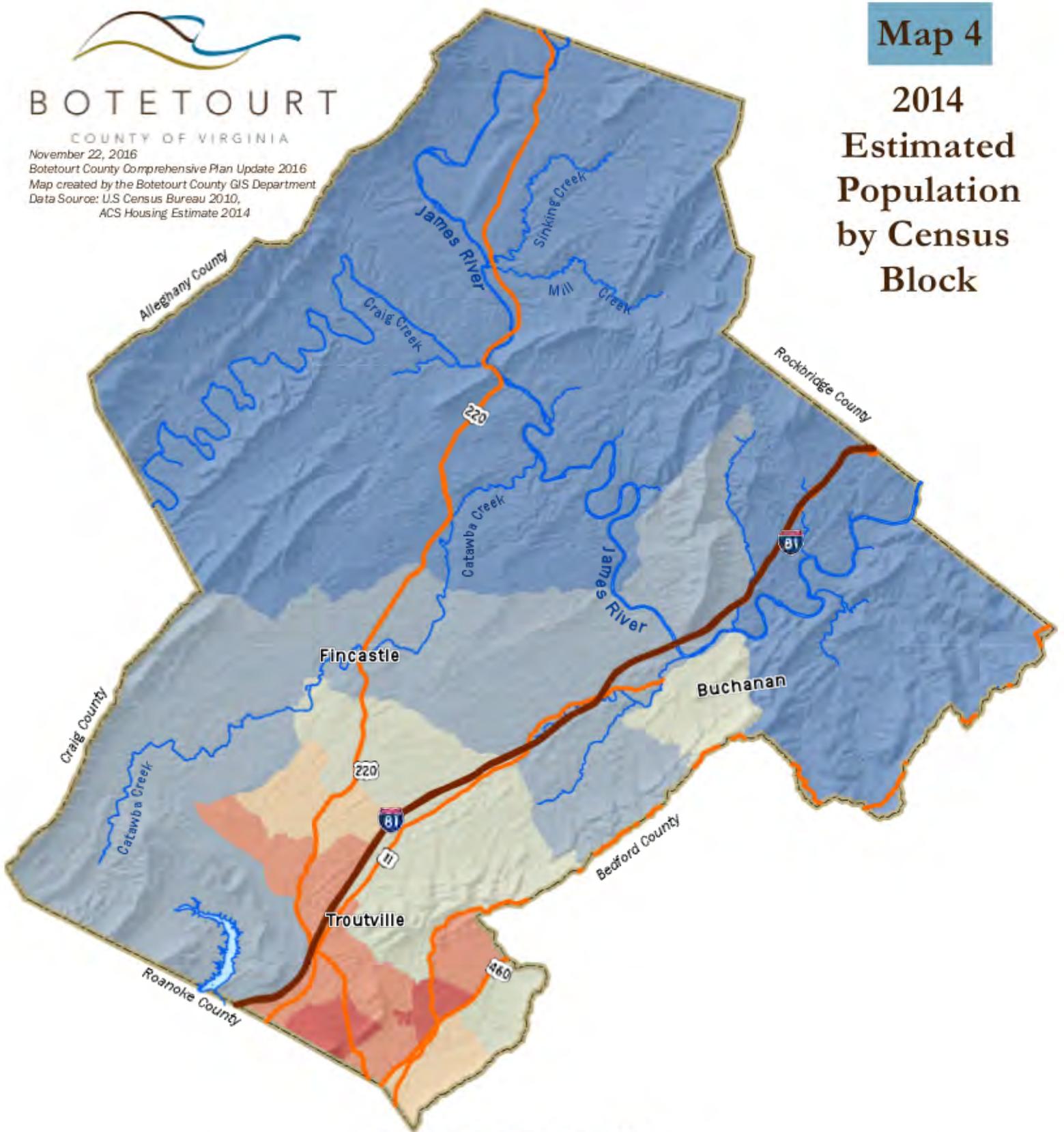


# Map 4

## 2014 Estimated Population by Census Block

**BOTETOURT**  
COUNTY OF VIRGINIA

November 22, 2016  
Botetourt County Comprehensive Plan Update 2016  
Map created by the Botetourt County GIS Department  
Data Source: U.S. Census Bureau 2010,  
ACS Housing Estimate 2014



2014 Estimated Population: 33,100

2014 Dwelling Units: 14,628

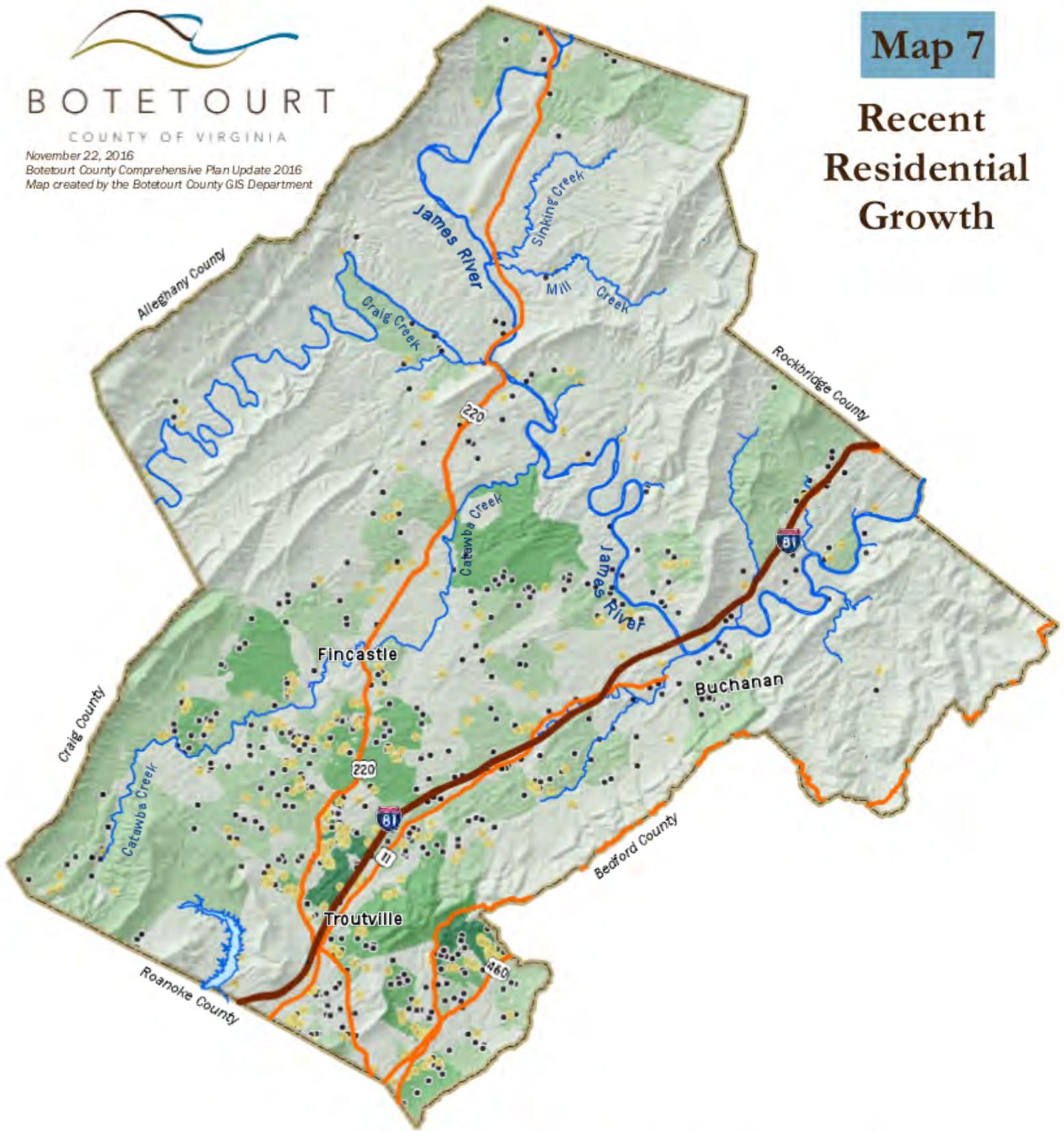
Average Person per Dwelling Unit (2014): 2.4

**Estimated 2014 Total Population based on Dwelling Units by Census Blocks**

9 - 30	60 - 122	198 - 543
31 - 59	123 - 197	544 - 1212



**Recent Residential Growth**

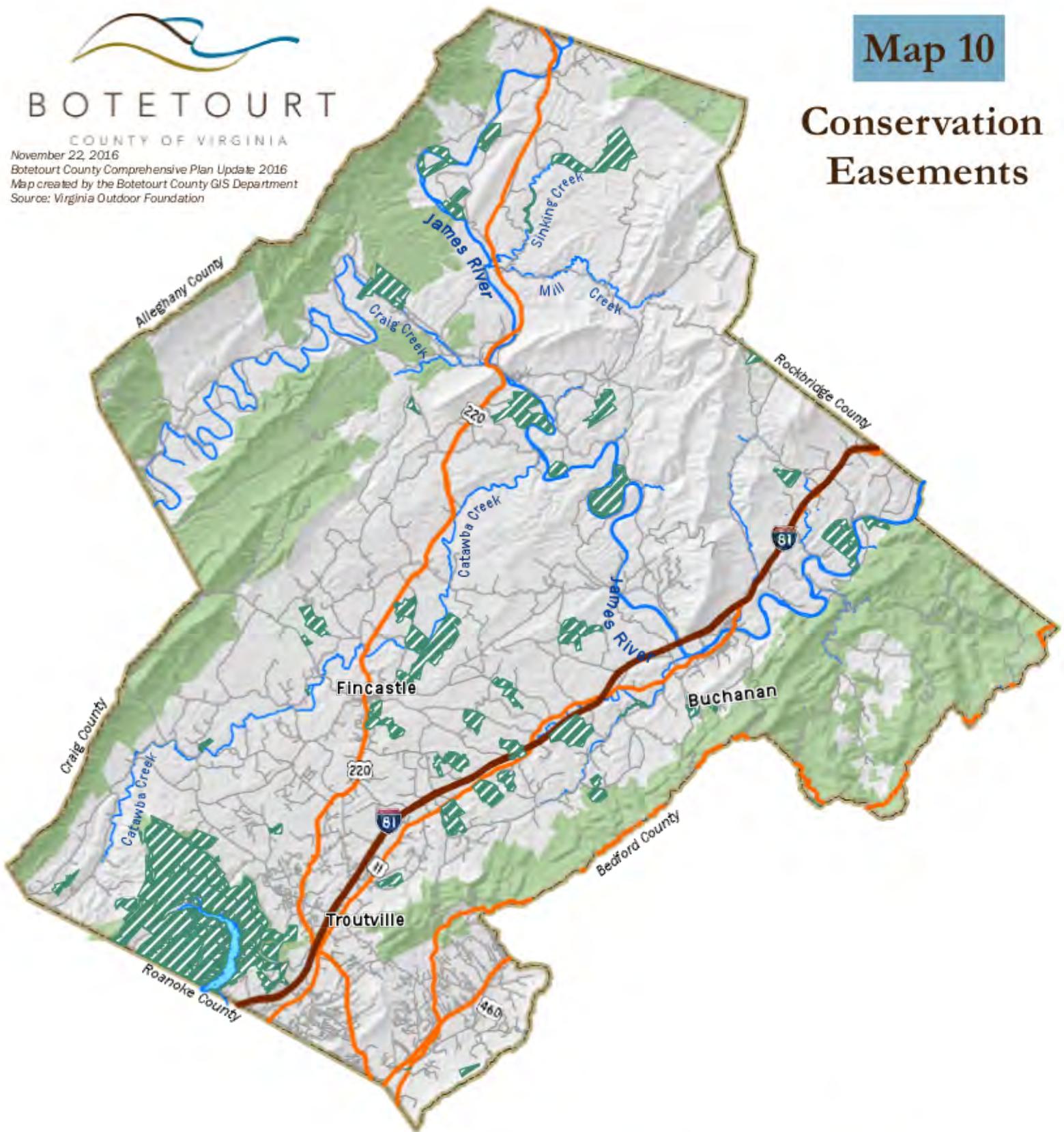


- Dwelling Unit Built Between 2005 - 2009
- Dwelling Unit Built Between 2010 - 2015

**Number of Dwelling Units Built Between 2005 and 2015 by Census Block**

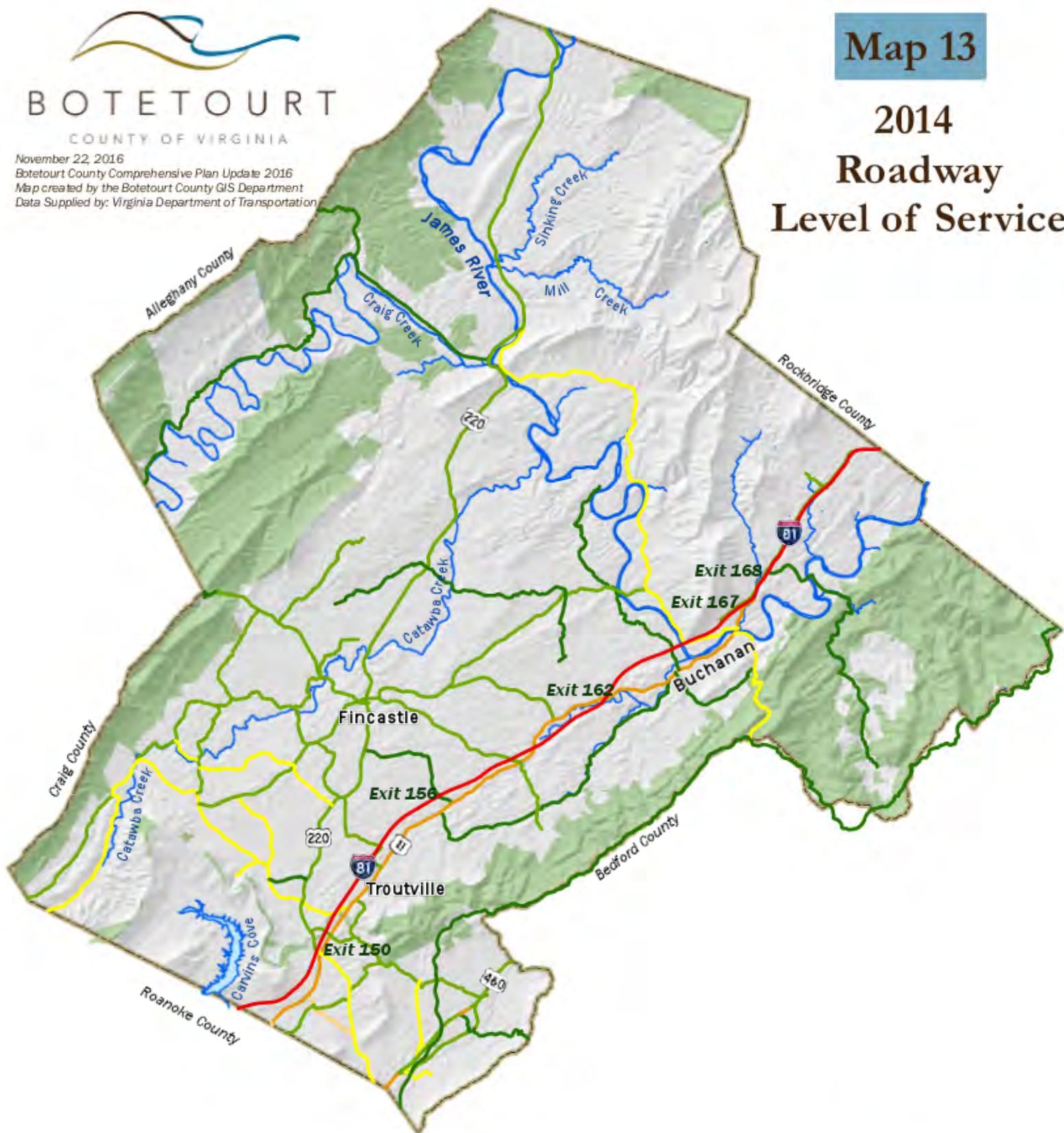


**Conservation Easements**

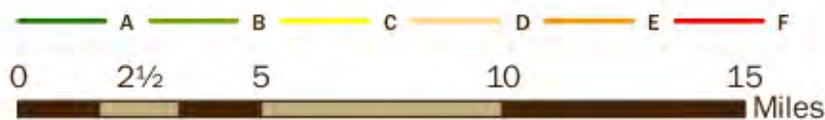


- Conservation Easements
- Water Feature
- National Forest
- Interstate
- Primary Road
- Secondary Road

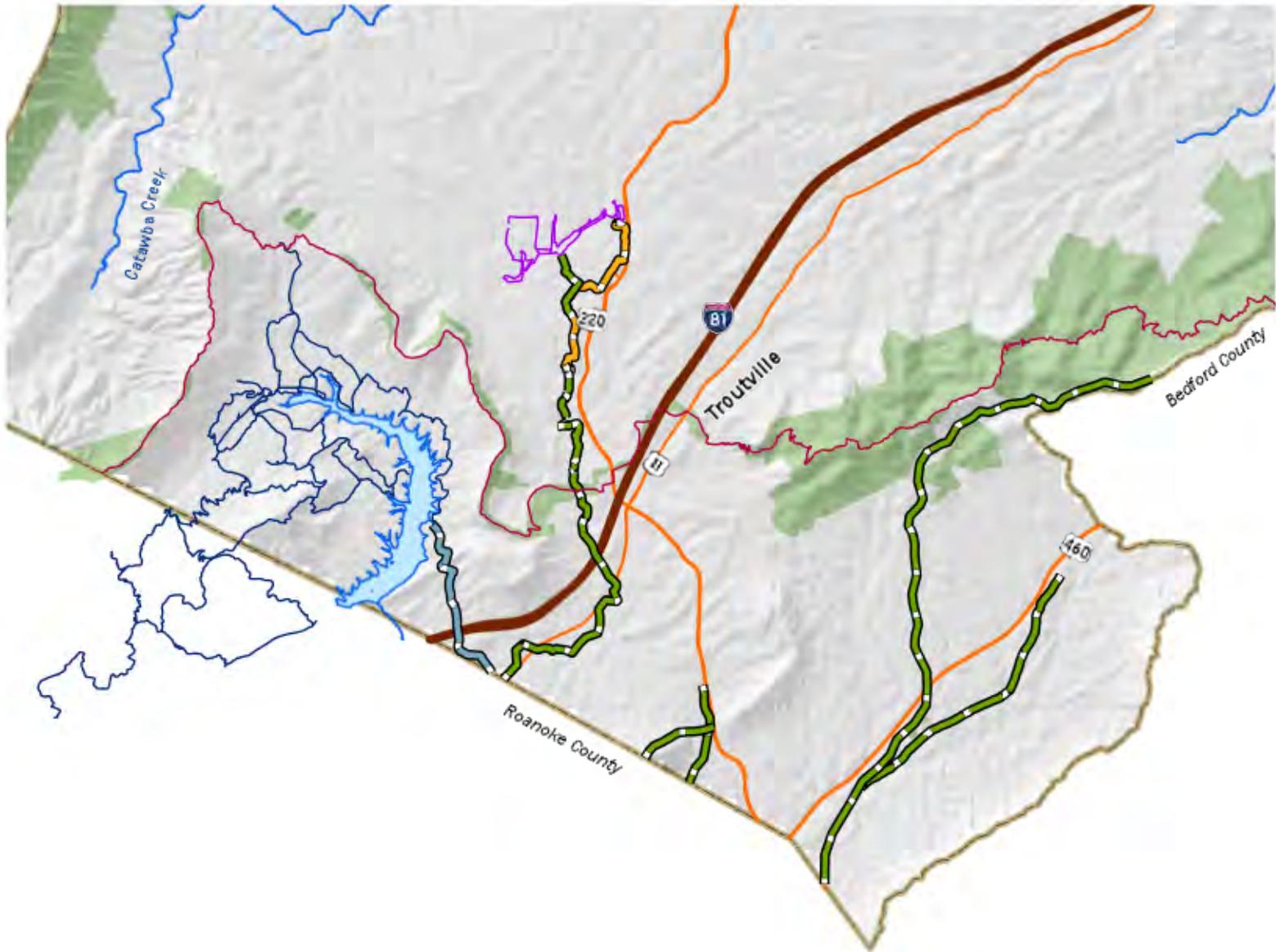




Current (2014) Level of Service Grades



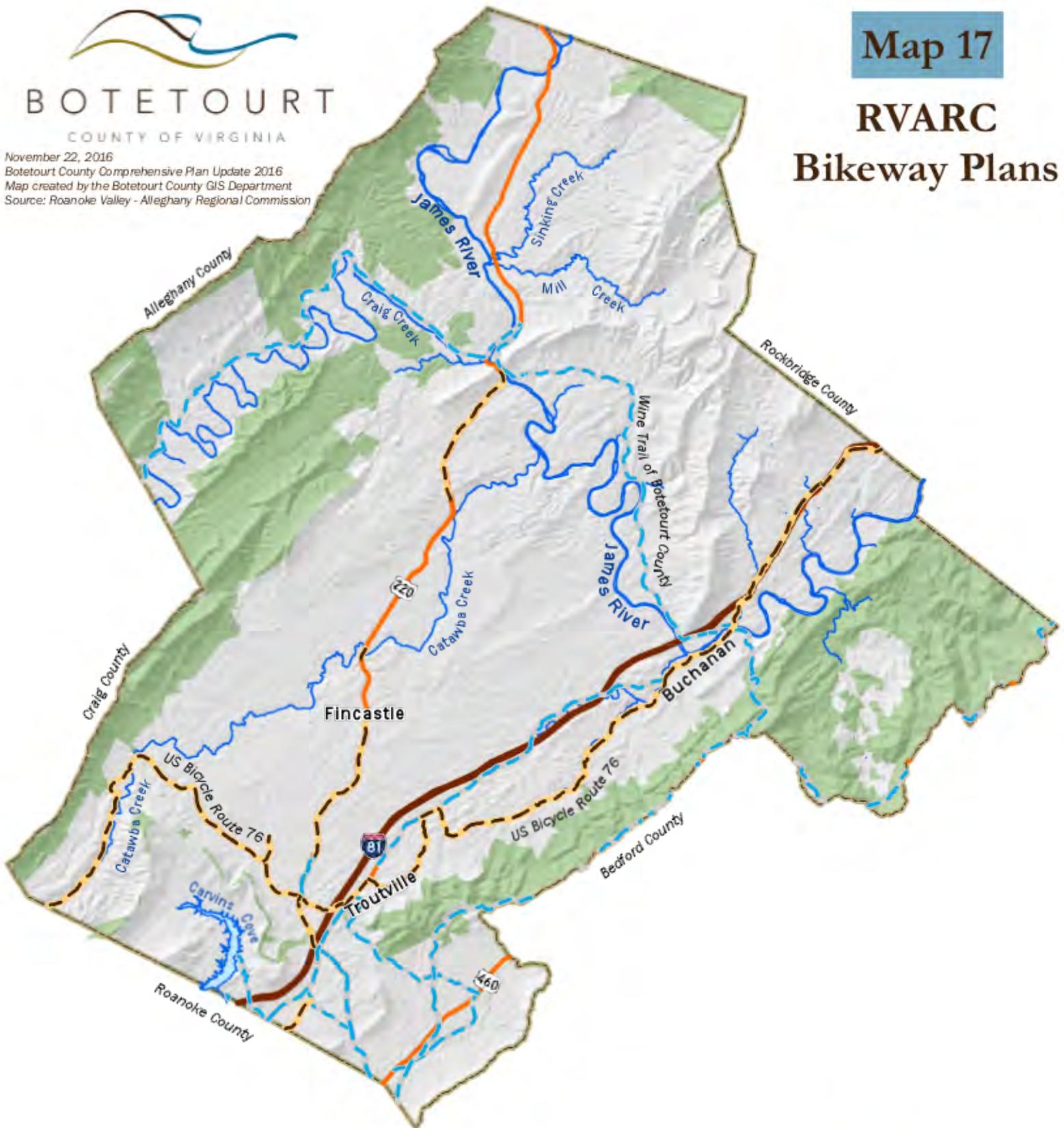
# Greenways and Recreational Trails



Greenways	Recreational Trails
 Daleville Greenway	 Appalachian Trail
 Proposed Greenways	 Greenfield Trails
 Tinker Creek Greenway	 Carvins Cove Trails

0    1    2    4    6  
Miles





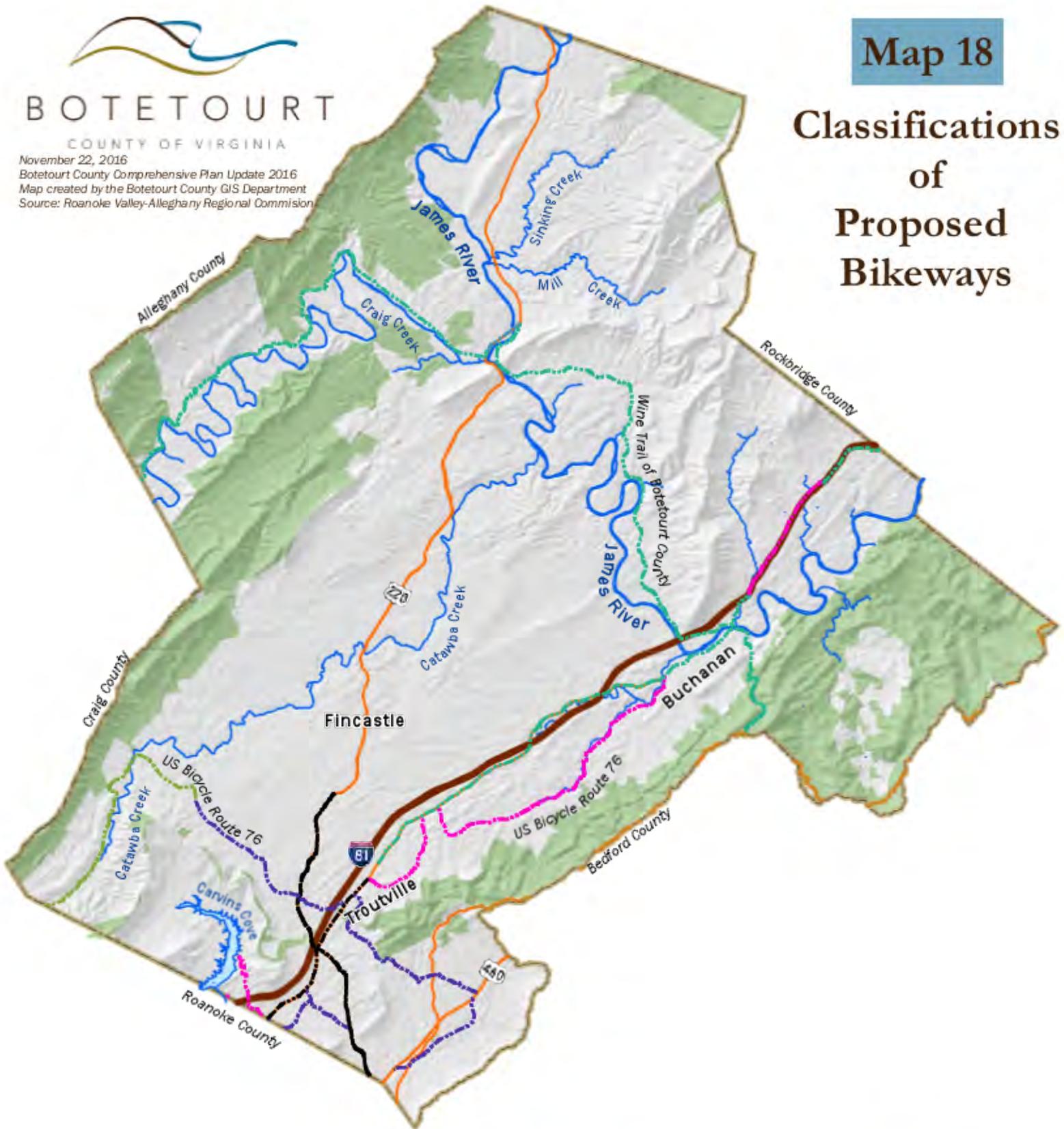
- Existing RVARC Designated Bikeway
- Proposed RVARC Designated Bikeway



# Classifications of Proposed Bikeways

**BOTETOURT**  
COUNTY OF VIRGINIA

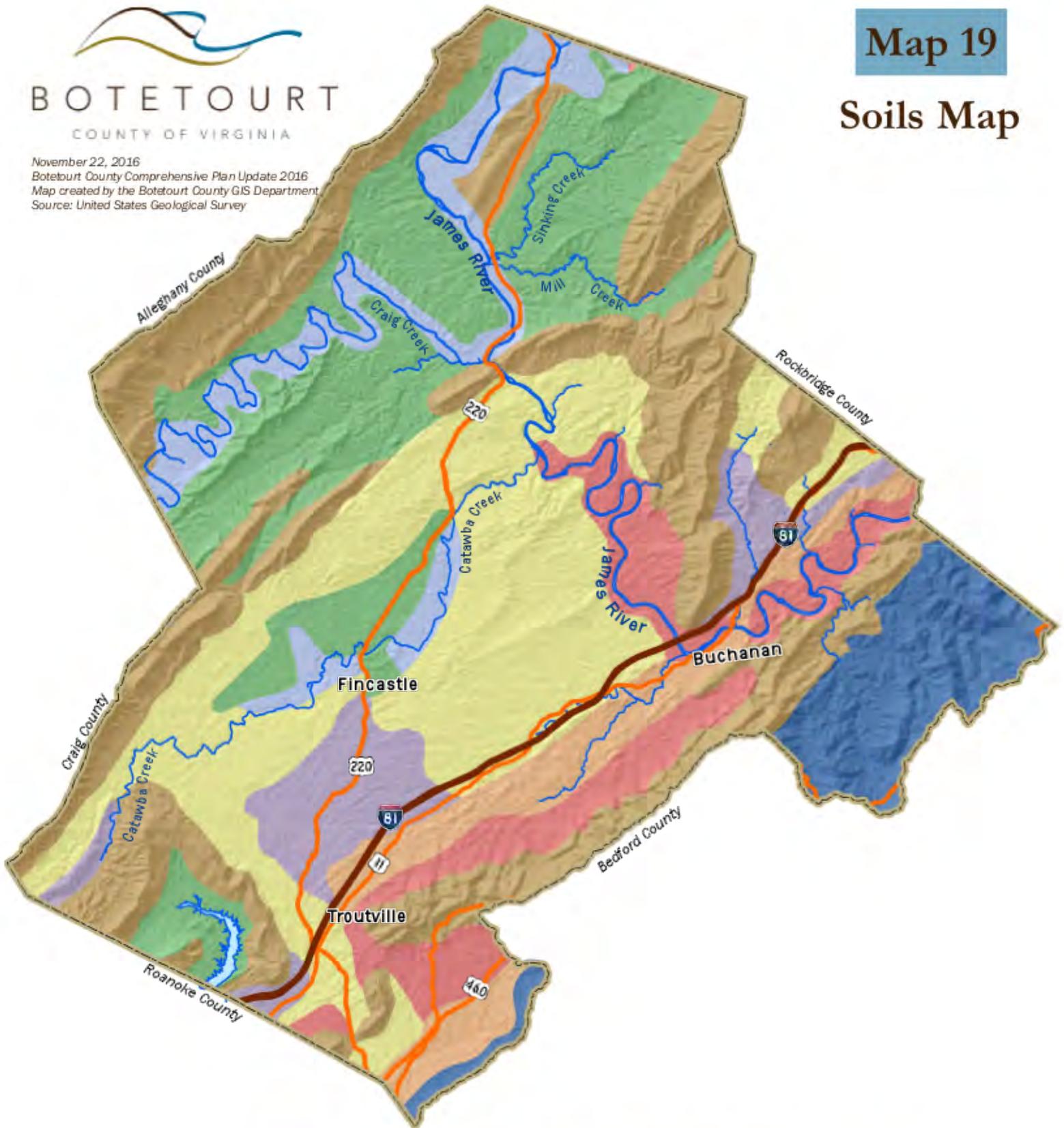
November 22, 2016  
Botetourt County Comprehensive Plan Update 2016  
Map created by the Botetourt County GIS Department  
Source: Roanoke Valley-Alleghany Regional Commission



### Bikeway Classifications

- Local Non-Classified
- Rural Major Arterial
- Rural Major Collector
- Urban Major Arterial
- Rural Minor Collector
- Urban Collector
- Rural Minor Arterial

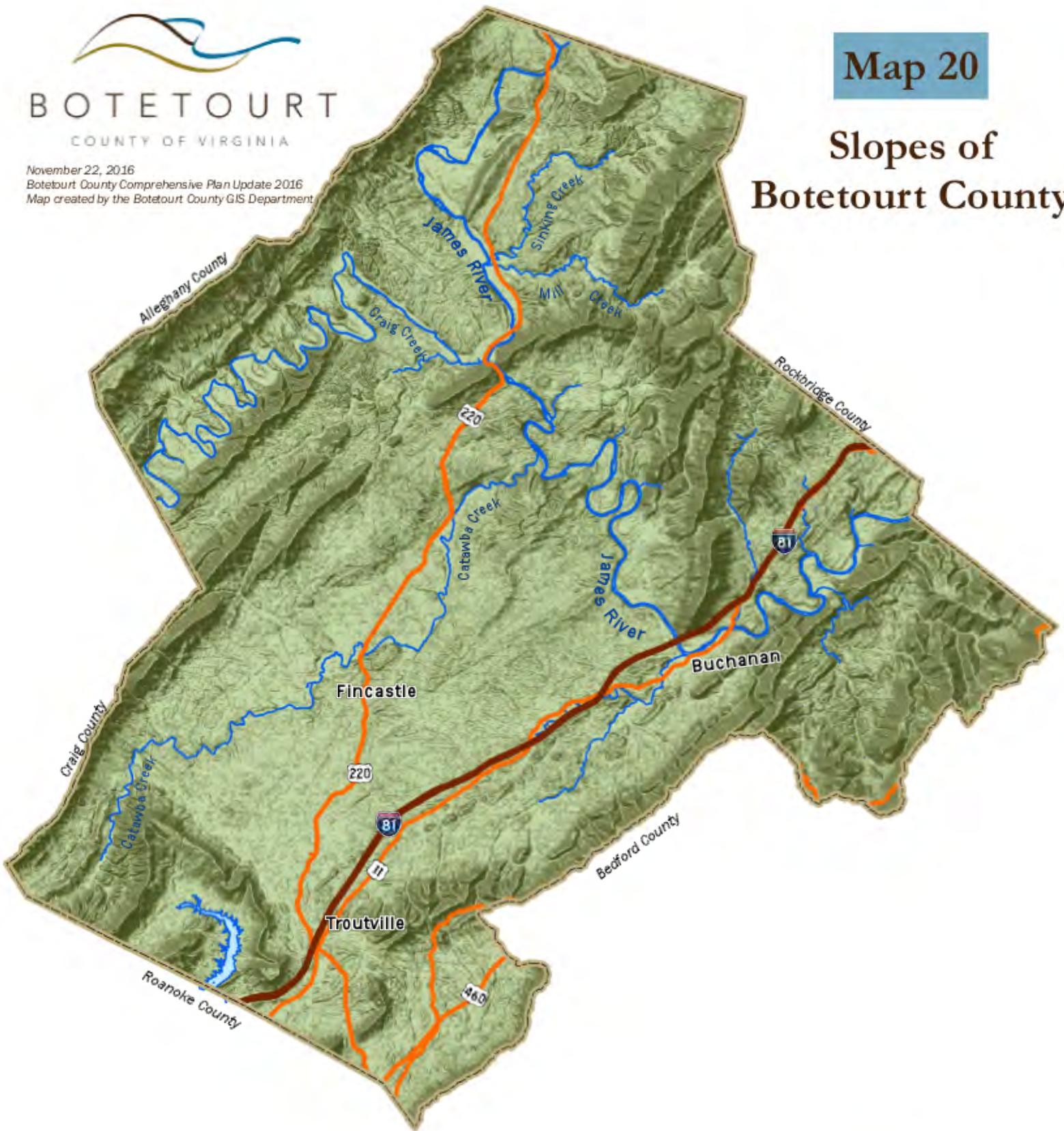




- |   |  |
|---|--|
|  Berks-Weikert-Laidig        |  Hayesville-Parker-Peaks    |
|  Carbo-Chilhowie-Frederick   |  Moomaw-Jefferson-Alonville |
|  Frederick-Carbo-Timberville |  Shottower-Laidig-Weikert   |
|  Groseclose-Litz-Shottower   |  Wallen-Dekalb-Drypond      |



**Slopes of Botetourt County**



**Degree of Slope**





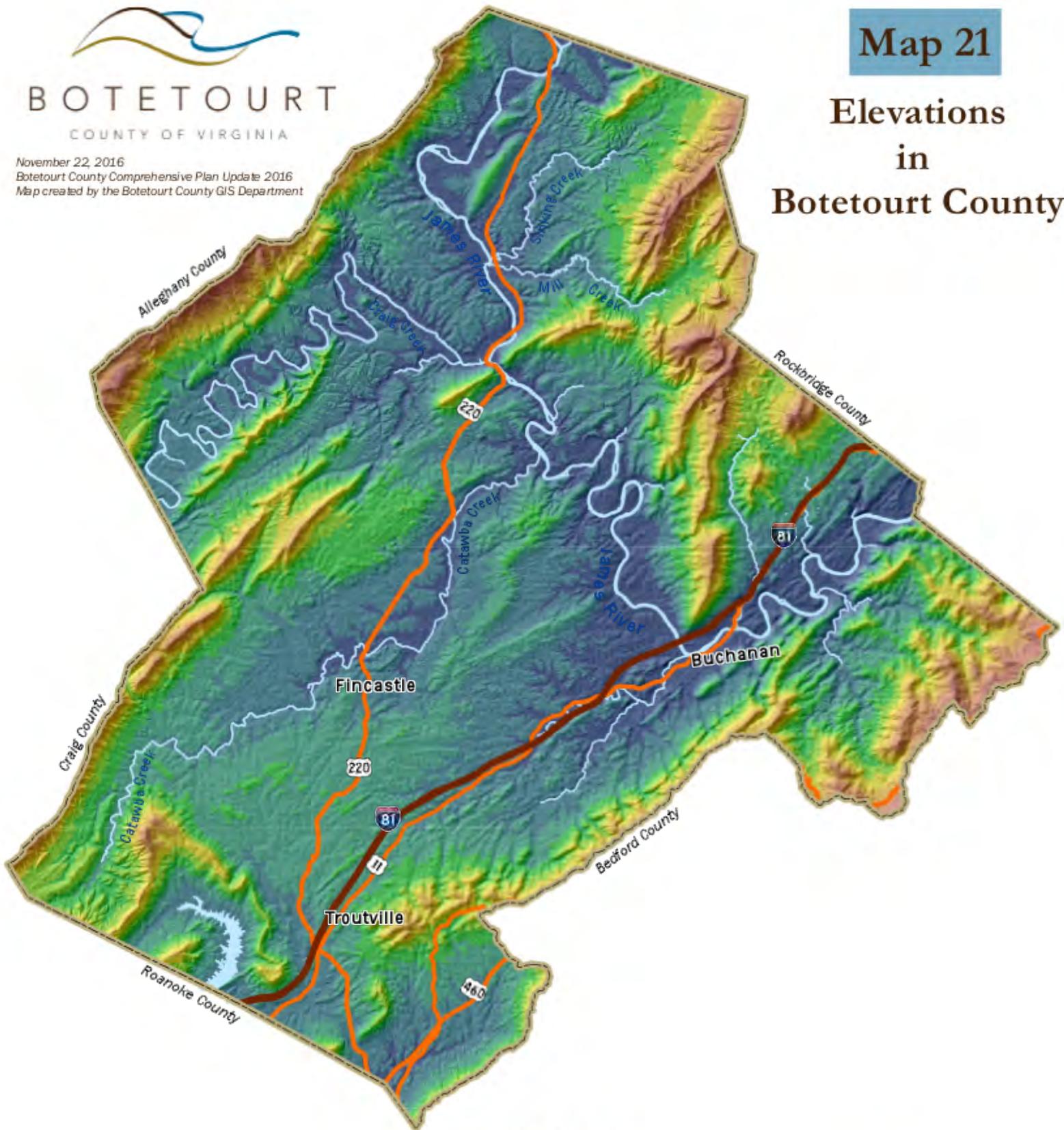
# BOTETOURT

COUNTY OF VIRGINIA

November 22, 2016  
Botetourt County Comprehensive Plan Update 2016  
Map created by the Botetourt County GIS Department

## Map 21

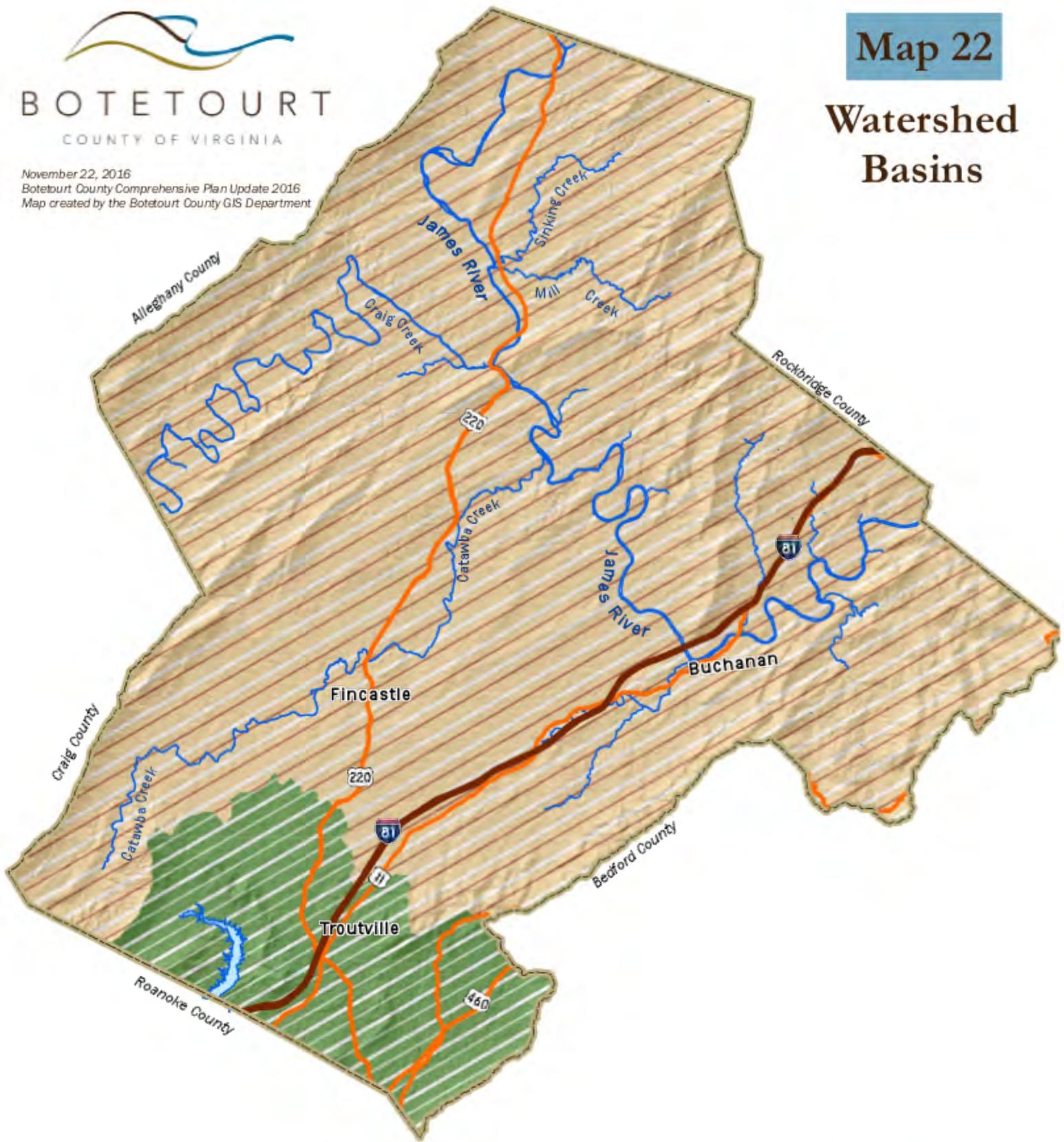
### Elevations in Botetourt County

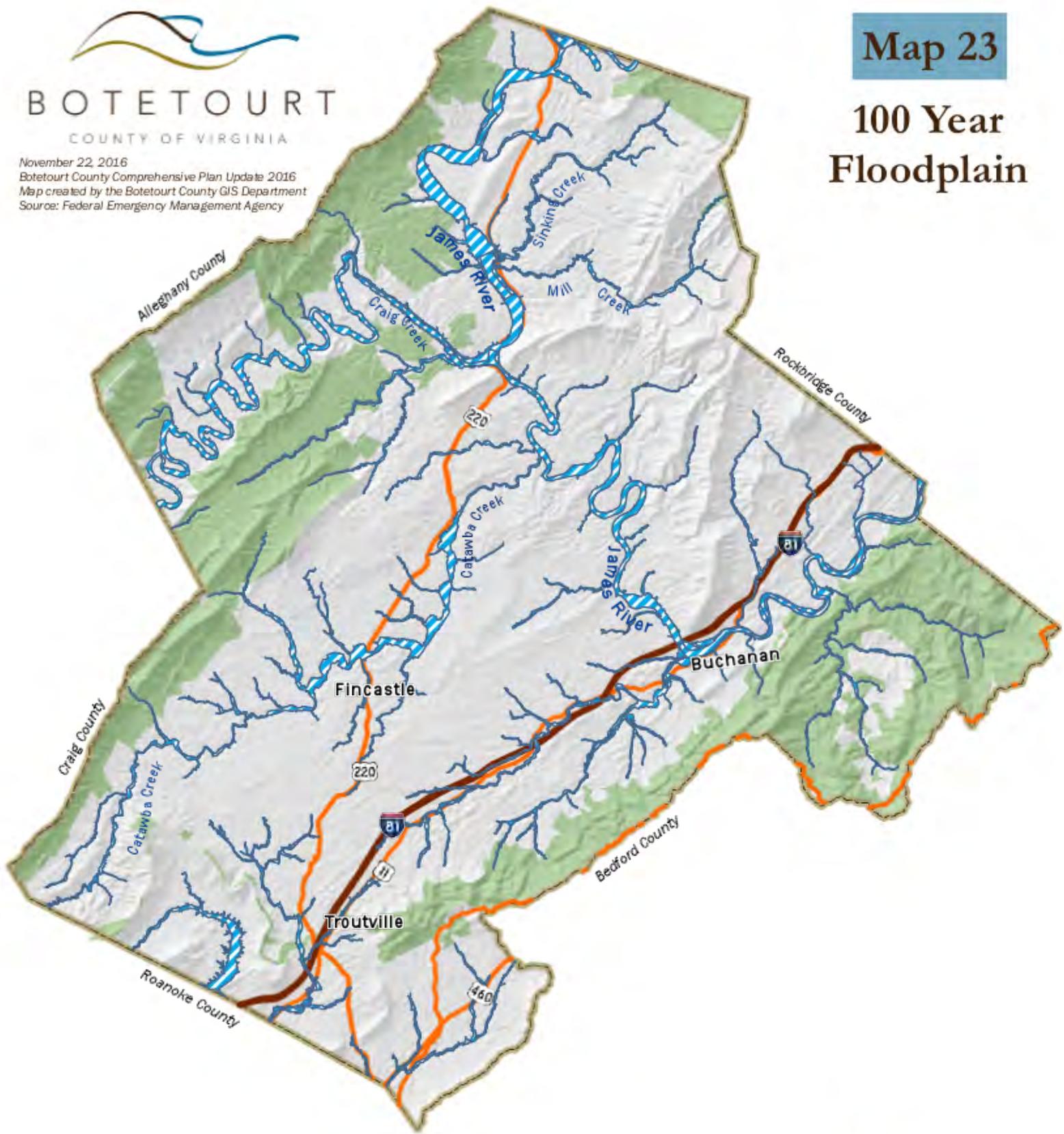


#### Elevation (Feet)

	725 - 1,096		1,476 - 1,709		2,277 - 2,618
	1,096 - 1,283		1,709 - 1,978		2,618 - 3,041
	1,283 - 1,476		1,978 - 2,277		3,041 - 4,226



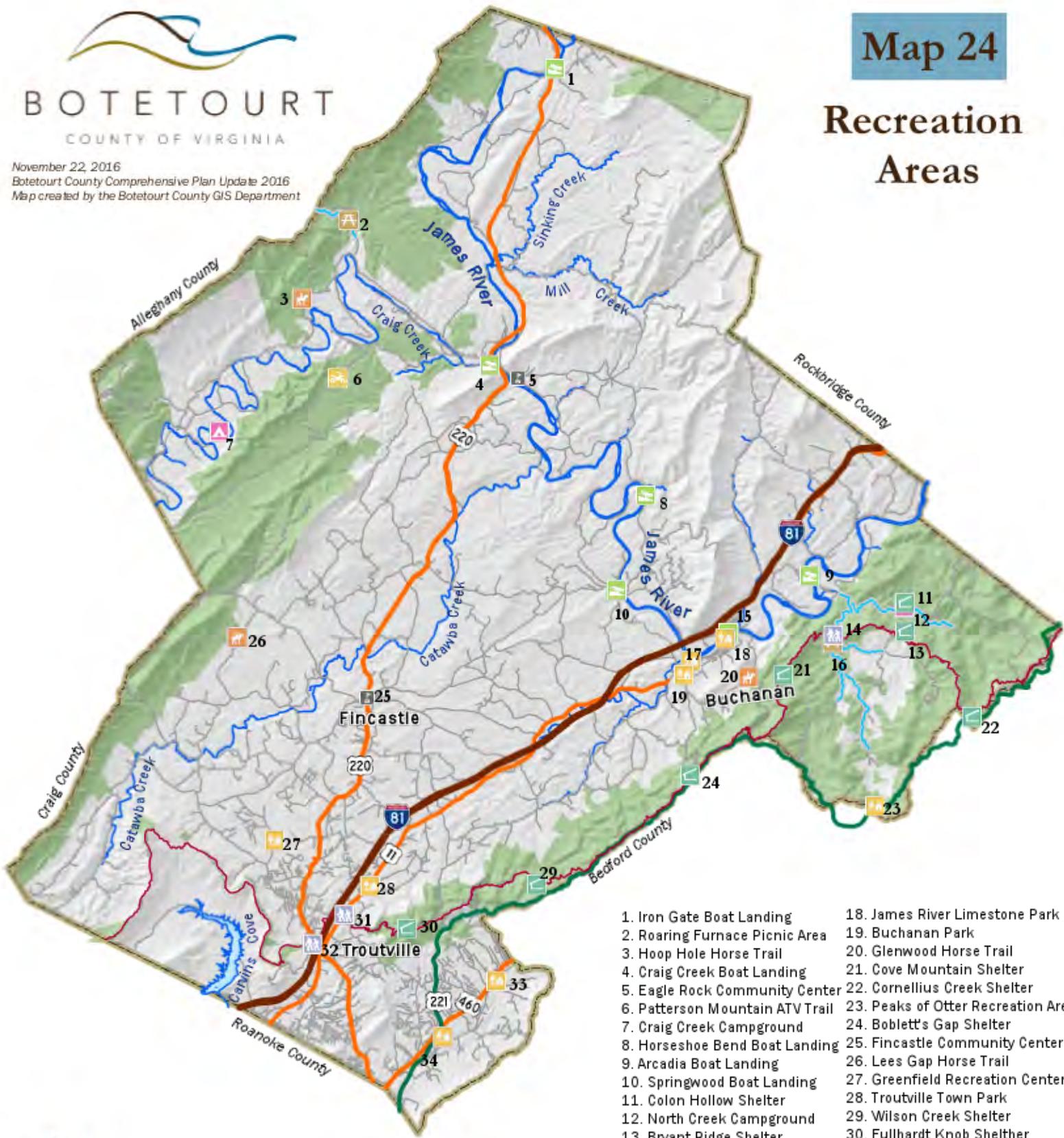




 100 Year Floodplain	 Interstate
 National Forest	 Primary Road



**Recreation Areas**



- |                                 |                                    |
|---------------------------------|------------------------------------|
| 1. Iron Gate Boat Landing       | 18. James River Limestone Park     |
| 2. Roaring Furnace Picnic Area  | 19. Buchanan Park                  |
| 3. Hoop Hole Horse Trail        | 20. Glenwood Horse Trail           |
| 4. Craig Creek Boat Landing     | 21. Cove Mountain Shelter          |
| 5. Eagle Rock Community Center  | 22. Cornelius Creek Shelter        |
| 6. Patterson Mountain ATV Trail | 23. Peaks of Otter Recreation Area |
| 7. Craig Creek Campground       | 24. Boblett's Gap Shelter          |
| 8. Horseshoe Bend Boat Landing  | 25. Fincastle Community Center     |
| 9. Arcadia Boat Landing         | 26. Lees Gap Horse Trail           |
| 10. Springwood Boat Landing     | 27. Greenfield Recreation Center   |
| 11. Colon Hollow Shelter        | 28. Troutville Town Park           |
| 12. North Creek Campground      | 29. Wilson Creek Shelter           |
| 13. Bryant Ridge Shelter        | 30. Fullhardt Knob Shelter         |
| 14. Jennings AT Access          | 31. Troutville AT Access           |
| 15. Buchanan Boat Landing       | 32. Daleville AT Access            |
| 16. Middle Creek Picnic Area    | 33. Boxley Fields                  |
| 17. Buchanan Carnival Grounds   | 34. Blue Ridge Park                |

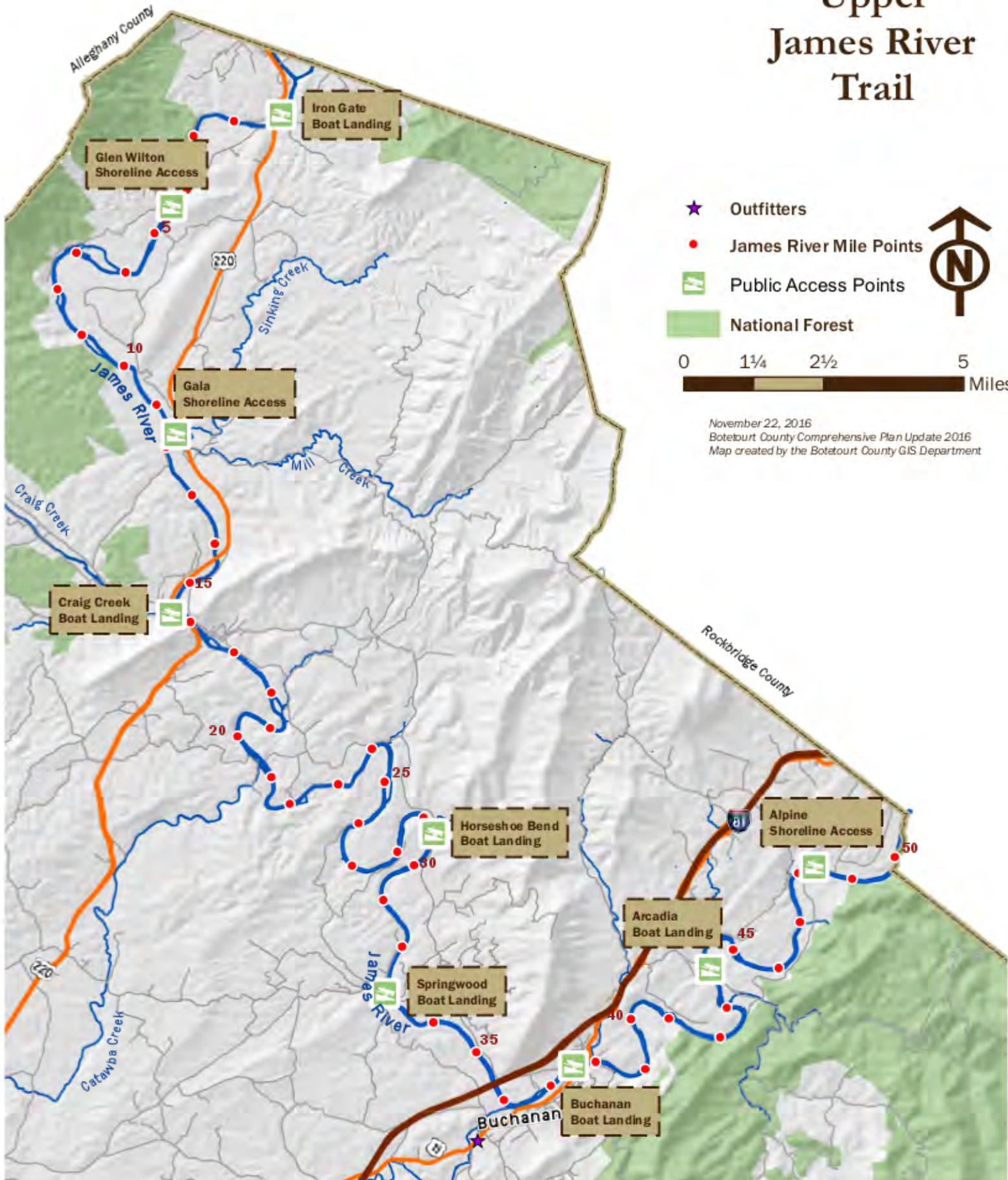


— Stocked Trout Stream   
 — Appalachian Trail   
 — Blue Ridge Parkway   
  Water Feature   
  National Forest

AT AT Access   
 ATV ATV Trail   
 B Boat Landing   
 C Campground   
 CC Community Center   
 H Horse Trail   
 P Park   
 PA Picnic Area   
 S Shelter

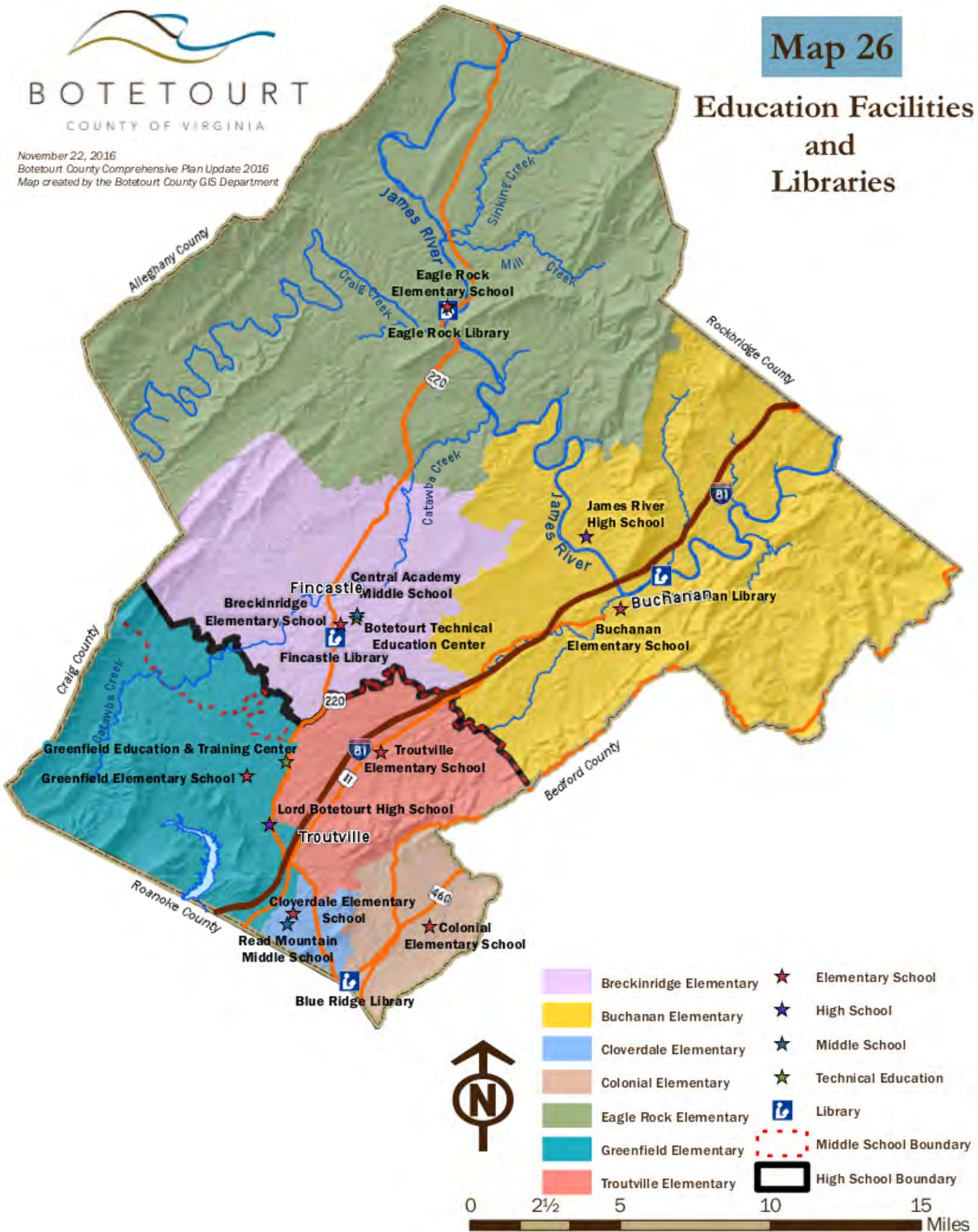


**Upper James River Trail**

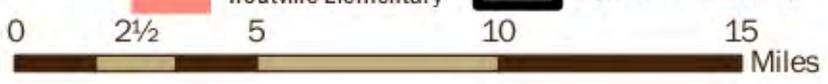


November 22, 2016  
Botetourt County Comprehensive Plan Update 2016  
Map created by the Botetourt County GIS Department

**Education Facilities  
and  
Libraries**

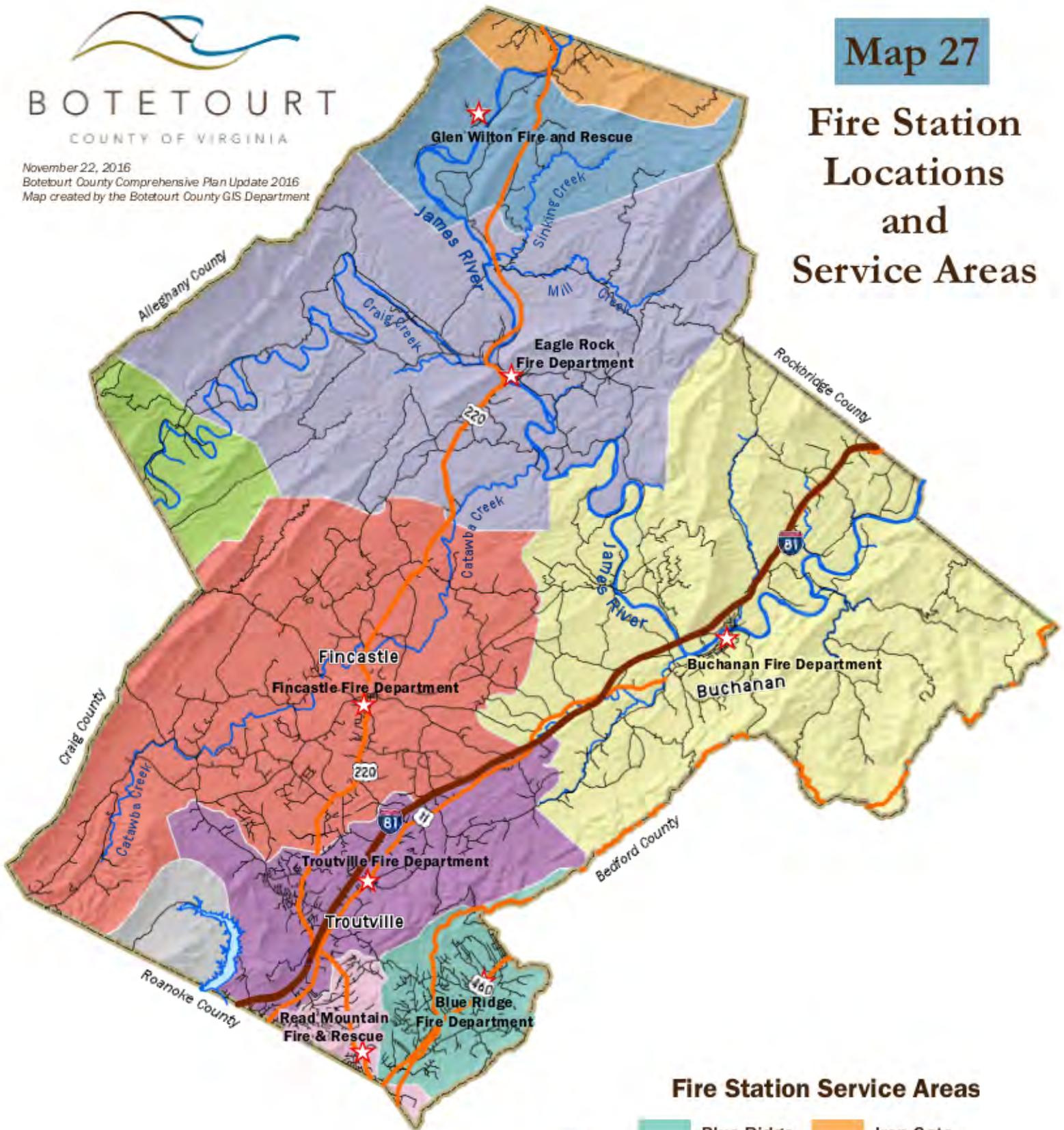


- |   |   |  |  |  |   |  |  |   |
|---|---|--|--|--|---|--|--|---|
| <span style="display:inline-block; width:15px; height:15px; background-color:purple; border:1px solid black;"></span> Breckinridge Elementary | <span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span> Buchanan Elementary | <span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> Cloverdale Elementary | <span style="display:inline-block; width:10px; height:10px; background-color:tan; border:1px solid black;"></span> Colonial Elementary | <span style="display:inline-block; width:10px; height:10px; background-color:green; border:1px solid black;"></span> Eagle Rock Elementary | <span style="display:inline-block; width:10px; height:10px; background-color:teal; border:1px solid black;"></span> Greenfield Elementary | <span style="display:inline-block; width:10px; height:10px; background-color:red; border:1px solid black;"></span> Troutville Elementary | <span style="display:inline-block; width:10px; height:10px; border-top:1px dashed red;"></span> Middle School Boundary | <span style="display:inline-block; width:10px; height:10px; border:2px solid black;"></span> High School Boundary |
| <span style="display:inline-block; width:10px; height:10px; border:1px solid black; border-radius:50%;"></span> Elementary School             | <span style="display:inline-block; width:10px; height:10px; border:1px solid black; border-radius:50%;"></span> High School               | <span style="display:inline-block; width:10px; height:10px; border:1px solid black; border-radius:50%;"></span> Middle School                  | <span style="display:inline-block; width:10px; height:10px; border:1px solid black; border-radius:50%;"></span> Technical Education    | <span style="display:inline-block; width:10px; height:10px; border:1px solid black; border-radius:50%;"></span> Library                    |   |  |  |   |

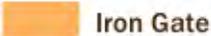
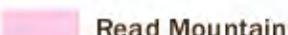
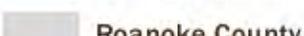
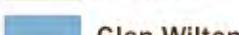


**Map 27**

**Fire Station Locations and Service Areas**



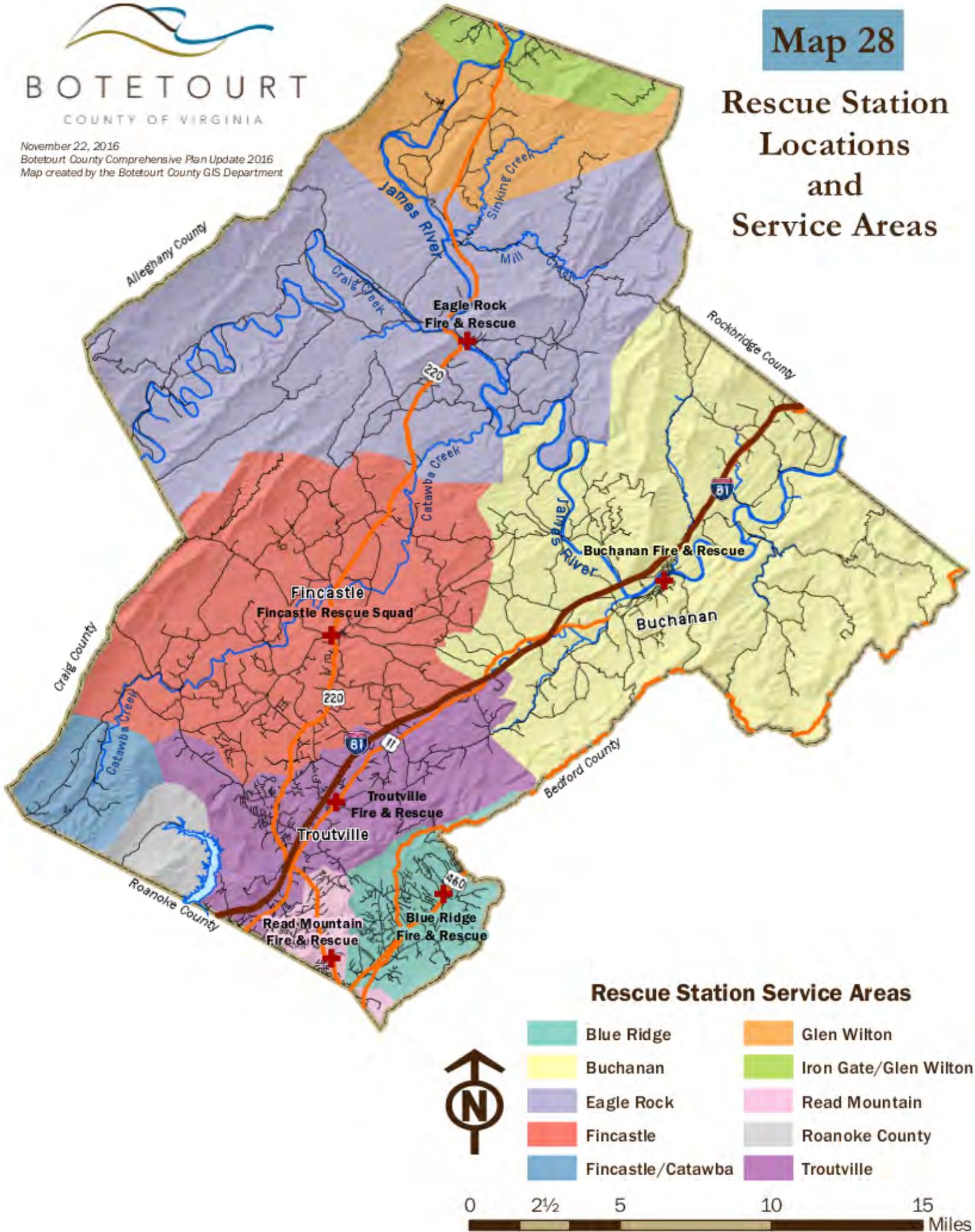
**Fire Station Service Areas**

- |  |  |
|--|--|
|  Blue Ridge  |  Iron Gate      |
|  Buchanan    |  New Castle     |
|  Eagle Rock  |  Read Mountain  |
|  Fincastle   |  Roanoke County |
|  Glen Wilton |  Troutville     |



**Map 28**

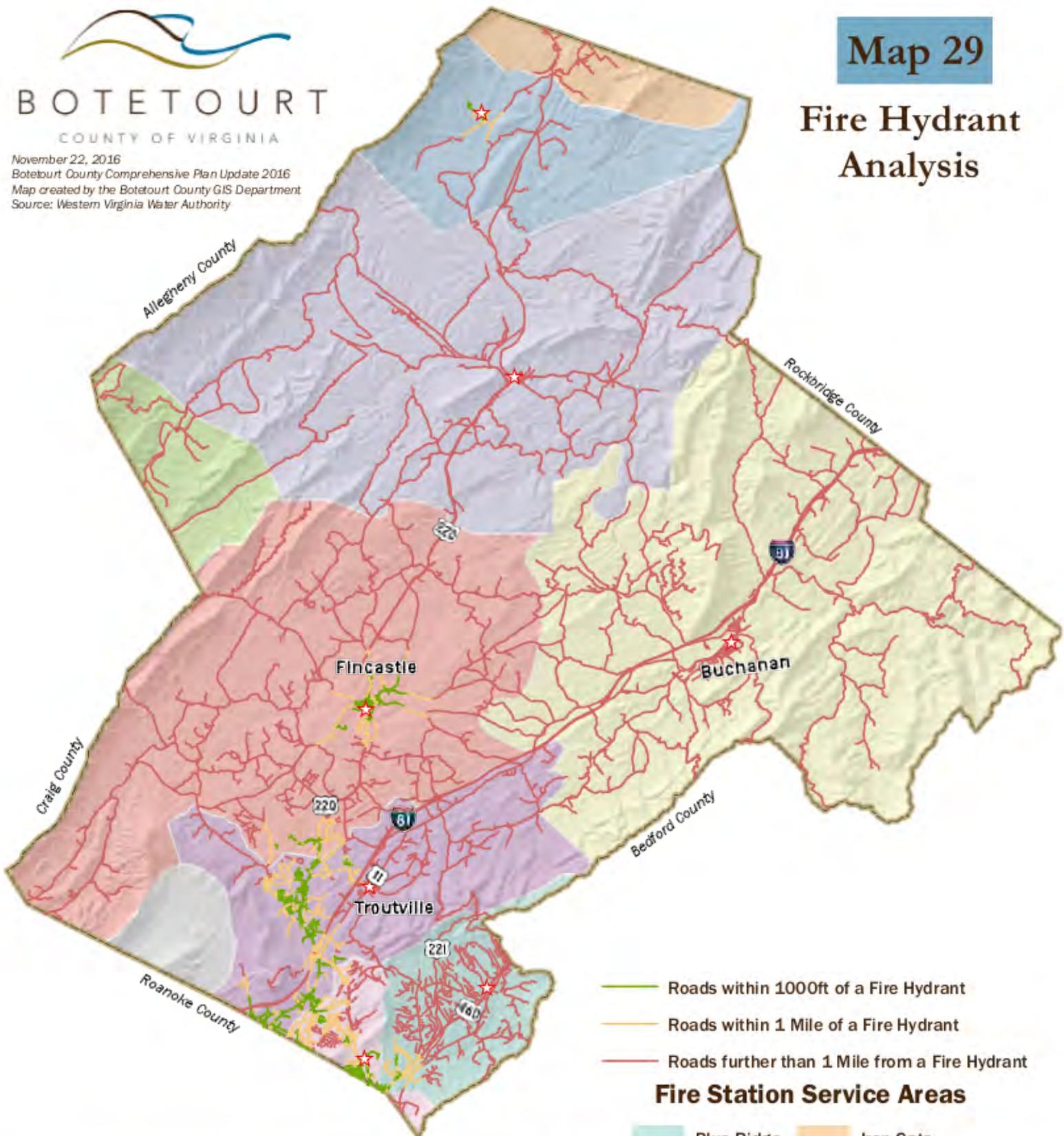
**Rescue Station Locations and Service Areas**



**Rescue Station Service Areas**

- |   |   |
|---|---|
|  Blue Ridge        |  Glen Wilton           |
|  Buchanan          |  Iron Gate/Glen Wilton |
|  Eagle Rock        |  Read Mountain         |
|  Fincastle         |  Roanoke County        |
|  Fincastle/Catawba |  Troutville            |





- Roads within 1000ft of a Fire Hydrant
- Roads within 1 Mile of a Fire Hydrant
- Roads further than 1 Mile from a Fire Hydrant

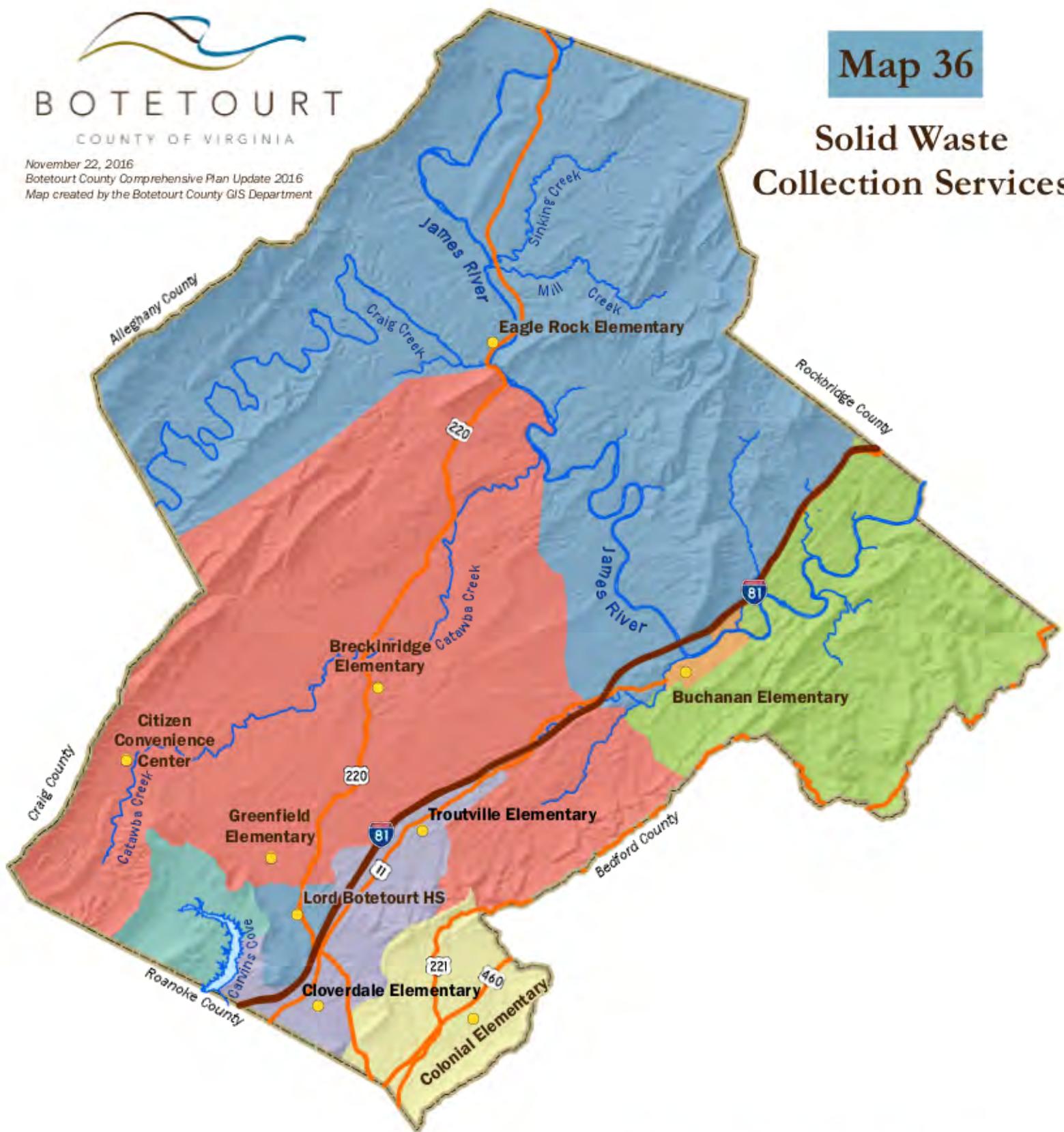
**Fire Station Service Areas**

- |   |   |
|---|---|
| <span style="color: lightblue;">■</span> Blue Ridge   | <span style="color: orange;">■</span> Iron Gate         |
| <span style="color: yellow;">■</span> Buchanan        | <span style="color: lightgreen;">■</span> New Castle    |
| <span style="color: lightpurple;">■</span> Eagle Rock | <span style="color: pink;">■</span> Read Mountain       |
| <span style="color: lightcoral;">■</span> Fincastle   | <span style="color: lightgrey;">■</span> Roanoke County |
| <span style="color: lightblue;">■</span> Glen Wilton  | <span style="color: purple;">■</span> Troutville        |

There are 1,168 (7.43%) addresses within 1,000 feet and 2,459 (15.66%) addresses within 1 mile of a fire hydrant.



**Solid Waste  
Collection Services**

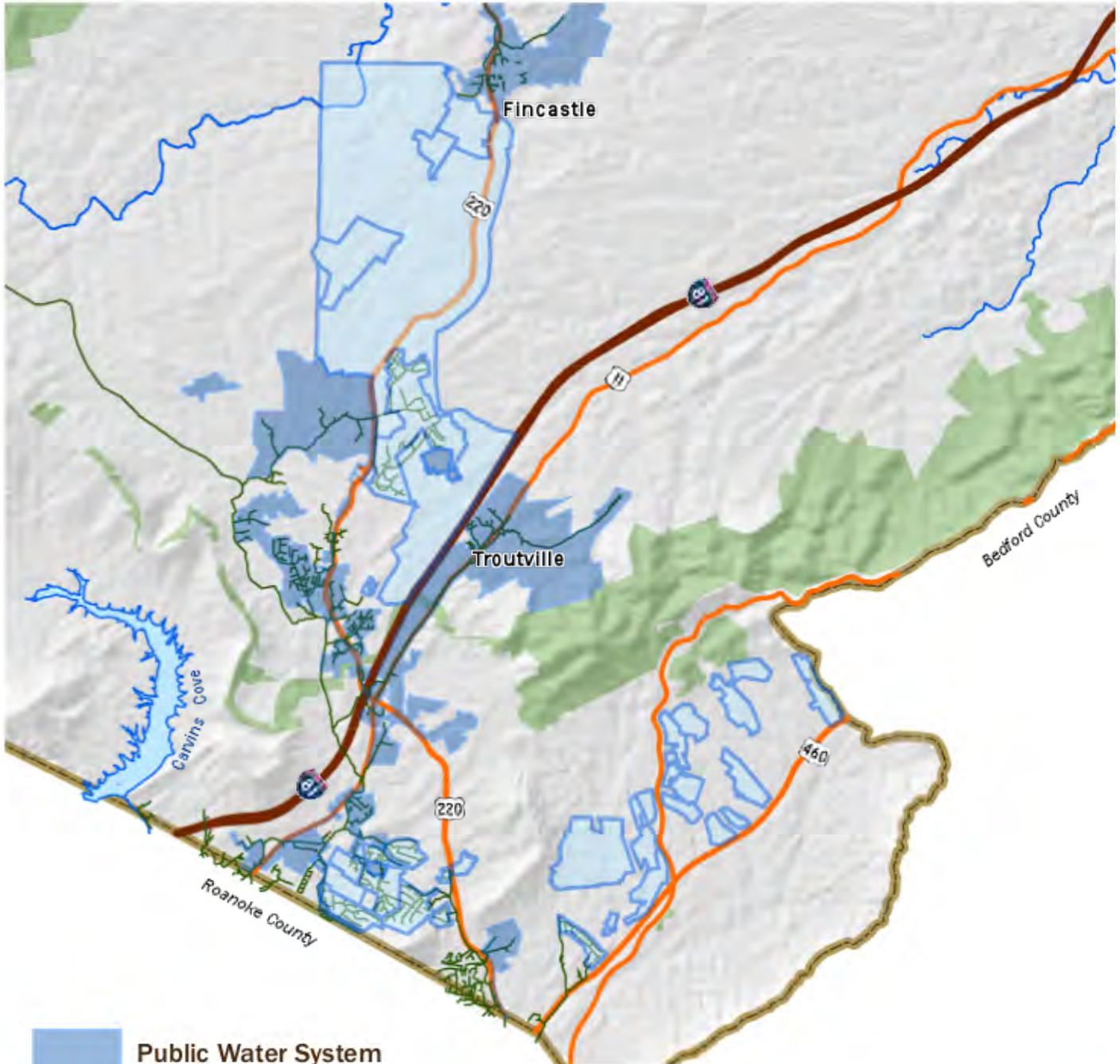


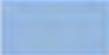
**Solid Waste Collection Services**

- C&S Disposal
- Kessler Garbage Service
- Community Sanitation Service
- Roanoke County
- County Waste
- Town of Buchanan
- Kelley's Garbage Collection Service, LLC
- Public Recycling Center



# Sewer & Water Infrastructure



-  Public Water System
-  Private Water System
-  Sewer Line





Botetourt County, Virginia  
*Development Services* **Planning Commission Extract**  
**Land Use Related Request**

**Board of Supervisors Action Needed**

**November 22, 2016**

**Request**

Amsterdam Magisterial District: Timberbrook Associates LLC, Timberbrook Associates X LLC, and GW Botetourt Commons LLC request a Change of Proffers in the Shopping Center (SC) Use District to modify existing proffers which restricted the type, color, size and font of signage, to develop a signage plan for the Botetourt Commons development located from 125 to 137 Commons Parkway (Route 1044); 20 to 56 Kingston Drive; and 100 to 124 Kingston Drive, Daleville VA. The properties are located 0.12 miles west of the Commons Parkway/Kingston Drive intersection and 0.09 miles north of the Commons Parkway/Kingston Drive intersection, identified on the Real Property Identification Maps of Botetourt County as Section 101(13), Parcels 2, and 5, and Section 101 (14), Parcel 7.

**This land use change request involves the following:**

- Land rezoning (conditions must be proffered, or offered by the applicant).
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permits (the Board has authority to assign conditions).

**Planning Commission Recommendation:**

On a vote of 4:0:0:1, (Mr. Foster absent) the Planning Commission recommended conditional approval for the Change of Proffers modification regarding signage and to develop a signage plan, with the following proffered conditions:

1. The Timberbrook commercial and residential development shall be developed/constructed in conformance with the guidelines established in the supplemental information for rezoning as described in the booklets dated October 5, 1994, November 8, 1994 (and as amended through the approval of the Board of Supervisors on April 18, 1995).
2. The residential areas designated R-1, R-2, and R-3 are for construction of single family dwellings, multi-family dwellings, and townhouses. Duplexes, rooming houses, boardinghouses, and tourist houses are excluded from all areas.
3. Public water and public sewer will be approved and provided for both commercial and residential lots prior to approval of building construction.
4. Should the project construction pollute or cause failure to any of the adjacent property owner's existing wells, a water line shall be extended to their property at no cost to the adjacent property owner.
5. Each phase of the project will comply with all Virginia Department of Transportation (VDOT) design standards. The Food Lion Shopping Center developer will install a VDOT approved traffic light at the proposed intersection of the commercial entrance and State Route 653 at their expense. These improvements will be completed prior to the opening of any commercial business.

5 W. Main Street, Suite 100  
Fincastle, Virginia 24090  
Fax (540) 473-2018

**Construction Compliance**  
Phone (540) 928-2070  
Erosion & Sediment Control  
Inspections & Enforcement  
Permit Applications &  
Plan Reviews

**Planning**  
Phone (540) 928-2080  
Subdivisions  
Zoning  
Site Plans  
Land Conservation

6. An integrated storm water detention plan will be developed for the entire commercial tract and residential tract prior to approval of construction of the first building.
7. Outside light poles will not exceed 25' in height and will be directed inward toward each business using light reflections to shield the light from residential areas. No more than 0.3 foot-candles will be allowed to cross property lines.
8. Leyland Cypress trees will be purchased and installed 15' on center along the southern property line of the Daleville Cemetery, Rachel Hancock, and Jerry Byer properties.
9. No residential or commercial buildings shall be constructed west of the Norfolk Southern railroad tracks in the R-1, R-2, R-3, and B-1 Use Districts until a (VDOT) approved road and bridge structure are constructed to provide access from this area to U.S. Route 220 via the proposed four land boulevard serving the Shopping SC Use District.

Including the amendments approved by the Board of Supervisors on April 18, 1995:

1. Parking lots shall be setback ten (10) feet from the U.S. 220 right-of-way line. Along U.S. 220, a planting berm will be placed to visually mitigate view of vehicles parked in lots facing U.S. 200. The berm will be planted with trees and shrubs from the required plant palette, composing part of the required parking lot planting scheme. Cars or other items placed "for sale" by individuals will not be allowed adjacent to U.S. 220 or Timber Brook Parkway.
2. All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray stain #0347, and shall have individual, white back-lit letters "Times" or similar type face composing the sign. Anchor stores, (larger than 5,000 SF gross leasable area) shall have letters a minimum of 18" tall, which beginning at 100' back, may increase one foot in height for every 100 feet the building is setback from U.S. 20 right-of-way up to 48" tall. All minor stores (G.L.A. less than 5,000 SF) shall have 18" letters.
3. The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 2:1 will be allowed to remain after finish grading. The top and bottom slope rounding shall be accomplished by the following formula:

Area	Slope Ratio	Grade Differential
Top	4:1	5% of graded height
Transition	3:1	10%
Middle of Slope	2:1	70%
Transition	3:1	10%
Bottom	4:1	5%

Using this formula, an applicant requesting to grade a 20' tall bank would need to meet these slope criteria:

Area	Criterion	Vertical Distance	Horizontal Distance
Top	4:1	1'	4'
Transition	3:1	2'	6'
Middle of Slope	2:1	14'	28'
Transition	3:1	2'	6'
Bottom	4:1	1'	4'

Including the proffered changes for tax parcels 101(13)2, 101(13)5 and 101(14)7:

- A. 1. Under the amended proffer language approved by the Board of Supervisors on April 18, 1995, the section beginning and ending as follows "All Marques shall be made of ... shall have 18" letters", said language shall be replaced in its entirety with the following:

"All marquee / wall signage shall have individual, back-lit letters. Anchor stores, (larger than 5,000 SF gross leasable area) shall have a maximum letter height of 46". Logos or identification symbols shall have a maximum height of 68". All minor stores (G.L.A. less than 5,000 SF) shall have letters with a maximum height 38". Logos or identification symbols shall be limited to a height of 58".

2. Signage shall not exceed 80 SF for minor stores and 95 SF for anchor stores. Square Footage (SF) measurements shall be in accordance with the 2016 zoning ordinance sign standards.

3. If store front letters are raceway mounted, the raceway shall match the façade color it is attached to.

- B. Within the booklet dated November 8, 1994, Page SC-3,

1. The following language shall be deleted in its entirety: "Pole Signs. The poles shall be made of dark metal. One pole sign is allotted per commercial parcel. A mall is allotted one pole sign."

2. Monument signs may be face lit or backlit.

**Action requested of the Board of Supervisors:**

The Board of Supervisors may approve or deny the request for the Change of Proffers modification regarding signage and to develop a signage plan.

**Staff Comments:**

Staff received one inquiry prior to the public hearing from an adjoining property owner. The business owner did not indicate concern and thought this would better meet tenants' needs. During the public hearing, Mr. Benton Bolton of Daleville, spoke on behalf of the adjacent Daleville Cemetery. He requested no adverse effects, noting that the position of the shopping center shielded the cemetery, and requested that it remain protected. Mr. John Goss of Fincastle, said he was neither for nor against this request as he encouraged a reduction of nighttime sky glow.

Members of the commission asked if the current proposal addressed staff concerns. Mr. Strauss stated that he would work with staff to incorporate language into the revised proffers that clarified that the maximum square footage was meant to address wall signs only. He also expressed his willingness to provide a proffer that all requests for signage in which the existing proffers and guidelines did not explicitly address would be regulated with the most current sign ordinance; however, he did want to address concerns with staff prior to revising his proffers.

**DRAFT MOTIONS**

**Approval, with revisions:**

I move to approve the change in proffered conditions for **Timberbrook Associates LLC** supplied by the applicant as presented in the background report prepared by staff and recommended by the Planning Commission, and as revised prior to the public hearing.

This recommendation is on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Denial:**

I move to deny the change in proffered conditions for the property of **Timberbrook Associates LLC** on the basis that the requirements of Section 25-581 of the Zoning Ordinance have not been satisfied due to the following reasons:

- 1.
- 2.
- 3.

**BOTETOURT COUNTY DEVELOPMENT SERVICES**

**Planning Commission Application**

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

**TO THE BOARD OF SUPERVISORS AND PLANNING COMMISSION OF BOTETOURT COUNTY:**

*Please type or print information below*

<b>Date:</b> 10/19/2016		<b>Current zoning:</b> SC	
<b>Please check request(s) below:</b>		<b>Please briefly describe request below (indicate zoning change, SEP request, changes, etc.):</b>	
<input type="checkbox"/>	<b>Request rezoning to</b> (From zoning ordinance permitted uses list)		
<input type="checkbox"/>	<b>Special Exceptions Permit request for</b> (from zoning ordinance SEP list)		
<input type="checkbox"/>	<b>Text Amendment</b> (proposed use)		
<input type="checkbox"/>	<b>Change in proffers/Conditions</b>	Request, in part, to modify existing proffer to allow signs to contain colored letters	
<b>Describe proposed use:</b>			
<b>Property owner name(s)</b>		Timberbrook Associates LC (see attached)	
<b>Mailing address</b>		PO Box 20287	
<b>Town, State, Zip Code</b>		Roanoke VA 24018	
<b>Phone number</b>		540-989-7060	<b>FAX</b> 540-989-7062
<b>Email</b>		sstrauss@strausscc.com	
<b>Property location (physical address):</b>		in part - 20-56 Kingston Drive (see attached)	
<b>Subdivision:</b>			
<b>State Route Number:</b>		Rt220 & Rt1044	<b>Magisterial District:</b> Amsterdam
<b>Tax map number(s):</b>		See attached	
<b>Deed Book:</b>		<b>Page number(s):</b>	
<b>Total area of property</b>			
<b>Total area included in this request:</b>			

Certified plat prepared by a Licensed Land Surveyor of entire property to include metes and bounds. Requests for rezoning of a portion of a parcel of land requires a legal metes and bounds description of that particular portion. Show: Lengths of all property lines, existing and proposed building(s) for existing and proposed uses, and distance of buildings from all property lines, including distance from any street/highway right-of-way adjoining the parcel. (See attached concept plan checklist and information sheet.)

**BOTETOURT COUNTY DEVELOPMENT SERVICES**  
**Planning Commission Application**  
 5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

Appropriate application fee payable to the *Treasurer of Botetourt County* is hereby submitted for advertising.

All applicants must have notarized signatures by the current property owners. By signing below, signature(s) indicate consent [§25-521(9)(1)(c)] for county officials to conduct site reviews on this property.

Timberbrook Associates LLC by Steven S Strauss 10/19/16  
 Signature and printed name of property owners Date

GW Botetourt Comm. LLC by Steven S Strauss 10/19/16  
 Signature and printed name of property owners Date

\_\_\_\_\_  
 Signature and printed name of property owners Date

\_\_\_\_\_  
 Signature and printed name of property owners Date

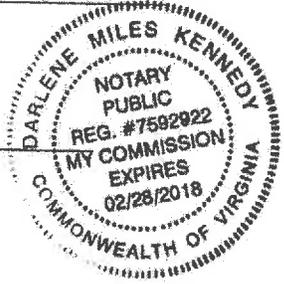
State of Virginia  
 County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this 20 day of October 2016 by  
Steven Strauss  
 Printed name of property owners

My commission expires: 2-28-18 Date

Darlene Kennedy 7592922  
 Notary Public printed name and registration number

Darlene M Kennedy  
 Notary Public signature



State of Virginia  
 County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 2 by

\_\_\_\_\_  
 Printed name of property owners(s)

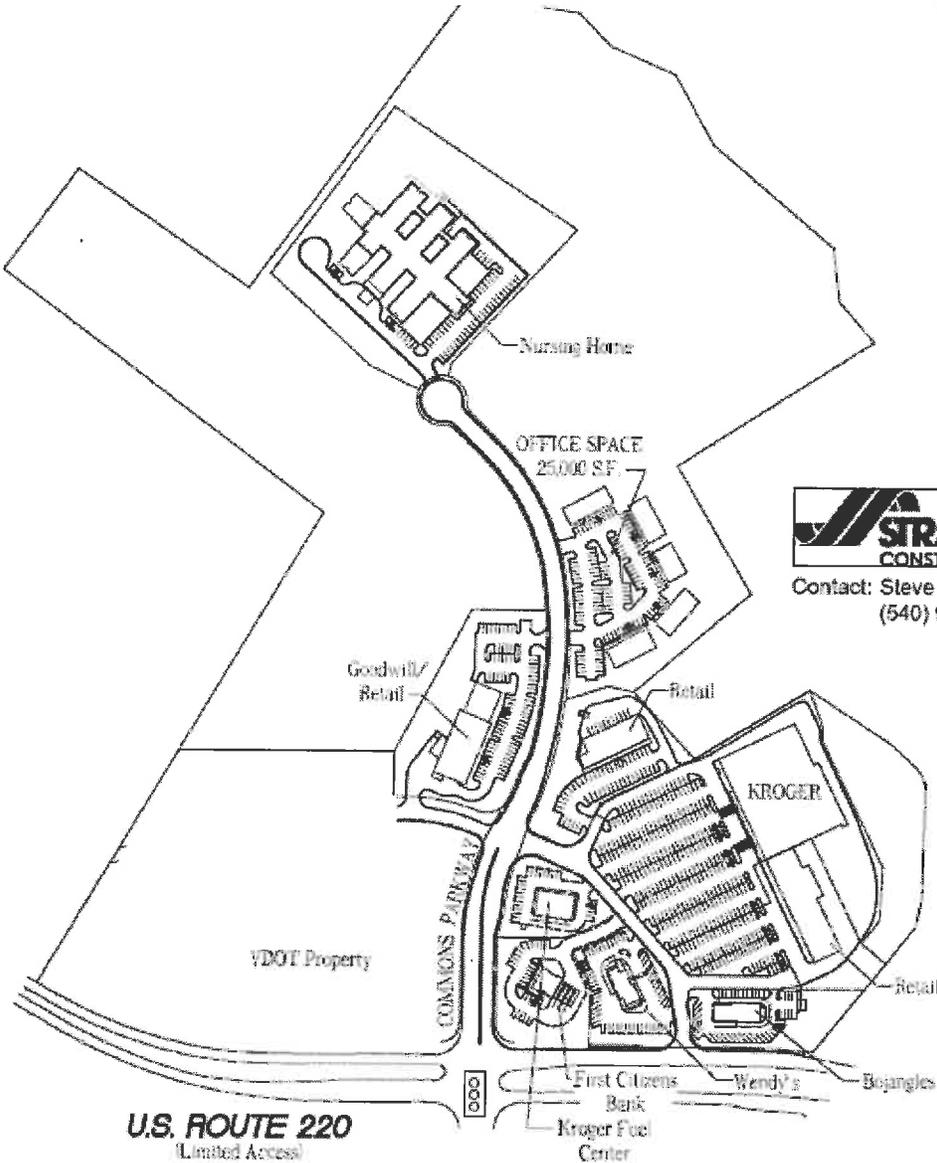
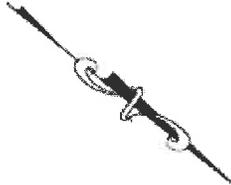
My commission expires: \_\_\_\_\_ Date

\_\_\_\_\_  
 Notary Public printed name and registration number

\_\_\_\_\_  
 Notary Public signature

**Note: Signature(s) of property owner(s) must be notarized.**

Botetourt Commons  
Site map

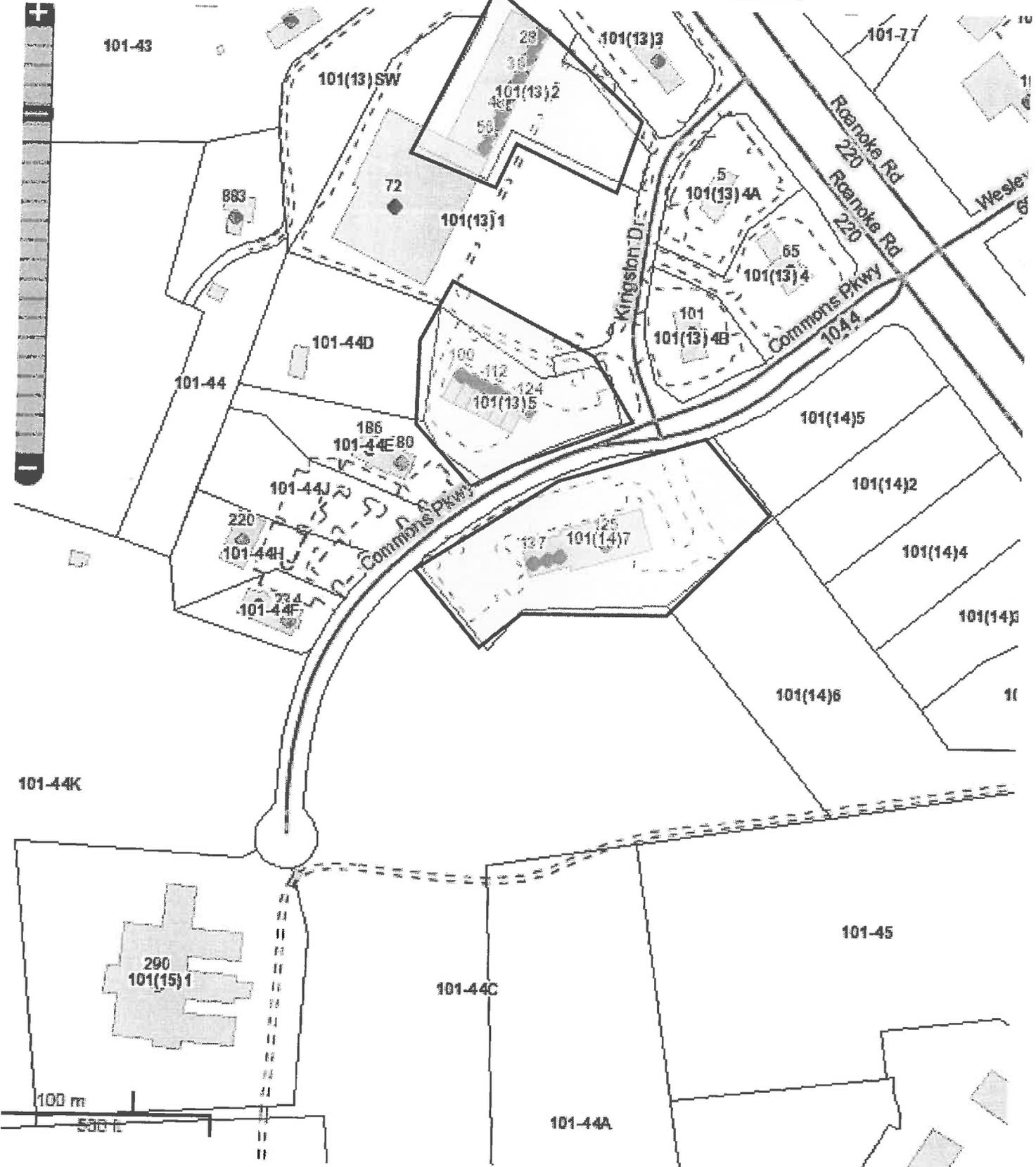


Contact: Steve Strauss  
(540) 989-7060

**U.S. ROUTE 220**  
(Limited Access)

Botetourt Commons  
Parcels Identified for Change of Proffers

10/19/2016



Botetourt Commons  
 Parcels Identified for Change of Proffers  
 Adjoining Landowners

<b>Parcels with change of proffer</b>				
<b>Parcel #</b>	<b>Propert Owner</b>	<b>Tax Parcel</b>	<b>Current use</b>	<b>Zoning</b>
2	Timberbrook Assocaites LC	101 (13) 2	Retail	SC
5	Timberbrook Assocaites LC	101 (13) 5	Retail	SC
G	GW Botetourt Commons LLC	101 (14) 7	Retail	SC
	<b>Adjoining Land Owners</b>	<b>Tax Parcel</b>	<b>Zoning</b>	
	Commonwealth of VA	101 (14) 5	SC	
	Commonwealth of VA	101 (14) 6	SC	
	First Citizens Bank and Trust Company	101 (13) 4	SC	
	Kroger Limited Patnership	101 (13)1	SC	
	Kroger Limited Patnership 1	101-44D	SC	
	Botetourt Community Church Inc	101-44E	SC	
	Aaron Lenk Propertes LLC	101-44F	SC	
	Virginia-TLC Inc // LTC Properties Inc	101 (15) 1	SC	
	Potomic Foods Real Estate LLC	101 (13)3	SC	
	Wendy's of Western Virginia Inc	101 (13) 4A	SC	

## Proffers For

*Amsterdam Magisterial District:* Timberbrook Associates LLC, and GW Botetourt Commons LLC request a Change of Proffers in the Shopping Center (SC) Use District to modify existing proffers which restrict the color, size, and font of signage for the Botetourt Commons development located from 125 to 137 Commons Parkway (Route 1044); 20 Kingston Drive to 56 Kingston Drive; and 100-124 Kingston Drive, Daleville. The properties are located 0.12 miles west of the Commons Parkway/Kingston Drive intersection and 0.09 miles north of the Commons Parkway/Kingston Drive intersection, identified on the Real Property Identification Maps of Botetourt County as Section 101(13), Parcels 2 and 5; and Section 101 (14), Parcel 7 (the "Parcels").

### **Whereas:**

The above named Parcels were rezoned with proffered conditions by the Botetourt County Board of Supervisions at their November 18, 1994 regular meeting, with the following conditions:

1. The Timberbrook commercial and residential development shall be developed/constructed in conformance with the guidelines established in the supplemental information for rezoning as described in the booklets dated October 5, 1994, November 8, 1994 (*and as amended through the approval of the Board of Supervisors on April 18, 1995*).
2. The residential areas designated R-1, R-2, and R-3 are for construction of single family dwellings, multi-family dwellings, and townhouses. Duplexes, rooming houses, boardinghouses, and tourist houses are excluded from all areas.
3. Public water and public sewer will be approved and provided for both commercial and residential lots prior to approval of building construction.
4. Should the project construction pollute or cause failure to any of the adjacent property owner's existing wells, a water line shall be extended to their property at no cost to the adjacent property owner.
5. Each phase of the project will comply with all Virginia Department of Transportation (VDOT) design standards. The Food Lion Shopping Center developer will install a VDOT approved traffic light at the proposed intersection of the commercial entrance and State Route 653 at their expense. These improvements will be completed prior to the opening of any commercial business.
6. An integrated storm water detention plan will be developed for the entire commercial tract and residential tract prior to approval of construction of the first building.
7. Outside light poles will not exceed 25' in height and will be directed inward toward each business using light reflections to shield the light from residential areas. No more than 0.3 foot-candles will be allowed to cross property lines.
8. Leyland Cypress trees will be purchased and installed 15' on center along the southern property line of the Daleville Cemetery, Rachel Hancock, and Jerry Byer properties.

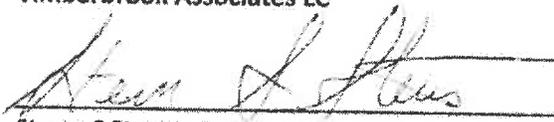
9. No residential or commercial buildings shall be constructed west of the Norfolk Southern railroad tracks in the R-1, R-2, R-3, and B-1 Use Districts until a (VDOT) approved road and bridge structure are constructed to provide access from this area to U.S. Route 220 via the proposed four lane boulevard serving the Shopping Center SC Use District.

**Therefore:**

I, Steven S Strauss, Agent and Manager for Timberbrook Associates LC, hereby proffer, for the above named parcels, the following conditions as a part of the above referenced request:

- A.
  1. Under the amended proffer language approved by the Board of Supervisors on April 18, 1995, the section beginning and ending as follows "**All Marques shall be made of ... shall have 18" letters**", said language shall be replaced in its entirety with the following:  
  
"All marquee / wall signage shall have individual, back-lit letters. Anchor stores, (larger than 5,000 SF gross leasable area) shall have a maximum letter height of 46". Logos or identification symbols shall have a maximum height of 68". All minor stores (G.L.A. less than 5,000 SF) shall have letters with a maximum height 38". Logos or identification symbols shall be limited to a height of 58".
  2. Signage shall not exceed 80 SF for minor stores and 95 SF for anchor stores. Square Footage (SF) measurements shall be in accordance with the 2016 zoning ordinance sign standards.
  3. If store front letters are raceway mounted, the raceway shall match the façade color it is attached to.
- B. Within the booklet dated November 8, 1994, Page SC-3,
  1. The following language shall be **deleted in its entirety**: "Pole Signs. The poles shall be made of dark metal. One pole sign is allotted per commercial parcel. A male is allotted one pole sign."
  2. Monument signs may be face lit or backlit

Timberbrook Associates LC

  
Steven S Strauss, Agent and Manager

  
Date

State of Virginia  
County of Botetourt to Wit:

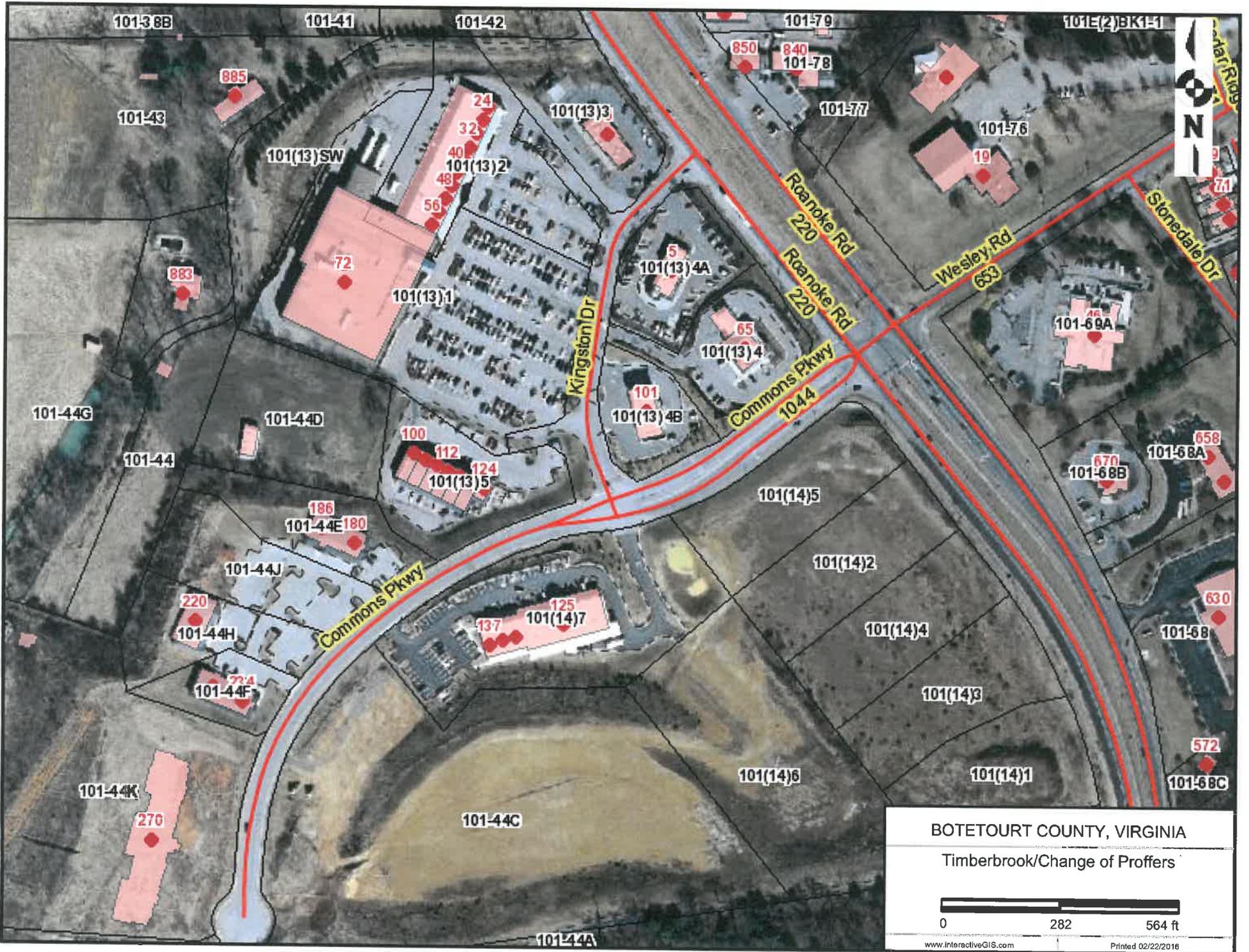
The foregoing instrument was acknowledged before me this 20 day of  
October 2016 by Steve Strauss

My commission expires: 2-28-18

10-20-16  
Date

Darlene M Kennedy  
Notary Public





BOTETOURT COUNTY, VIRGINIA

Timberbrook/Change of Proffers



### **PROJECT SUMMARY**

Timberbrook Associates LLC, requests a Change of Proffers in the Shopping Center (SC) Use District to amend the proffers related to design guidelines related to signage in the development for the three parcels including in the application.

### **STAFF COMMENTS**

The original design guidelines that established the sign standards and regulations for the shopping center were established as a proffered condition, during the original rezoning in 1994. However, the standards created at that time were not comprehensive in nature and did not include standards for the measurement of sign area, maximum sign area allowed, etc. Therefore, the design guidelines do not provide clear and concise standards that can be utilized by staff during the review and approval of sign permit applications. In addition, and of particular concern to the applicant, the proffers limited signage to certain colors, fonts, and letter heights, none of which are conducive to the current operating environment of the shopping center.

While the proposed changes begin to address some of the concerns with the language in the existing design guidelines, and the revised proffers relax the standards for sign color and font, the proposed changes are only being proposed for a portion of the parcels within the shopping center and they do not comprehensively address many of the standards and regulations that would be found within a typical sign ordinance. Staff has meet with the applicant on multiple occasions to discuss revisions to the design guidelines that would be in keeping with the character of the existing permitted signs, be sensitive to future sign permit requests, and generally align with the goals of the County sign regulations. Staff has stressed to the applicant that comprehensive standards regarding signage need to be developed for the shopping center to be meet the needs of the tenants, as well as, to ensure that the signage plan for the shopping center is consistent, but not necessarily identical to, the intent of the sign ordinance.

Staff would recommend that the applicant provide clarity on two additional items. The first is that, wherever the proffered sign standards and design guidelines do not apply, signage shall be regulated by the current zoning ordinance. Second, the applicant should clarify if proffered condition 10(a)2 is meant to regulate wall signage or total signage for a tenant.

The applicant has expressed a willingness to coordinate with the other property owners within the shopping center to develop a comprehensive set of sign standards; however, the applicant has a new tenant that needs to apply for a sign permit, but the proposed sign does not meet the existing standards from the design guidelines. Therefore, the applicant is proposing the current changes to address a more

immediate need for their tenant and to provide additional time to coordinate a more comprehensive amendment to the sign standards and regulations with the other property owners. Staff is concerned that the requested change to proffers will result in there being two different sets of sign standards for the shopping center and that the application does not provide any assurance when a more comprehensive amendment might be submitted in the future.

### **PLANNING COMMISSION ACTION**

The Planning Commission must make a recommendation to the Board of Supervisors as to the approval, approval with conditions, or denial of this request.

### **LEGAL ADVERTISEMENT**

Amsterdam Magisterial District: Timberbrook Associates LLC, Timberbrook Associates X LLC, and GW Botetourt Commons LLC request a Change of Proffers in the Shopping Center (SC) Use District to modify existing proffers which restricted the type, color, size and font of signage, to develop a signage plan for the Botetourt Commons development located from 125 to 137 Commons Parkway (Route 1044); 20 to 56 Kingston Drive; and 100 to 124 Kingston Drive, Daleville VA. The properties are located 0.12 miles west of the Commons Parkway/Kingston Drive intersection and 0.09 miles north of the Commons Parkway/Kingston Drive intersection, identified on the Real Property Identification Maps of Botetourt County as Section 101(13), Parcels 2, and 5, and Section 101 (14), Parcel 7.

### **EXISTING CONDITIONS & BACKGROUND**

The Botetourt Commons Shopping Center, originally named the Timber Brook Shopping Center, was rezoned with proffered conditions on November 18, 1994. The approval included a condition that the Timberbrook commercial and residential development would be developed/constructed in conformance with the design guidelines established in the supplemental information for rezoning as described in the booklets dated October 5, 1994 and November 8, 1994, While the design guidelines do include language to address signage allowed within the Shopping Center (SC) Use District, the guidelines were not structured to comprehensively address all aspects regarding signage regulation, nor did the guidelines incorporate any language to revert back to the signage regulations within the zoning ordinance for guidance when standards, such as maximum square footage, height, etc. were not addressed. An amendment was approved on April 18, 1995 which resulted in further changes to the proffered conditions regarding parking lot setbacks, lighting, road, signs, and slope and grade for the shopping center.

Because the sign standards were not structured in a way that aligned comprehensively with past or current sign ordinances, there have been various interpretations regarding the standards used to review and approve of sign permits for the shopping center. This has resulted in the approval of signs that vary in size, style, color and lighting. Recognizing a need to conform to the sign ordinance and adhere to the proffered conditions, the applicant and the county have met on several occasions to discuss an amendment that would be in keeping with the character of the existing permitted signs, be sensitive to future sign permit requests, and generally align with the goals of the County sign regulations with the objectives of the applicant.

**ADJACENT PROPERTIES AND SURROUNDING AREA**

	<b>Zoning</b>	<b>Land Use</b>
<b>North</b>	Agricultural (A-1) Shopping Center (SC)	Daleville Cemetery
<b>East</b>	Shopping Center (SC)	Commercial development within Botetourt Commons Shopping Center
<b>West</b>	Shopping Center (SC)	Commercial development within Botetourt Commons Shopping Center
<b>South</b>	Shopping Center (SC)	Commercial development within Botetourt Commons Shopping Center

**PROPOSED DEVELOPMENT**

The applicant is proposing a change to proffers for three of the parcels within the shopping center, which would amend the design guidelines from the rezoning as described in the booklets dated October 5, 1994, November 8, 1994, and as amended through the approval of the Board of Supervisors on April 18, 1995. The amendment would provide for an increase to the letter and symbol height of a sign. The amendment would also create a maximum limit for sign area, which does not currently exist. Such a maximum square footage requirement would general be found in comprehensive set of sign standards. The proposed changes would also create a requirement that all channel-letter style signs, whereby the channel letters are mounted upon a raceway, require the raceway to match the façade color it is attached to. The proposed changes would further delete in its entirety, an allowance for the erection of a pole sign and provide for a monument sign to be face lit or backlit, both of which would be more in harmony with the County’s current sign regulations.

The application is proposing the changes for only three of the parcels within the overall Shopping Center (SC) Use District. A map is attached which shows which parcels are included in the request and which are not. Any other parcels within the development will continue to be regulated by the 1994 proffered conditions as amended in 1995, meaning they will basically be limited to signs consisting of channel letters with a height of 18 inches for stores with less than 5,000 square feet and 48 inches for larger stores. The parcels not included in the application would continue to not be limited on the overall square footage of sign area allowed and monument signs located upon these parcels would not be allowed to be back-lit.

**ZONING**

Regarding the sign standards and regulations in each district, Sec. 25-462. states:

*Due to the unique nature of a SC, PUD, TND, POP or PIP involving various configurations of mixed uses, the signs permitted in these zoning districts are to be submitted as part of the overall development plan at the time of application for such use. The planning commission shall review the proposed regulations in regard to square footage, number of signs, architectural design, lighting, landscaping, height and setback, and other sign requirements.*

*The Planning Commission shall then make recommendation to the Board of Supervisors in regard to approval or denial of such sign regulations. The Botetourt County Board of Supervisors shall review the Planning Commission’s recommendation and shall approve, deny, or refer this matter back to the Planning Commission for further consideration.*

A sign permit and building permit is required prior to the erection of any new sign. Basically, the only standards that can be utilized to review a sign permit with Botetourt Commons Shopping Center is the language found within the proffered design guidelines, as amended on April 18, 1995.

## **2010 COMPREHENSIVE PLAN**

The 2010 Comprehensive Plan identifies future land uses of properties in this area as **Commercial**.

**Commercial:** This category designates areas where commercial developments have occurred and where future commercial developments are encouraged. Public water and sewer is generally available or planned for these areas.

The proposed Gateway Crossing Future Land Use Map identifies future land uses of properties in this area as **Mixed Use Neighborhood Commercial**. The Mixed Use Neighborhood Commercial district should have a range of commercial uses, which may include retail shops, offices for medical and professional services, civic spaces, and small pocket parks or neighborhood parks. Associated residential development should include higher density housing types, such as apartments or townhomes. Live-work units are also appropriate.

## **UTILITIES**

Not applicable.

## **TRAFFIC**

Not applicable.

## **VDOT COMMENTS**

Not applicable.

## **FIRE AND RESCUE**

Not Applicable.

## **SCHOOLS**

Not applicable.

## **PUBLIC COMMENT**

To date, no comments from the public or any of the adjoining neighbors have been received. Additional comments may be forthcoming at the public hearings.

## **PROFFERS**

### **Existing Proffers**

The existing proffers from the rezoning in November 18, 1994 are:

1. The Timberbrook commercial and residential development shall be developed/constructed in conformance with the guidelines established in the supplemental information for rezoning as described in the booklets dated October 5, 1994, November 8, 1994 (and as amended through the approval of the Board of Supervisors on April 18, 1995).
2. The residential areas designated R-1, R-2, and R-3 are for construction of single family dwellings, multi-family dwellings, and townhouses. Duplexes, rooming houses, boardinghouses, and tourist houses are excluded from all areas.
3. Public water and public sewer will be approved and provided for both commercial and residential lots prior to approval of building construction.
4. Should the project construction pollute or cause failure to any of the adjacent property owner's existing wells, a water line shall be extended to their property at no cost to the adjacent property owner.
5. Each phase of the project will comply with all Virginia Department of Transportation (VDOT) design standards. The Food Lion Shopping Center developer will install a VDOT approved traffic light at the proposed intersection of the commercial entrance and State Route 653 at their expense. These improvements will be completed prior to the opening of any commercial business.
6. An integrated storm water detention plan will be developed for the entire commercial tract and residential tract prior to approval of construction of the first building.
7. Outside light poles will not exceed 25' in height and will be directed inward toward each business using light reflections to shield the light from residential areas. No more than 0.3 foot-candles will be allowed to cross property lines.
8. Leyland Cypress trees will be purchased and installed 15' on center along the southern property line of the Daleville Cemetery, Rachel Hancock, and Jerry Byer properties.
9. No residential or commercial buildings shall be constructed west of the Norfolk Southern railroad tracks in the R-1, R-2, R-3, and B-1 Use Districts until a (VDOT) approved road and bridge structure are constructed to provide access from this area to U.S. Route 220 via the proposed four lane boulevard serving the Shopping SC Use District.

The existing proffers include the following amendments from April 18, 1995:

1. Parking lots shall be setback ten (10) feet from the U.S. 220 right-of-way line. Along U.S. 220, a planting berm will be placed to visually mitigate view of vehicles parked in lots facing U.S. 200. The berm will be planted with trees and shrubs from the required plant palette, composing part of the required parking lot planting scheme. Cars or other items placed "for sale" by individuals will not be allowed adjacent to U.S. 220 or Timber Brook Parkway.
2. All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray stain #0347, and shall have individual, white back-lit letters "Times" or similar type face composing the sign. Anchor stores, (larger than 5,000 SF gross leasable area) shall have

letters a minimum of 18” tall, which beginning at 100’ back, may increase one foot in height for every 100 feet the building is setback from U.S. 20 right-of-way up to 48” tall. All minor stores (G.L.A. less than 5,000 SF) shall have 18” letters.

3. The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 2:1 will be allowed to remain after finish grading. The top and bottom slope rounding shall be accomplished by the following formula:

<u>Area</u>	<u>Slope Ratio</u>	<u>Grade Differential</u>
Top	4:1	5% of graded height
Transition	3:1	10%
Middle of Slope	2:1	70%
Transition	3:1	10%
Bottom	4:1	5%

Using this formula, an applicant requesting to grade a 20’ tall bank would need to meet these slope criteria:

<u>Area</u>	<u>Criterion</u>	<u>Vertical Distance</u>	<u>Horizontal Distance</u>
Top	4:1	1’	4’
Transition	3:1	2’	6’
Middle of Slope	2:1	14’	28’
Transition	3:1	2’	6’
Bottom	4:1	1’	4’

### **Proposed Proffers**

The proposed proffers shall include all of the existing proffers, with the following changes for tax parcels 101(13)2, 101(13)5 and 101(14)7:

- A. 1. Under the amended proffer language approved by the Board of Supervisors on April 18, 1995, the section beginning and ending as follows “**All Marques shall be made of ... shall have 18” letters**”, said language shall be replaced in its entirety with the following:

“All marquee / wall signage shall have individual, back-lit letters. Anchor stores, (larger than 5,000 SF gross leasable area) shall have a maximum letter height of 46”. Logos or identification symbols shall have a maximum height of 68”. All minor stores (G.L.A. less than 5,000 SF) shall have letters with a maximum height 38”. Logos or identification symbols shall be limited to a height of 58”.

2. Signage shall not exceed 80 SF for minor stores and 95 SF for anchor stores. Square Footage (SF) measurements shall be in accordance with the 2016 zoning ordinance sign standards.

3. If store front letters are raceway mounted, the raceway shall match the façade color it is attached to.

- B. Within the booklet dated November 8, 1994, Page SC-3,

1. The following language shall be **deleted in its entirety**: "Pole Signs. The poles shall be made of dark metal. One pole sign is allotted per commercial parcel. A mall is allotted one pole sign."
2. Monument signs may be face lit or backlit.

## DRAFT MOTIONS

### Approval:

I move that the change in proffered conditions for **Timberbrook Associates LLC** be forwarded to the Board of Supervisors with the following proffered conditions, supplied by the applicant and as presented in this background report prepared by staff.

1. The Timberbrook commercial and residential development shall be developed/constructed in conformance with the guidelines established in the supplemental information for rezoning as described in the booklets dated October 5, 1994, November 8, 1994 (and as amended through the approval of the Board of Supervisors on April 18, 1995).
2. The residential areas designated R-1, R-2, and R-3 are for construction of single family dwellings, multi-family dwellings, and townhouses. Duplexes, rooming houses, boardinghouses, and tourist houses are excluded from all areas.
3. Public water and public sewer will be approved and provided for both commercial and residential lots prior to approval of building construction.
4. Should the project construction pollute or cause failure to any of the adjacent property owner's existing wells, a water line shall be extended to their property at no cost to the adjacent property owner.
5. Each phase of the project will comply with all Virginia Department of Transportation (VDOT) design standards. The Food Lion Shopping Center developer will install a VDOT approved traffic light at the proposed intersection of the commercial entrance and State Route 653 at their expense. These improvements will be completed prior to the opening of any commercial business.
6. An integrated storm water detention plan will be developed for the entire commercial tract and residential tract prior to approval of construction of the first building.
7. Outside light poles will not exceed 25' in height and will be directed inward toward each business using light reflections to shield the light from residential areas. No more than 0.3 foot-candles will be allowed to cross property lines.
8. Leyland Cypress trees will be purchased and installed 15' on center along the southern property line of the Daleville Cemetery, Rachel Hancock, and Jerry Byer properties.
9. No residential or commercial buildings shall be constructed west of the Norfolk Southern railroad tracks in the R-1, R-2, R-3, and B-1 Use Districts until a (VDOT) approved road and bridge structure are constructed to provide access from this area to U.S. Route 220 via the proposed four land boulevard serving the Shopping SC Use District.

Including the amendments approved by the Board of Supervisors on April 18, 1995:

1. Parking lots shall be setback ten (10) feet from the U.S. 220 right-of-way line. Along U.S. 220, a planting berm will be placed to visually mitigate view of vehicles parked in lots facing U.S. 200. The berm will be planted with trees and shrubs from the required plant palette, composing part of the required parking lot planting scheme. Cars or other items placed “for sale” by individuals will not be allowed adjacent to U.S. 220 or Timber Brook Parkway.
2. All marquees shall be made of shingles, stained with Cabot’s semi-transparent dark gray stain #0347, and shall have individual, white back-lit letters “Times” or similar type face composing the sign. Anchor stores, (larger than 5,000 SF gross leasable area) shall have letters a minimum of 18” tall, which beginning at 100’ back, may increase one foot in height for every 100 feet the building is setback from U.S. 20 right-of-way up to 48” tall. All minor stores (G.L.A. less than 5,000 SF) shall have 18” letters.
3. The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 2:1 will be allowed to remain after finish grading. The top and bottom slope rounding shall be accomplished by the following formula:

<u>Area</u>	<u>Slope Ratio</u>	<u>Grade Differential</u>
Top	4:1	5% of graded height
Transition	3:1	10%
Middle of Slope	2:1	70%
Transition	3:1	10%
Bottom	4:1	5%

Using this formula, an applicant requesting to grade a 20’ tall bank would need to meet these slope criteria:

<u>Area</u>	<u>Criterion</u>	<u>Vertical Distance</u>	<u>Horizontal Distance</u>
Top	4:1	1’	4’
Transition	3:1	2’	6’
Middle of Slope	2:1	14’	28’
Transition	3:1	2’	6’
Bottom	4:1	1’	4’

Including the proffered changes for tax parcels 101(13)2, 101(13)5 and 101(14)7:

- A. 1. Under the amended proffer language approved by the Board of Supervisors on April 18, 1995, the section beginning and ending as follows “**All Marques shall be made of ... shall have 18” letters**”, said language shall be replaced in its entirety with the following:

“All marquee / wall signage shall have individual, back-lit letters. Anchor stores, (larger than 5,000 SF gross leasable area) shall have a maximum letter height of 46”. Logos or identification symbols shall have a maximum height of 68”. All minor stores (G.L.A. less than 5,000 SF) shall have letters with a maximum height 38”. Logos or identification symbols shall be limited to a height of 58”.

2. Signage shall not exceed 80 SF for minor stores and 95 SF for anchor stores. Square Footage (SF) measurements shall be in accordance with the 2016 zoning ordinance sign standards.

3. If store front letters are raceway mounted, the raceway shall match the façade color it is attached to.

B. Within the booklet dated November 8, 1994, Page SC-3,

1. The following language shall be **deleted in its entirety**: “Pole Signs. The poles shall be made of dark metal. One pole sign is allotted per commercial parcel. A mall is allotted one pole sign.”

2. Monument signs may be face lit or backlit.

This recommendation is on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Approval, with Revisions:**

I move that the change in proffered conditions for **Timberbrook Associates LLC** be forwarded to the Board of Supervisors with the following proffered conditions, which are modified as follows from those supplied by the applicant and as presented in this background report prepared by staff.

- 1.
- 2.
- 3.

This recommendation is on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

**Denial, Rezoning:**

I move that the change in proffered conditions for the property of **Timberbrook Associates LC** be forwarded to the Board of Supervisors with recommendation for denial on the basis that the requirements of Section 25-581 of the Zoning Ordinance have not been satisfied due to the following reasons:

- 1.
- 2.
- 3.

2.044  
in computer  
12/1/94

Original  
PROFFERS



R. E. LAYMAN, JR., Chairman  
W. G. LOOPE, Vice-Chairman  
B. H. GRIFFITH  
E. O. SHIFLETT  
WANDA C. WINGO

# Botetourt County Board of Supervisors

GERALD A. BURGESS  
COUNTY ADMINISTRATOR  
PHONE (703) 473-8223  
FAX (703) 473-8207  
1 WEST MAIN STREET-BOX 1  
FINCASTLE, VIRGINIA 24090

November 30, 1994

Mr. James Hancock  
2635 Tinker Mill Road  
Daleville, VA 24083

RE: Request in the Amsterdam District to rezone a 336.23 acre site from an Agricultural A-1 Use District to the following: 46.60 acres as a Shopping Center SC Use District, 1.38 acres as a Business B-1 Use District, 228.14 acres as a Residential R-1 Use District, 25.60 acres as a Residential R-2 Use District, and 34.51 acres as a Residential R-3 Use District. The proposed residential use district will provide for 227 lots ranging in size from 0.25 acres to 10 acres. This parcel is located adjacent to the southbound lane of U. S. Route 220 approximately 0.5 miles north of the I-81/220 (Exit 150) interchange. The overall tract is referred to as Timberbrook and is identified on the Real Property Identification Maps of Botetourt County as Section 101, Parcels 44 and 44B, and Section 100, Parcel 67.

Dear Mr. Hancock:

This letter will certify that the above noted rezoning request was approved by the Botetourt County Board of Supervisors at their regular meeting held on November 18, 1994, with the following conditions:

1. The Timberbrook commercial and residential development shall be developed/constructed in conformance with the guidelines established in the supplemental information for rezoning as described in the booklets dated October 5, 1994, and November 8, 1994.
2. The residential areas designated R-1, R-2, and R-3 are for the construction of single family dwellings, multi-family dwellings, and townhouses. Duplexes, rooming houses, boardinghouses, and tourist houses are excluded from all areas.
3. Public water and public sewer will be approved and provided for both commercial and residential lots prior to approval of building construction.
4. Should the project construction pollute or cause failure to any of the adjacent property owner's existing wells, a water line will be extended to their property at no cost to the adjacent property owner.

5. Each phase of the project will comply with all Virginia Department of Transportation (VDoT) design standards. The Food Lion Shopping Center developer will install a VDoT approved traffic light at the proposed intersection of the commercial entrance and State Route 653 at their expense. These improvements will be completed prior to the opening of any commercial business.
6. An integrated storm water detention plan will be developed for the entire commercial tract and residential tract prior to approval of construction of the first building.
7. Outside light poles will not exceed 25' in height and will be directed inward toward each business using light reflectors to shield the light from residential areas. No more than 0.3 foot-candles will be allowed to cross property lines.
8. Leyland Cypress trees will be purchased and installed 15' on center along the southern property line of the Daleville Cemetery, Rachel Hancock, and Jerry Byer properties.
9. No residential or commercial buildings shall be constructed west of the Norfolk Southern railroad tracks in the R-1, R-2, R-3, and B-1 Use Districts until a VDoT approved road and bridge structure are constructed to provide access from this area to U. S. Route 220 via the proposed four lane boulevard serving the Shopping Center SC Use District.

This action was taken after advertisements and public hearings of the Botetourt County Planning Commission and the Botetourt County Board of Supervisors in accordance with requirements of the Botetourt County Zoning Ordinance.

Before commencing the construction of any structure on this property, please secure all necessary building, electrical, plumbing, and mechanical permits required under the applicable Botetourt County Codes.

If I may be of any further assistance to you regarding this matter, please do not hesitate to contact me.

Sincerely,



Gerald A. Burgess  
County Administrator

cc: ~~LE~~ Chuck Supan, County Planner/Zoning Administrator  
Steve Wampler, Commissioner of Revenue

DESIGN GUIDELINES

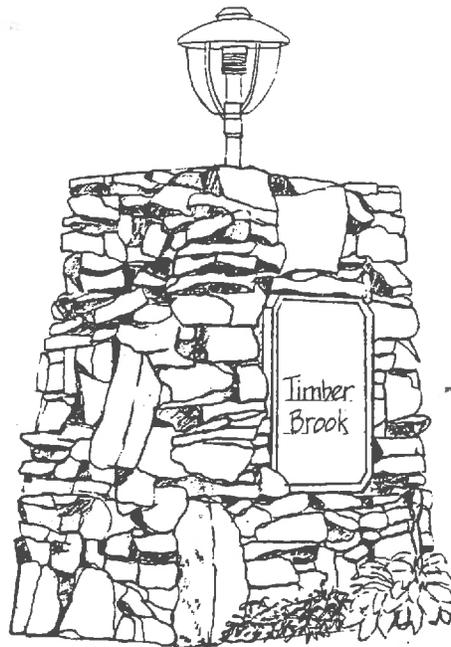
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TIMBERBROOK  
SHOPPING CENTER  
DISTRICT

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SUPPLEMENTAL INFORMATION  
FOR REZONING SUBMITTAL

BOTETOURT COUNTY PLANNING COMMISSION



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JIM HANCOCK, PROPRIETOR

HILL STUDIO, P.C.

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October 24, 1994

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# SHOPPING CENTER DESIGN GUIDELINES

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## OUTLINE

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## PROJECT DESCRIPTION

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### SITE LOCATION

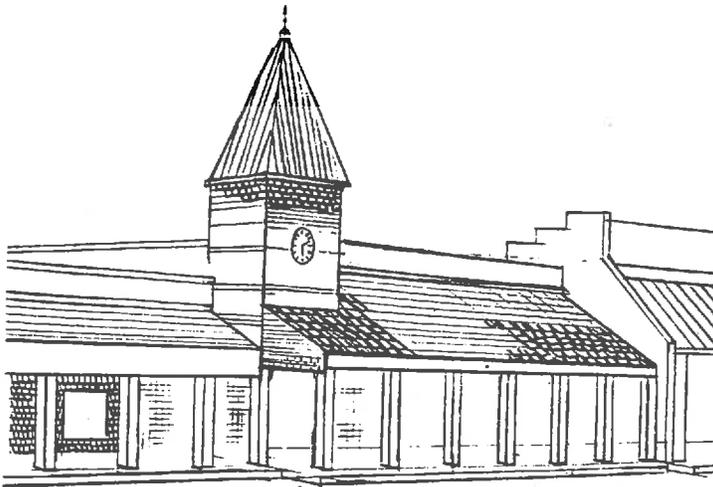
The Timber Brook Shopping Center District is located on the north side of Tinker Mountain, in Daleville, Virginia, just fifteen miles from downtown Roanoke, 5 miles from Roanoke Regional Airport and 1/2 mile from Exit 150, a major interchange at U.S. Interstate Highway I-81. The Shopping Center Design Guidelines apply to the Timber Brook land which lies east of the Norfolk-Southern tracks.

### OBJECTIVE

The Shopping Center will serve the Timber Brook residential community and the community of Daleville.

### NEIGHBORHOOD ORGANIZATION

Each business owner is automatically a member of the Timber Brook Neighborhood Organization, a non-profit corporation of home owners composed of Timber Brook residents and business owners. Commercial lot owners are allotted one membership per business parcel. All plans and designs for the shopping center areas shall be reviewed and approved by the Site Plan Review Committee of Timber Brook before they may be constructed. See the Neighborhood Organization section of Timber Brook Planned Community Supplemental Information for Re-zoning for further information.



*Shingle Style*

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## DESIGN GUIDELINES

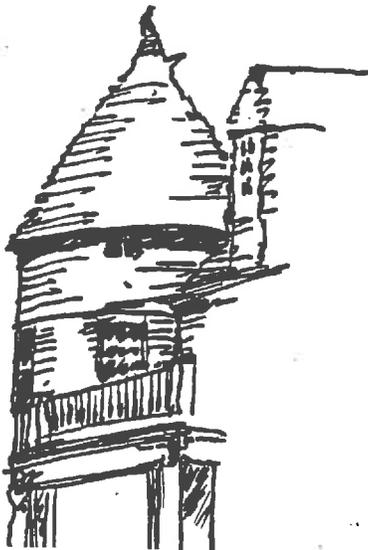
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### ARCHITECTURAL THEME

In keeping with the Shingle Style architecture proposed for the residential areas at Timber Brook, the Shopping Center shall also be designed in the Shingle Style tradition. Because of its free-form and variable character, Shingle Style is especially appropriate to today's shopping centers which need to accommodate buildings of different shapes and sizes. Architectural details typical to the Shingle Style including unadorned simple, multiple and bay windows, arches, towers and porches. These shall be incorporated into the Shopping Center.



*Building Massing at Shopping Center in Greensboro, NC*



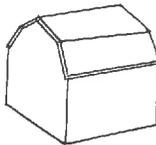
*Shingle-Style Tower*



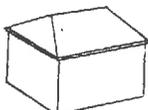
SIDE-GABLED



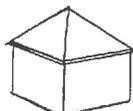
FRONT-GABLED



GAMBREL



HIPPED



PYRAMIDAL

*Roof Types*

## BUILDING MATERIALS

Buildings shall be constructed of a maximum of three exterior materials in order to achieve a clean, orderly effect. The building materials shall be restricted to the following: 1) masonry: rusticated stone, brick, split-face cmu's, 2) siding: cedar, gray stain and cementous exterior insulation, tan or gray and 3) glazing shall be clear, amber or light green. Mirrored glass is prohibited. At least 30% of the visitor-oriented building facade will be of the following: rusticated stone, cedar siding and/or glazing. Roofs where visible from parking lots shall be constructed of tiles, shingles or standing-seam metals.

Building colors shall be restricted to subdued earth tones.

Because the use of wood shingles as the primary building material is not practical for a shopping center, the use of brick and rusticated stone are encouraged as the primary building materials.

## BUILDING FORM

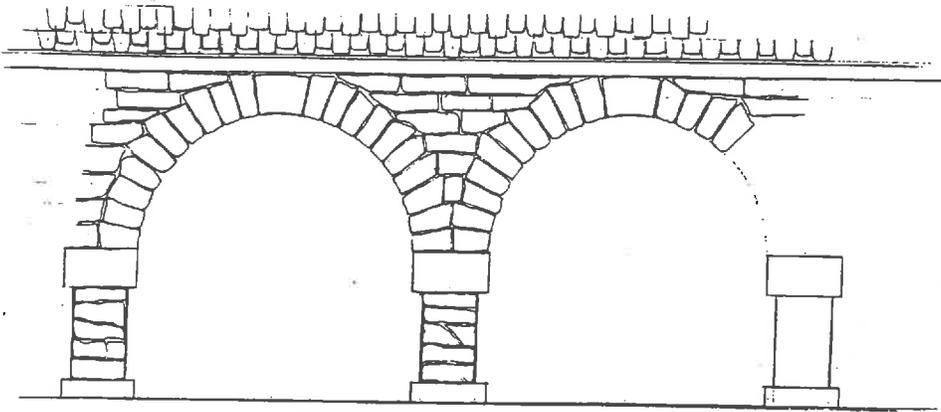
Porches supported by massive piers of stone, of heavy timber or shingle-clad are a distinguishing characteristic of the Shingle Style. The Shopping Center shall be arcaded using one or a combination of these pier types. An eighteen (18) inch tall seating wall connecting the piers along the arcade is encouraged to provide shoppers with a place to sit. See following page for drawings.

Towers and arches are also characteristic of the Shingle Style. Towers are usually incorporated into the main building volume as partial bulges or as half-towers rather than as individual elements. One tower is required for each 20,000 square feet of built space. They may host flags or signs for the business.

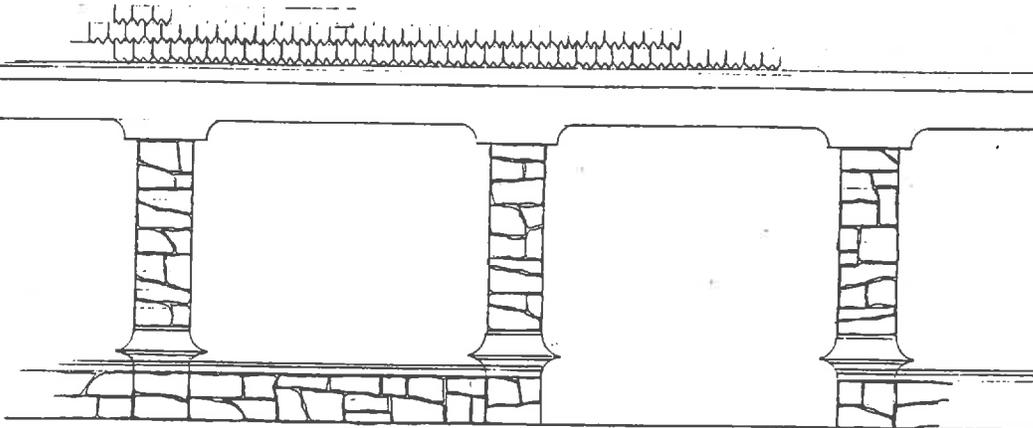
Massive Romanesque arches or Syrian arches are often used for entrances and as porch supports.

Roofs typical of the Shingle Style are side or front gabled, hipped or gambrel roofs.

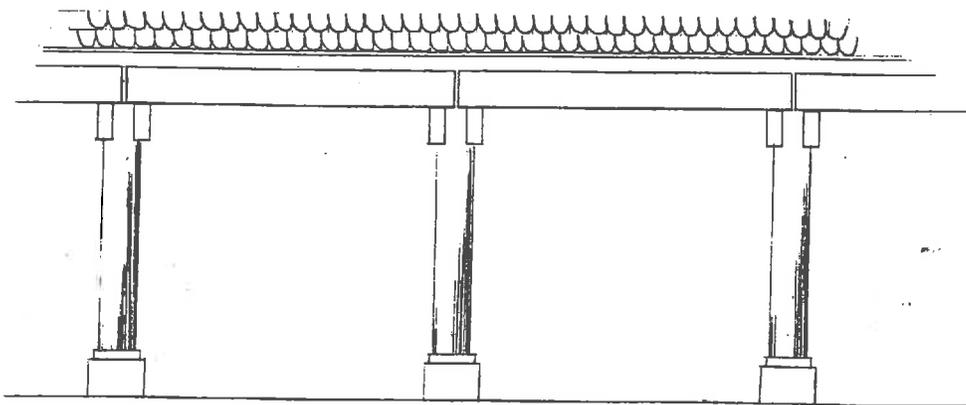
Windows typical of a Shingle Style building are usually unadorned simple, multiple or bay windows. Windows are often curved to accommodate the curvature of a tower or other building bulge.



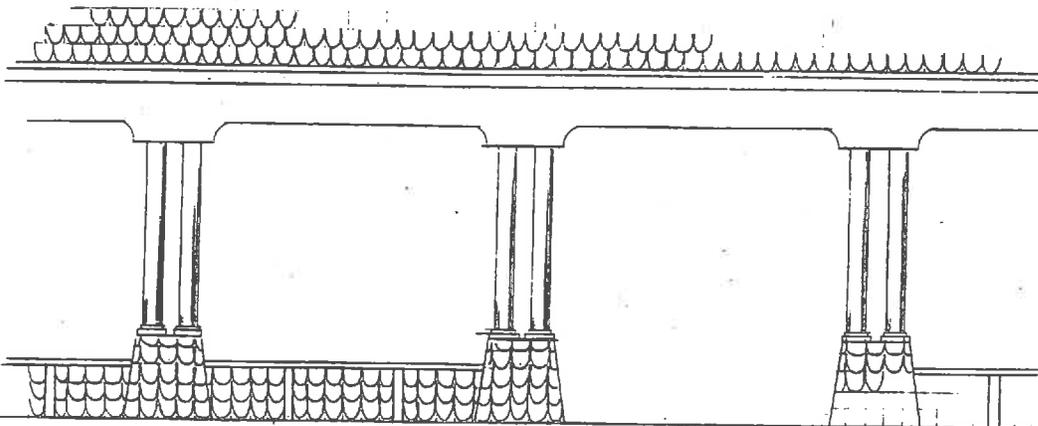
*Rusticated Stone Arches*



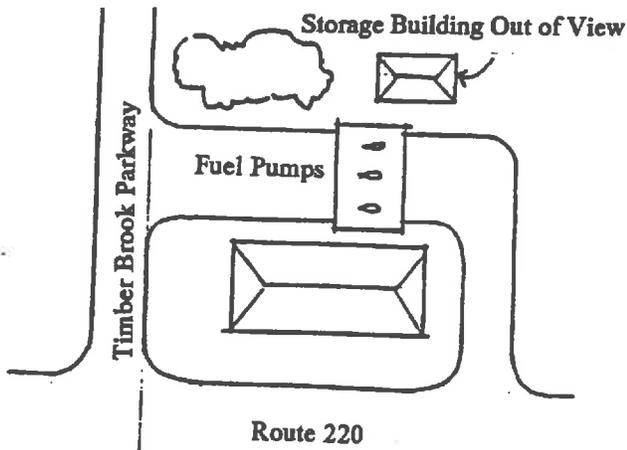
*Rusticated Stone Piers*



*Heavy Timber Piers*



*Double Wood Columns*



## SETBACKS

Buildings shall be setback a minimum of fifty (50) feet from Timber Brook Parkway R.O.W.

Fuel pumps shall be located behind the front building line as seen from US 220 or Timber Brook Parkway.

Parking lots shall be setback thirty (30) feet from US 220 and from Timber Brook Parkway R.O.W.

## HEIGHT REQUIREMENTS

No building shall exceed 36' in height.

## SERVICE, LOADING AND OUTSIDE STORAGE

Space shall be provided which is not visible from Timber Brook Parkway or US 220.

## ENCLOSED FACILITIES

Auxillary structures shall be of the same material and style as the main structures. Accessory buildings shall have either gabled, hipped, pyramidal or gambrel roofs.

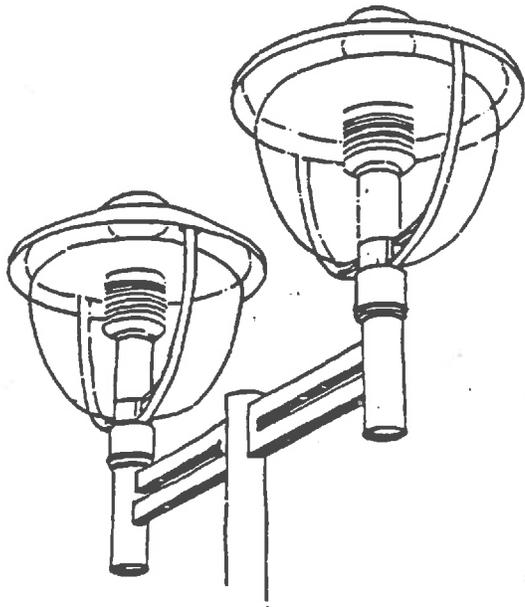
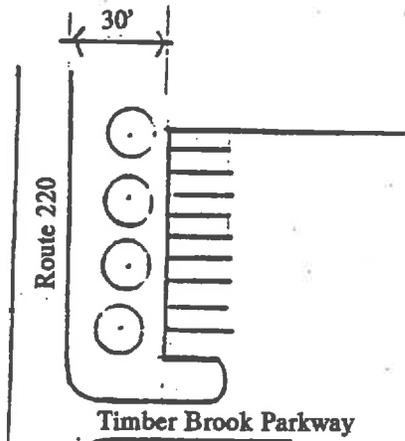
## LIGHTING

Within the shopping center arcade, lighting shall be provided by Gamma metal halide fixtures manufactured by Staff/selux or approved equal. They shall be hung from the ceiling of the arcade.

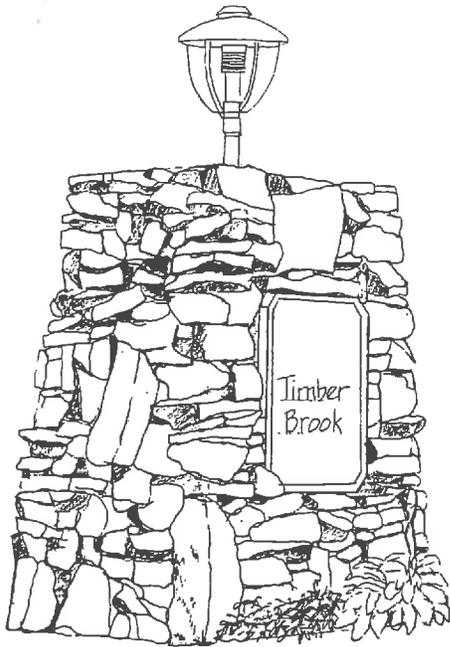
In the parking lots, double-globed fixtures on twenty-five (25) foot tall, dark anodized poles shall provide the lighting.

Timber Brook Parkway shall be lined with twelve (12) foot tall Gamma pole lights manufactured by Staff/selux with metal halide fixtures or approved equal. They shall be spaced sixty (60) feet on center.

All lights should meet applicable power standards for safety. Parking areas will be lighted to provide a minimum of 0.8 footcandles on the ground in customer areas, while casting less than 0.3 footcandles at the property line.



*Gamma Double Globe Fixture by Staff/selux*



*Development Demarcation Pillar*

## SIGNAGE

All signage shall be consistent with the Timber Brook residential signage.

Development demarcation around major intersections shall be rusticated field stone pillars, seven (7) feet in height, five (5) feet at the base with a 1:12 batter on all four sides, and crowned with a Staff/sellux Gamma metal halide light fixture or approved equal.

Street signs shall be laser-routed red wood stained with Cabot's semi-transparent dark gray #0347. Colors on the signs shall be chosen from the Design Review Committee's approved colors' list which includes Old Virginia White #11, Navajo White #13, Federal Blue #77, Evergreen #10, or Barn Red #85 from Cabot's O.V.T. Solid Color Stain line. The signs shall be manufactured by Redwood Signs, Inc., Vinton, VA., or approved equal.

Shopping Center businesses may consider four types of signage: pole signs, monument signs, entry signs and marquee lettering.

Total signage on site for free-standing signs shall have a maximum area of two (2) square feet for every linear foot of frontage, or three (3) percent of the ground floor area of the principal building, whichever is less.

### Pole Signs

Pole signs shall not exceed fifty (50) feet in height, and the poles shall be made of a dark metal. One pole sign is allotted per commercial parcel. A mall is allotted one pole sign.

### Monument Signs

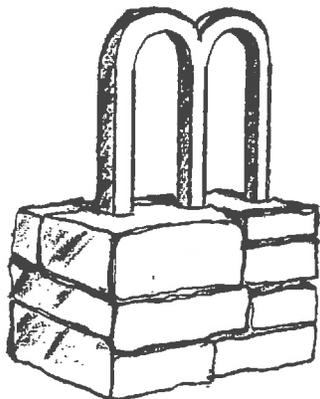
Monument signs, those with a solid base near ground level, shall not exceed seven (7) feet in height, or ten (10) feet in width. The signs shall be constructed using the Design Review Committee's approved materials and colors. They shall not be back-lit. One monument sign is allotted per commercial parcel. Monument signs shall acknowledge the name or logo of the development.

### Entry Signs

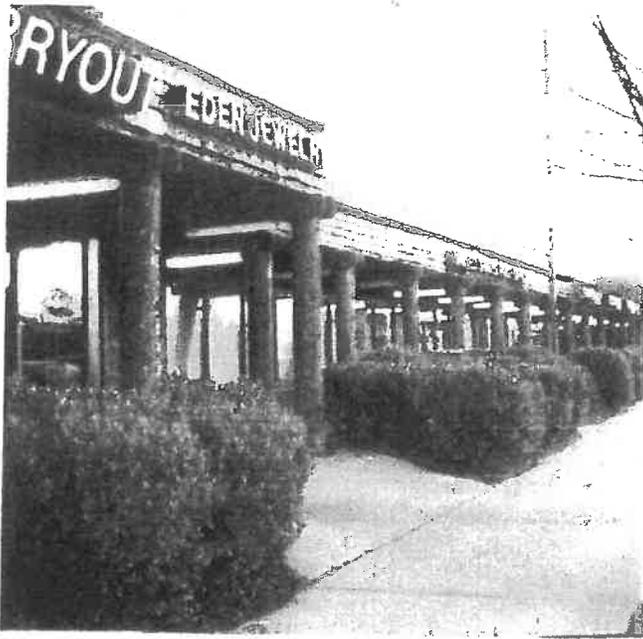
Up to four (4) entry signs are allotted per parcel. The total sign area shall not exceed twenty (20) square feet per parcel. The signs shall be constructed using the Design Review Committee's approved materials and colors.



*Well-built Monument Sign in Hilton Head, SC*



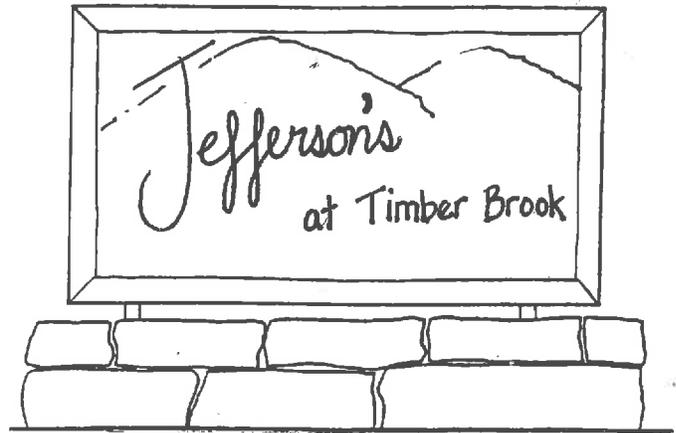
*Entry Sign*



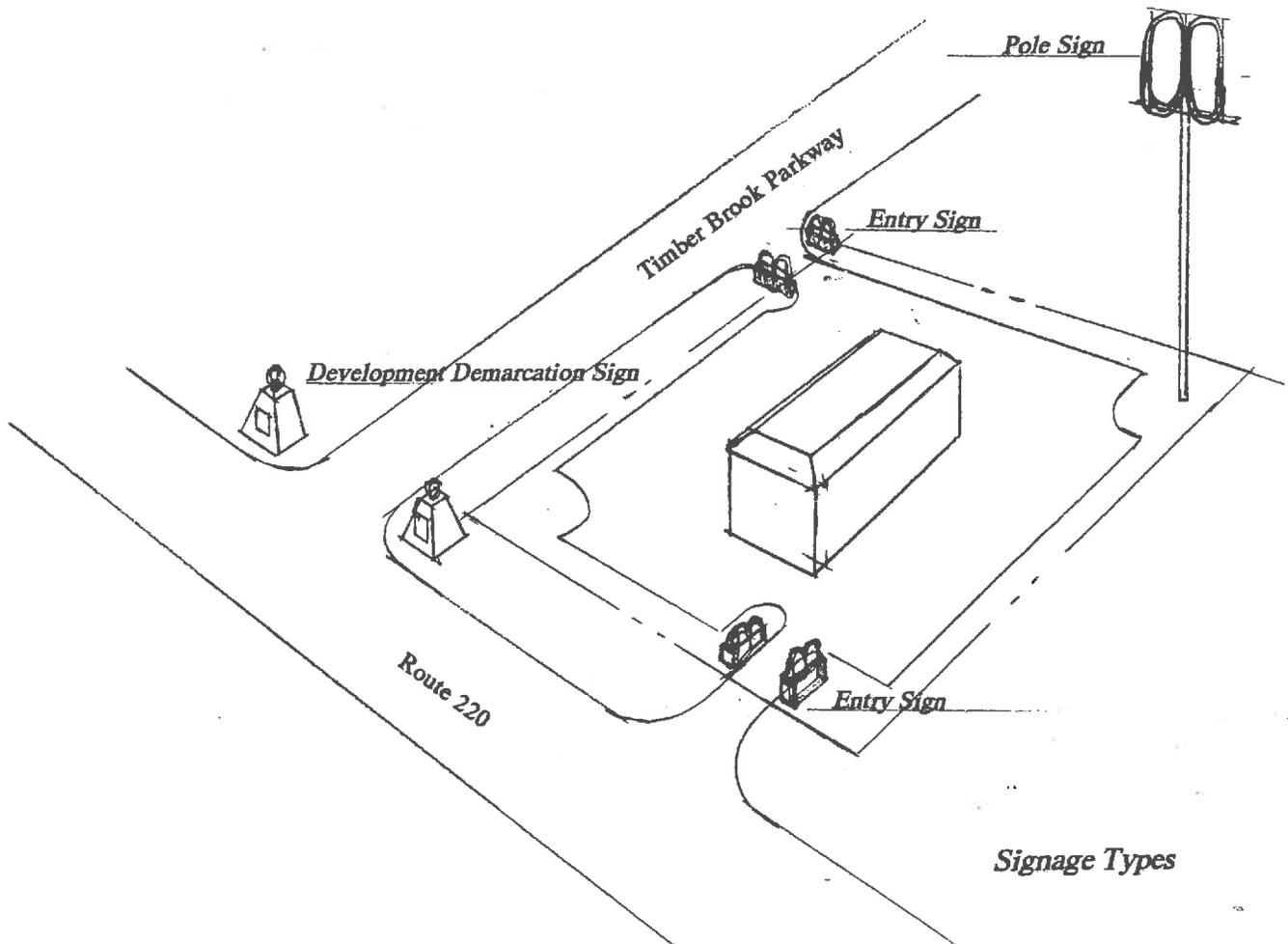
*Marquee Lettering at Shopping  
Center in Greensboro, NC*

Marquee Signage

Marquee signage may be used for retail facilities within the commercial parcels or for marquees on fuel pump shelters or other site appurtenances. All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray #0347, and shall have individual 18" tall, white back-lit letters, Times type face.



*Typical Monument Sign with Stone Base*





*Existing Tree Saved at Shopping*

*Center in Greensboro, NC*

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## LANDSCAPE

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### PLANT PALETTE

All plants shall meet requirements of current edition of American Standard for Nursery Stock for #1 grade materials.

A minimum of sixty percent (60%) of the plantings shall be in compliance with this palette:

#### Large Trees:

Sugar Maple (*Acer saccharum*)  
Norway Spruce (*Picea abies*)  
London Plane Tree (*Platanus acerifolia*)  
Japanese Zelkova (*Zelkova serrata*)

#### Flowering Trees:

Kwansan Cherry (*Prunus serrulata* 'Kwanzan')  
Eastern Redbud (*Cercis canadensis*)  
Flowering Dogwood (*Cornus florida*)

#### Shrubs:

Hicks Yew (*Taxus media* 'Hicksii')  
American Boxwood (*Buxus sempervirens*)  
Sargent Juniper (*Juniperus chinensis*  
'Sargent')

#### Groundcover:

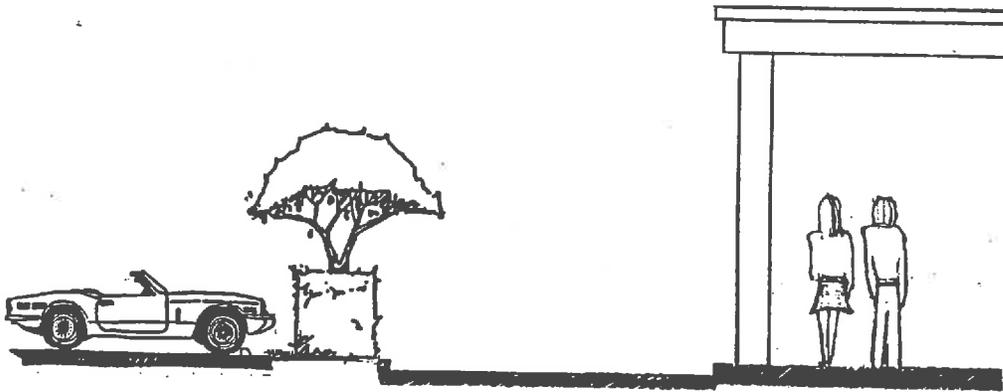
English Ivy (*Hedera helix*)  
Japanese Pachysandra (*Pachysandra terminalis*)  
Periwinkle (*Vinca minor* or *major*)

### PARKING LOTS

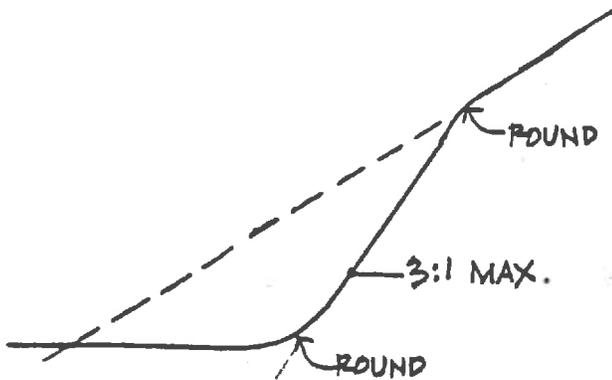
Trees are required in the parking lots. Fifty (50) percent of all healthy existing trees 18" in caliper or larger shall remain, with parking lots created outside the dripline. There shall be no cut or fill over 6" within the dripline.

In addition to parking aisles, one two hundred (200) square foot space planted with grass or shrubs and a 2" caliper tree shall occur for every ten (10) parking spaces.

Planting beds are required in the parking lots. For every twenty (20) square feet of parking lot, there shall be one (1) square foot of planting bed. These can be in medians or around edges or entrances. The beds shall be planted with a minimum of one (1) gallon shrub or three to four (3-4) inch ground covers per three (3) square feet of planting bed.



*Planting Bed*



*Cut and Fill*

#### CUT AND FILL

The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 3:1 will be allowed to remain after finish grading.

#### OTHER SITE MATERIALS

Parking lots shall be made of asphalt. All curbs and sidewalks shall be made of concrete with a course broom finish.

# DESIGN GUIDELINES

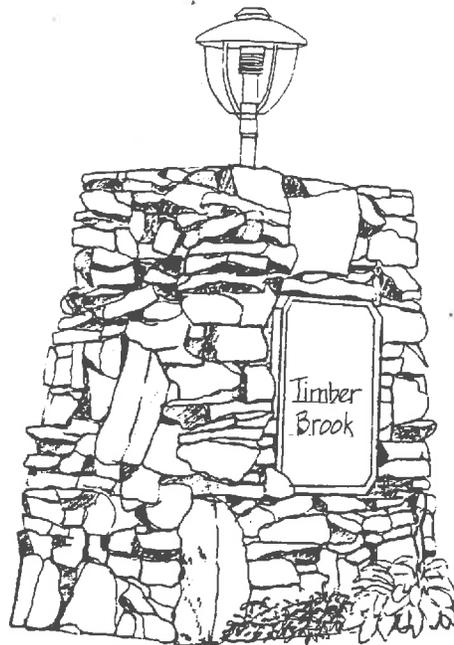
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## TIMBERBROOK SHOPPING CENTER DISTRICT

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### SUPPLEMENTAL INFORMATION FOR REZONING SUBMITTAL

BOTETOURT COUNTY PLANNING COMMISSION



*Development Demarcation Pillar*

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JIM HANCOCK, PROPRIETOR  
HILL STUDIO, P.C.

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Revised November 8, 1994

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# SHOPPING CENTER DESIGN GUIDELINES

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## OUTLINE

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## PROJECT DESCRIPTION

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### SITE LOCATION

The Timber Brook Shopping Center District is located on the north side of Tinker Mountain, in Daleville, Virginia, just fifteen miles from downtown Roanoke, 5 miles from Roanoke Regional Airport and 1/2 mile from Exit 150, a major interchange at U.S. Interstate Highway I-81. The Shopping Center Design Guidelines apply to the Timber Brook land which lies east of the Norfolk-Southern tracks.

### OBJECTIVE

The Shopping Center will serve the Timber Brook residential community and the community of Daleville. The SC Section of Timberbrook contains a variety of retail spaces, offices, and other commercial uses.

### NEIGHBORHOOD ORGANIZATION

Each business owner is automatically a member of the Timber Brook Neighborhood Organization, a non-profit corporation of home owners composed of Timber Brook residents and business owners. Commercial lot owners are allotted one membership per business parcel. All plans and designs for the shopping center areas shall be reviewed and approved by the Site Plan Review Committee of Timber Brook before they may be constructed. See the Neighborhood Organization section of Timber Brook Planned Community Supplemental Information for Re-zoning for further information.

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## DESIGN GUIDELINES

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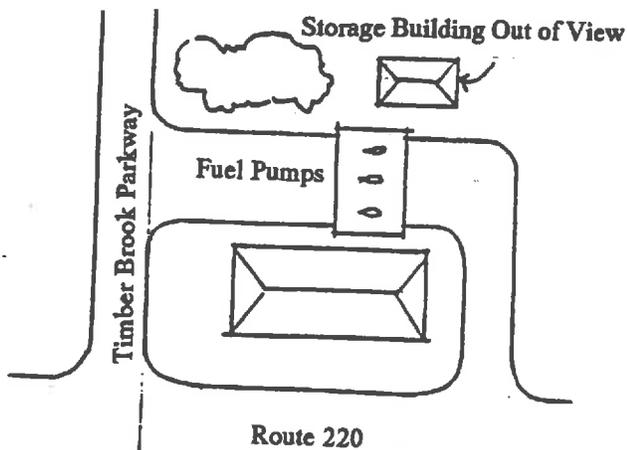
Buildings in the SC district will make a concerted effort to appear attractive from all sides visible from the parking lots, Timberbrook residential community, existing adjacent residential areas, and each other. Buildings will be aesthetically compatible with existing buildings within the SC district.

### BUILDING MATERIALS

Buildings shall be constructed of a maximum of three exterior materials in order to achieve a clean, orderly effect. The building materials shall be restricted to the following: 1) masonry: rusticated stone, brick, split-face concrete masonry units (popularly known as concrete block), 2) siding: cedar, gray stain and cementous exterior insulation (popularly known by Dry-vit and other trade names), tan or gray and 3) glazing shall be clear, amber or light green. Mirrored glass is prohibited. At least 30% of the visitor-oriented building facades will be of the following: rusticated stone, cedar siding and/or glazing. The remainder of the building shall be harmonious in appearance from all sides. Roofs where visible from parking lots shall be constructed of tiles, shingles or standing-seam metals.

Building colors shall be restricted to subdued earth tones on all sides.

Because the use of wood shingles as the primary building material is not practical for a shopping center, the use of brick and rusticated stone are encouraged as the primary building materials. Cementous Exterior insulation (Dry-vit or equal) is allowed as a primary building material, but discouraged within four feet of the ground.



## SETBACKS

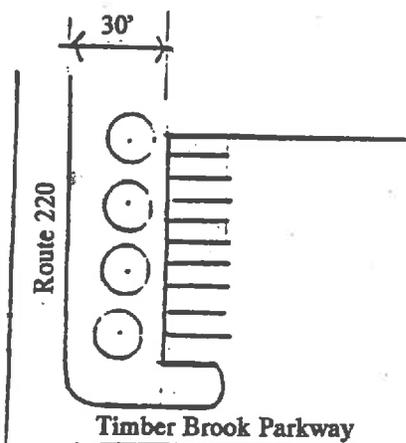
Buildings shall be setback a minimum of fifty (50) feet from Timber Brook Parkway R.O.W.

Fuel pumps shall be located behind the front building line as seen from US 220 or Timber Brook Parkway.

Parking lots shall be setback thirty (30) feet from US 220 and from Timber Brook Parkway R.O.W.

## SERVICE, LOADING, and OUTSIDE STORAGE

Storage space shall be provided which is not visible from Timber Brook Parkway or US 220. Dumpsters and air conditioning units will be completely screened from view as seen from US 220 and Timberbrook Parkway, residential areas, and customer-oriented SC areas. Use hedges or screen walls constructed of compatible materials and colors.



## ENCLOSED FACILITIES

Auxillary structures shall be of the same material and style as the main structures. Accessory buildings shall have either gabled, hipped, pyramidal or gambrel roofs.

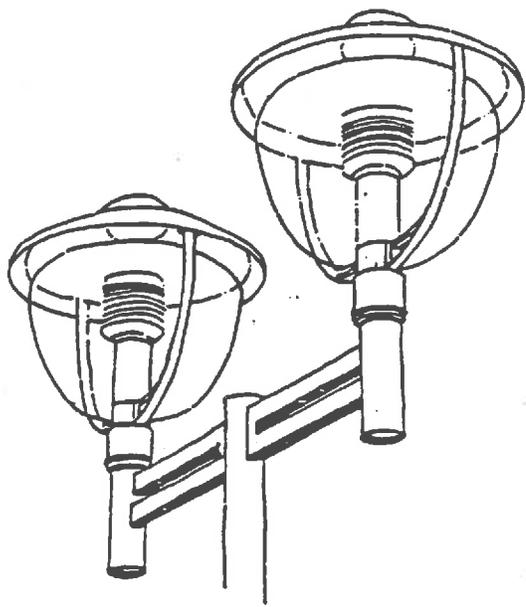
## LIGHTING

Within the shopping center arcade, lighting shall be provided by Gamma metal halide fixtures manufactured by Staff/selux or approved equal. They shall be hung from the ceiling of the arcade.

In the parking lots, double-globed fixtures on twenty-five (25) foot tall, dark anodized poles shall provide the lighting.

Timber Brook Parkway shall be lined with twelve (12) foot tall Gamma pole lights manufactured by Staff/selux with metal halide fixtures or approved equal. They shall be spaced sixty (60) feet on center.

All lights should meet applicable power standards for safety. Parking areas will be lighted to provide a minimum of 0.8 footcandles on the ground in customer areas, while casting less than 0.3 footcandles at the property line.



Gamma Double Globe Fixture by Staff/selux

## SIGNAGE

All signage shall be consistent with the Timber Brook residential signage.

Development demarcation around major intersections shall be rusticated field stone pillars, seven (7) feet in height, five (5) feet at the base with a 1:12 batter on all four sides, and crowned with a Staff/sellux Gamma metal halide light fixture or approved equal.

Street signs shall be laser-routed red wood stained with Cabot's semi-transparent dark gray #0347. Colors on the signs shall be chosen from the Design Review Committee's approved colors' list which includes Old Virginia White #11, Navajo White #13, Federal Blue #77, Evergreen #10, or Barn Red #85 from Cabot's O.V.T. Solid Color Stain line. The signs shall be manufactured by Redwood Signs, Inc., Vinton, VA., or approved equal.

Shopping Center businesses may consider four types of signage: pole signs, monument signs, entry signs and marquee lettering.

Total signage on site for free-standing signs shall have a maximum area of two (2) square feet for every linear foot of frontage, or three (3) percent of the ground floor area of the principal building, whichever is less.

### Pole Signs

The poles shall be made of a dark metal. One pole sign is allotted per commercial parcel. A mall is allotted one pole sign.

### Monument Signs

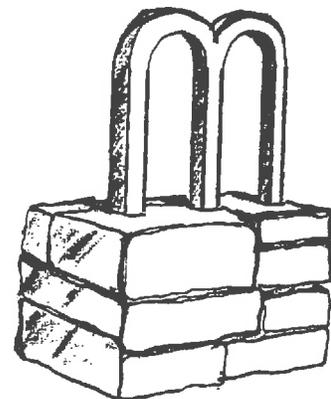
Monument signs, those with a solid base near ground level, shall not exceed seven (7) feet in height, or ten (10) feet in width. The signs shall be constructed using the Design Review Committee's approved materials and colors. They shall not be back-lit. One monument sign is allotted per commercial parcel. Monument signs shall acknowledge the name or logo of the development.

### Entry Signs

Up to four (4) entry signs are allotted per parcel. The total sign area shall not exceed twenty (20) square feet per parcel. The signs shall be constructed using the Design Review Committee's approved materials and colors.



*Well-built Monument Sign in Hilton Head, SC*



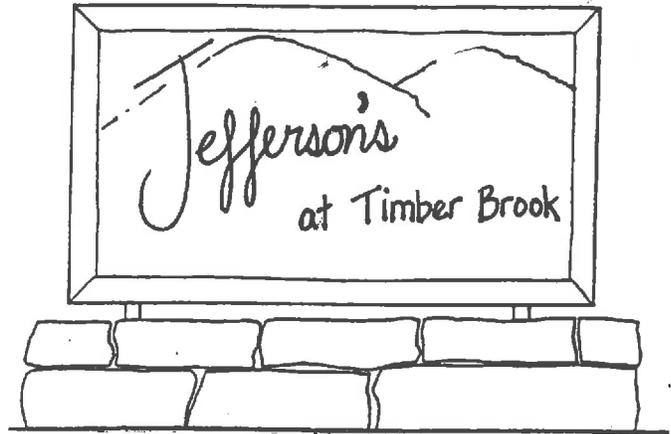
*Entry Sign*



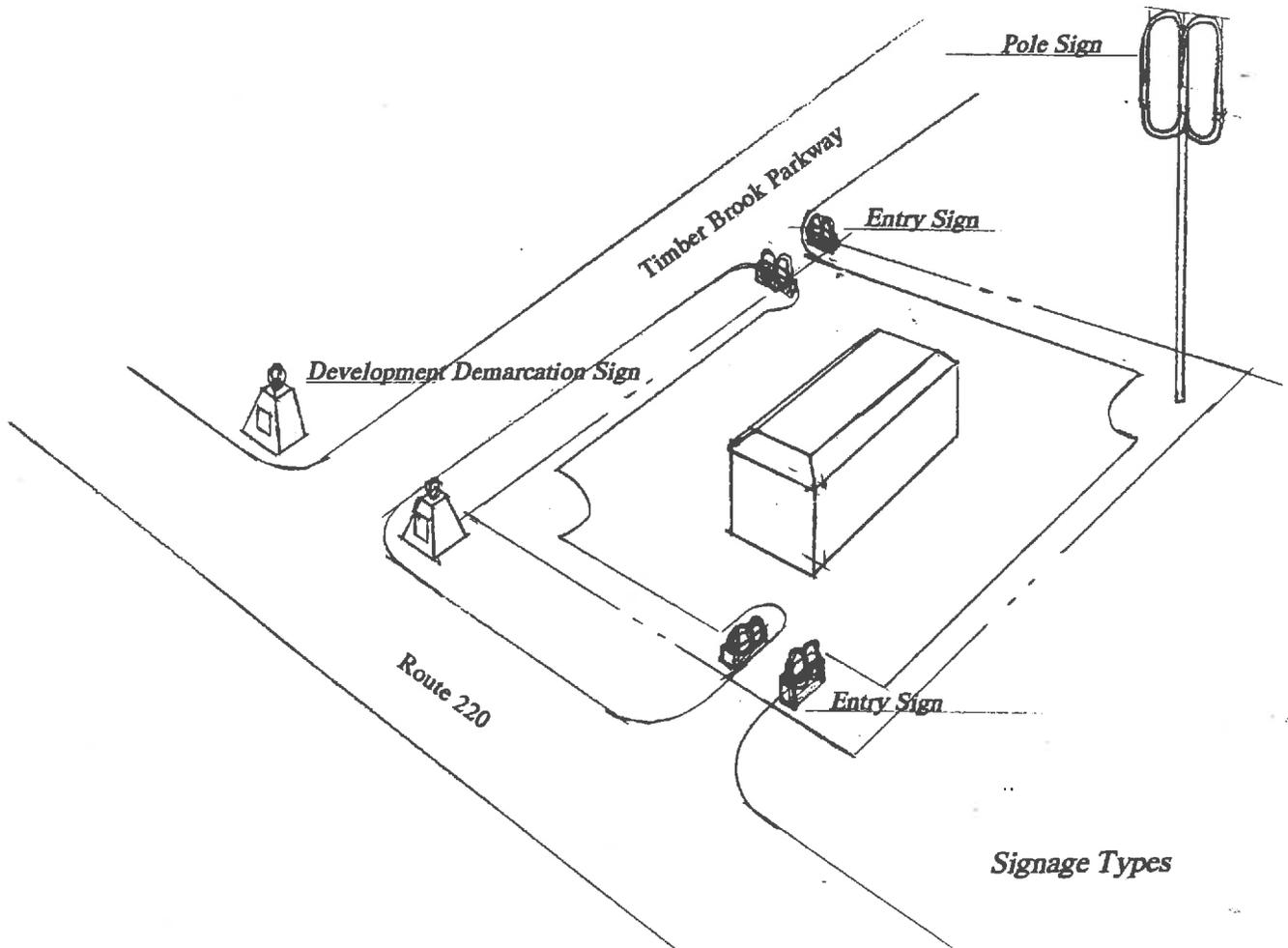
*Marquee Lettering at Shopping  
Center in Greensboro, NC*

Marquee Signage

Marquee signage may be used for retail facilities within the commercial parcels or for marquees on fuel pump shelters or other site appurtenances. All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray #0347, and shall have individual 18" tall, white back-lit letters, Times type face.



*Typical Monument Sign with Stone Base*



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## LANDSCAPE

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### PLANT PALETTE

All plants shall meet requirements of current edition of American Standard for Nursery Stock for #1 grade materials.

A minimum of sixty percent (60%) of the plantings shall be in compliance with this palette:

#### Large Trees:

Sugar Maple (*Acer saccharum*)  
Norway Spruce (*Picea abies*)  
London Plane Tree (*Platanus acerifolia*)  
Japanese Zelkova (*Zelkova serrata*)

#### Flowering Trees:

Kwansan Cherry (*Prunus serrulat* 'Kwanzan')  
Eastern Redbud (*Cercis canadensis*)  
Flowering Dogwood (*Cornus florida*)

#### Shrubs:

Hicks Yew (*Taxus media* 'Hicksii')  
American Boxwood (*Buxus sempervirens*)  
Sargent Juniper (*J. chinensis* 'Sargent')

#### Groundcover:

English Ivy (*Hedera helix*)  
Japanese Pachysandra (*P. terminalis*)  
Periwinkle (*Vinca minor* or *major*)

### PARKING LOTS

Trees are required in the parking lots. Fifty (50) percent of all healthy existing trees 18" in caliper or larger shall remain, with parking lots created outside the dripline. There shall be no cut or fill over 6" within the dripline.

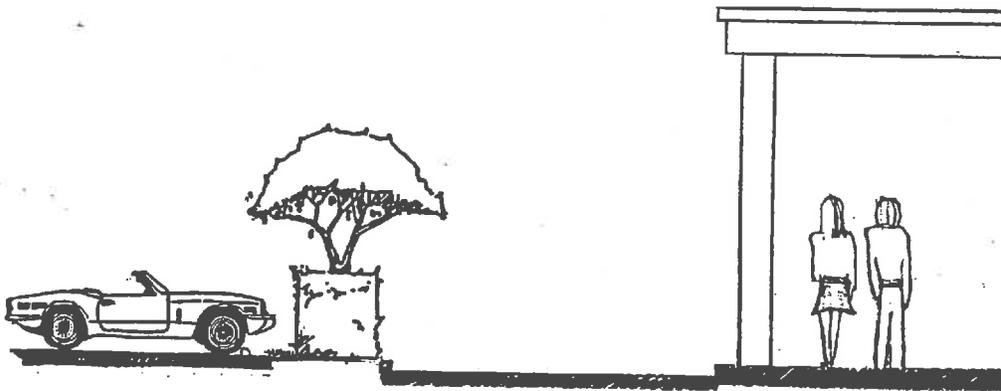


*Existing Tree Saved at Shopping*

*Center in Greensboro, NC*

In addition to parking aisles, one two hundred (200) square foot space planted with grass or shrubs and a 2" caliper tree shall occur for every ten (10) parking spaces.

Planting beds are required in the parking lots. For every twenty (20) square feet of parking lot, there shall be one (1) square foot of planting bed. These can be in medians or around edges or entrances. The beds shall be planted with a minimum of one (1) gallon shrub or three to four (3-4) inch ground covers per three (3) square feet of planting bed.



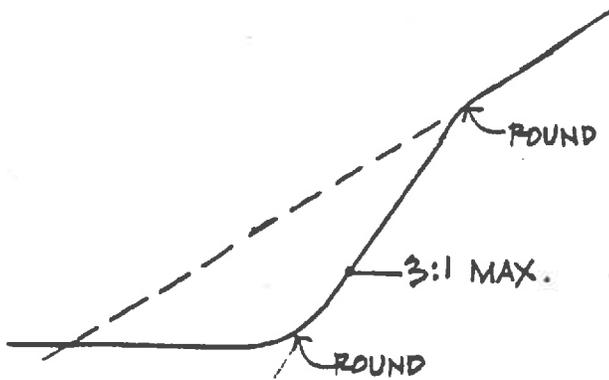
*Planting Bed*

### CUT AND FILL

The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 3:1 will be allowed to remain after finish grading.

### OTHER SITE MATERIALS

Parking lots shall be made of asphalt. All curbs and sidewalks shall be made of concrete with a course broom finish.



*Cut and Fill*

---

## APPENDIX: ILLUSTRATIONS OF DESIGN CHARACTER

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The following illustrations are meant as examples of architectural character desired at the Timberbrook site. These depictions are meant to *inform* and *not meant as absolute requirements* as to style or materials.

### ARCHITECTURAL THEME

In keeping with the Shingle Style architecture proposed for the residential areas at Timber Brook, the Shopping Center shall also be designed in the Shingle Style tradition. Because of its free-form and variable character, Shingle Style is especially appropriate to today's shopping centers which need to accommodate buildings of different shapes and sizes. Architectural details typical to the Shingle Style including unadorned simple, multiple and bay windows, arches, towers and porches. These shall be incorporated into the Shopping Center.

### BUILDING FORM

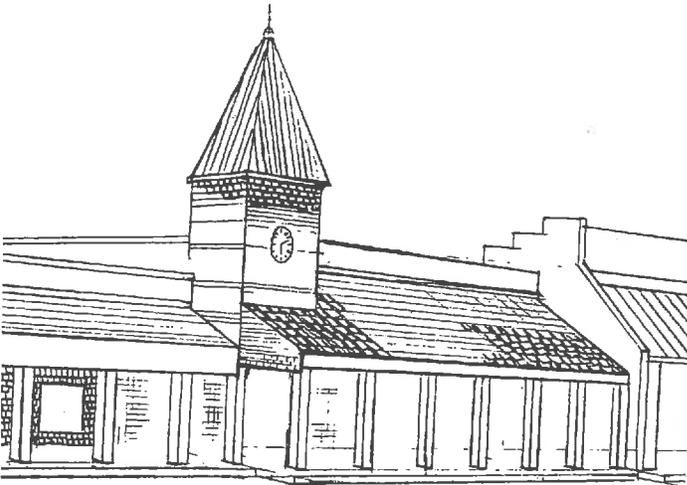
Porches supported by massive piers of stone, of heavy timber or shingle-clad are a distinguishing characteristic of the Shingle Style. The Shopping Center shall be arcaded using one or a combination of these pier types. An eighteen (18) inch tall seating wall connecting the piers along the arcade is encouraged to provide shoppers with a place to sit. See following page for drawings.

Towers and arches are also characteristic of the Shingle Style. Towers are usually incorporated into the main building volume as partial bulges or as half-towers rather than as individual elements. One tower is required for each 20,000 square feet of built space. They may host flags or signs for the business.

Massive Romanesque arches or Syrian arches are often used for entrances and as porch supports.

Roofs typical of the Shingle Style are side or front gabled, hipped or gambrel roofs.

Windows typical of a Shingle Style building are usually unadorned simple, multiple or bay windows. Windows are often curved to accommodate the curvature of a tower or other building bulge.

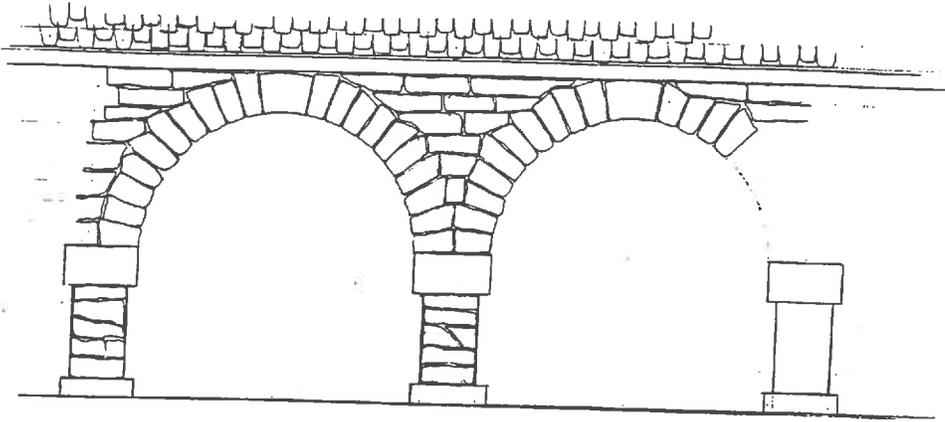


*Shingle Style*

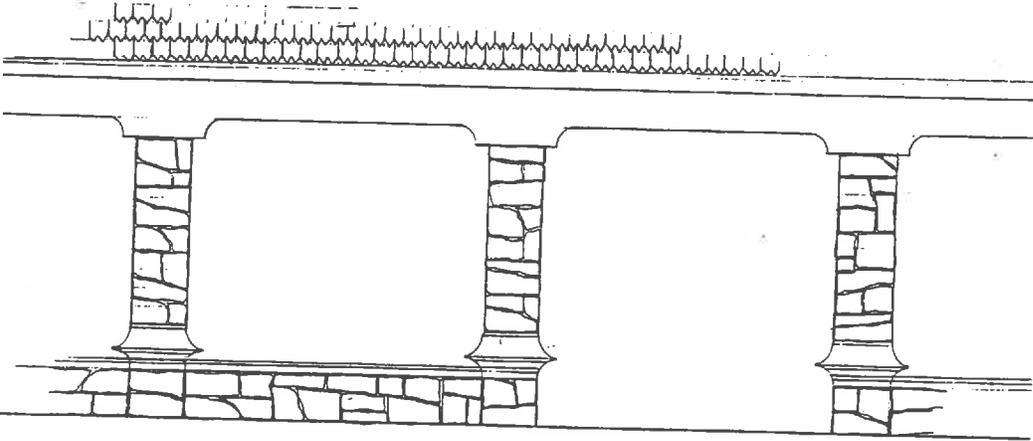


*Building Massing at Shopping  
Center in Greensboro, NC*

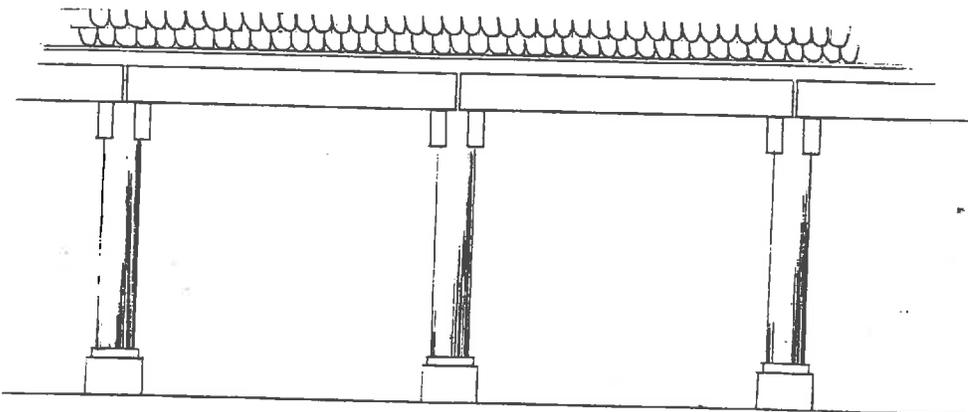
## ARCADE EXAMPLES



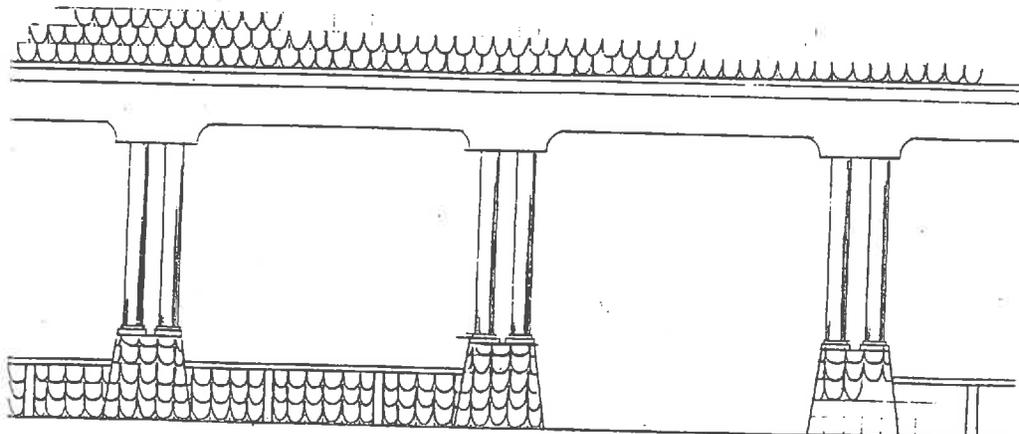
*Rusticated Stone Arches*



*Rusticated Stone Piers*



*Heavy Timber Piers*



*Double Wood Columns*

April 26, 1995  
Mr. Chuck Supan, Director of Community Planning  
Botetourt County Planning Office  
Courthouse Square  
Fincastle, Virginia 24090



**Re: DESIGN GUIDELINES AMENDMENTS  
TIMBERBROOK PLANNED COMMUNITY - SC ZONING AREA  
Approved by Board of Supervisors April 18, 1995**

Dear Mr. Supan,

Please find below the amendments that were passed for the entire Timberbrook SC District:

**PREVIOUS TEXT:**

Parking lots shall be setback thirty (30) feet from US 220 ...

**REVISED TEXT:**

Parking Lots shall be setback ten (10) feet from the US 220 right-of-way line ...

Along U.S. 220, a planting berm will be placed to visually mitigate view of vehicles parked in lots facing U.S.220. The berm will be planted with trees and shrubs from the required plant palette, composing part of the required parking lot planting scheme.

Cars or other items placed "for sale" by individuals will not be allowed adjacent to U. S. 220 or Timber Brook Parkway.

**PREVIOUS TEXT:**

All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray stain #0347, and shall have individual 18" tall, white back-lit letters utilizing "Times" type face or approved equal.

**REVISED TEXT:**

All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray stain #0347, and shall have individual, white back-lit letters Times or similar type face composing the sign. Anchor Stores, (larger than 5,000 SF gross leasable area) shall have letters a minimum of 18" tall, which beginning at 100' back, may increase one foot in height for every 100 feet the building is setback from U. S. 220 right of way up to 48" tall. All minor stores (G.L. A. less than 5,000 S.F.) shall have 18" letters.

**PREVIOUS TEXT::**

The builder shall round the tops and bottoms of all slopes to present a natural appearance No slopes greater than 3:1 will be allowed to remain after finish grading.

**REVISED TEXT:**

The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 2:1 will be allowed to remain after finish grading. The top and bottom slope rounding shall be accomplished by the following formula:

	SLOPE RATIO	GRADE DIFFERENTIAL
Top:	4:1	5% of the graded height
Transition:	3:1	10%
Middle of Slope:	2:1	70 %
Transition:	3:1	10%
Bottom:	4:1	5%

April 26, 1995

Using this formula, an applicant requesting to grade a 20' tall bank would need to meet these slope criteria:

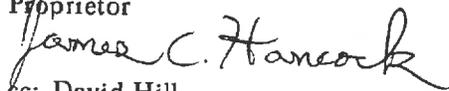
AREA	CRITERION	VERTICAL DISTANCE	HORIZONTAL DISTANCE
Top:	4:1	1'	4'
Transition:	3:1	2'	6'
Middle of Slope:	2:1	14'	28'
Transition:	3:1	2'	6'
Bottom:	4:1	$\frac{1'}{20'}$	$\frac{4'}{48'}$

We believe that the above changes will be more enforceable than the outline guidelines used in the previous text, and will help to create a better planned community.

We appreciate your continued help in the planning of this community.

Respectfully submitted,  
TIMBERBROOK PLANNED COMMUNITY

James C. Hancock  
Proprietor



cc: David Hill  
Bo Trumbo  
Hal Bailey  
John Fife

*Changed  
proffers*



**Botetourt County  
Board of Supervisors**

R. E. LAYMAN, JR., Chairman  
W. G. LOOPE, Vice-Chairman  
BONNIE B. MAYO  
E. O. SHIFLETT  
WANDA C. WINGO

GERALD A. BURGESS  
COUNTY ADMINISTRATOR  
PHONE (703) 473-8223  
FAX (703) 473-8207  
1 WEST MAIN STREET-BOX 1  
FINCASTLE, VIRGINIA 24090

May 5, 1995

Mr. James C. Hancock  
2635 Tinker Mill Road  
Daleville, VA 24083

RE: Request in the Amsterdam District to change proffered conditions regarding parking lot setbacks, lighting, road, signs, and slope grade for the Timberbrook Shopping Center on a tract located adjacent to the southbound lane of U. S. Route 220, approximately 1/4 mile north of Exit 150/I-81 and as identified on the Real Property Identification Maps of Botetourt County as Section 101, Part of Parcel 44.

Dear Mr. Hancock:

This letter will certify that the above noted request was approved by the Botetourt County Board of Supervisors at their regular meeting held on April 18, 1995, with the following conditions:

1. Parking lots shall be setback ten (10) feet from the U. S. 220 right-of-way line. Along U. S. 220, a planting berm will be placed to visually mitigate view of vehicles parked in lots facing U. S. 220. The berm will be planted with trees and shrubs from the required plant palette, composing part of the required parking lot planting scheme. Cars or other items placed "for sale" by individuals will not be allowed adjacent to U. S. 220 or Timber Brook Parkway.
2. All marquees shall be made of shingles, stained with Cabot's semi-transparent dark gray stain #0347, and shall have individual, white back-lit letters "Times" or similar type face composing the sign. Anchor stores, (larger than 5,000 SF gross leasable area) shall have letters a minimum of 18" tall, which beginning at 100' back, may increase one foot in height for every 100 feet the building is setback from U. S. 220 right-of-way up to 48" tall. All minor stores (G.L.A. less than 5,000 SF) shall have 18" letters.
3. The builder shall round the tops and bottoms of all slopes to present a natural appearance. No slopes greater than 2:1 will be allowed to remain after finish grading. The top and bottom slope rounding shall be accomplished by the following formula:

<u>Area</u>	<u>Slope Ratio</u>	<u>Grade Differential</u>
Top	4:1	5% of graded height
Transition	3:1	10%
Middle of Slope	2:1	70%
Transition	3:1	10%
Bottom	4:1	5%

Using this formula, an applicant requesting to grade a 20' tall bank would need to meet these slope criteria:

<u>Area</u>	<u>Criterion</u>	<u>Vertical Distance</u>	<u>Horizontal Distance</u>
Top	4:1	1'	4'
Transition	3:1	2'	6'
Middle of Slope	2:1	14'	28'
Transition	3:1	2'	6'
Bottom	4:1	<u>1'</u>	<u>4'</u>
		20'	48'

This action was taken after advertisements and public hearings of the Botetourt County Planning Commission and the Botetourt County Board of Supervisors in accordance with requirements of the Botetourt County Zoning Ordinance.

Before commencing the construction of any structure on this property, please secure all necessary building, electrical, plumbing, and mechanical permits required under the applicable Botetourt County Codes.

If I may be of any further assistance to you regarding this matter, please do not hesitate to contact me.

Sincerely,



Gerald A. Burgess  
County Administrator

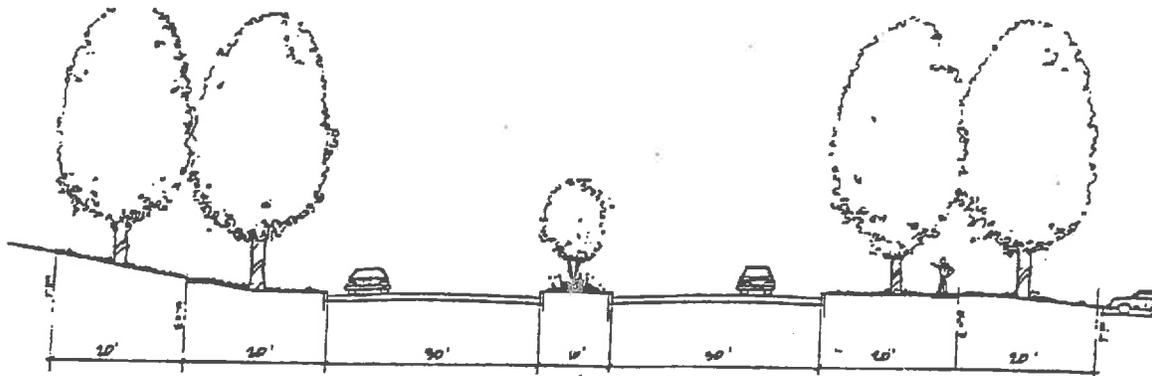
cc: ✓ Chuck Supan, County Planner/Zoning Administrator  
Steve Wampler, Commissioner of Revenue

### III. LANDSCAPE

#### STREET TREATMENT

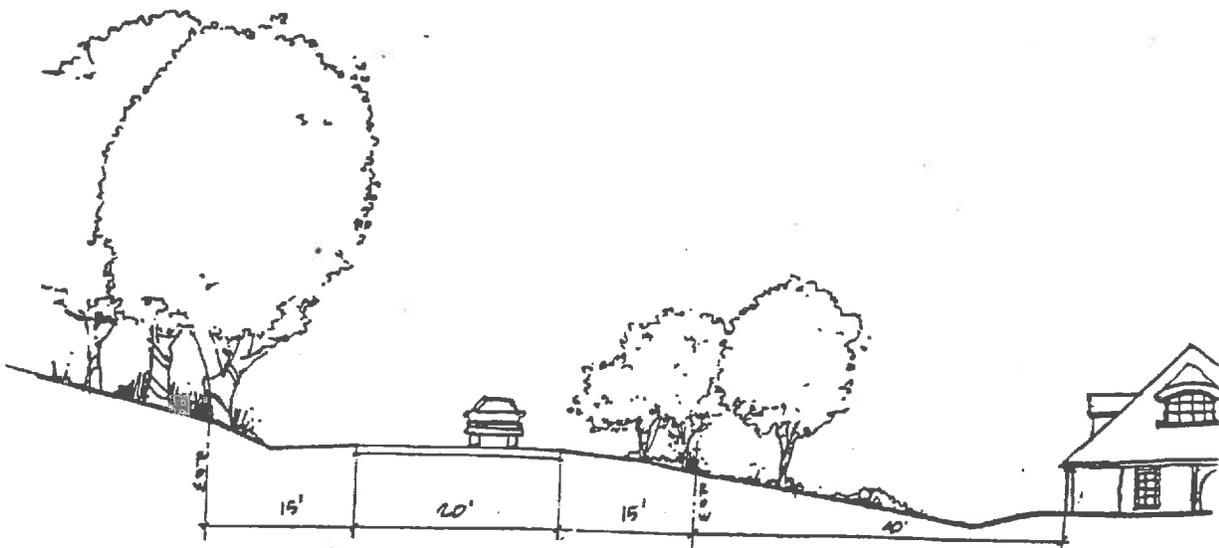
##### Four-lane Public Boulevard: Entry portion of Timber Brook Parkway

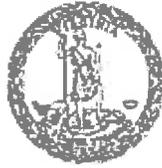
Four-lane Public Boulevards should be seventy feet wide with fifteen (15) feet lanes and a ten foot median. Small flowering trees should be placed in the median. Flanking either side of the road a double row of deciduous trees spaced forty (40) feet on center should be planted. A right-of-way thirteen (13) feet on each side of the road is to be conveyed to VDOT and the landscape maintained by the Neighborhood Organization. The signage at entrance of Timber Brook should be located in plain sight. The sign should be a maximum height six (6) feet and maximum width ten (10) feet. All roads must meet VDOT standards for construction.



##### Two-lane Public Road:

All two-lane public roads should be twenty four (24) feet wide with a right-of-way thirteen (13) feet on each side of the road. A mixture of deciduous and evergreen trees shall be planted in groupings or pockets to provide interest and to highlight major focal points along the road. All two-lane public roads must meet VDOT standards for construction. The landscaped sections of the 50' R.O.W. will be maintained by the Neighborhood Organization.





# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF TRANSPORTATION

714 South Broad Street

Salem, VA 24153

CHARLES A. KILPATRICK, P.E.  
COMMISSIONER

August 30, 2016

Ms. Nicole Pendleton  
Planning and Zoning Administrator  
County Of Botetourt  
5 West Main Street, Suite 100  
Fincastle, VA 24090

RE: Planning Commission Request –Change in Proffers  
Allow Colored Letters on Signs  
Botetourt County  
Route 220, Roanoke Road

Dear Ms. Pendleton,

We have reviewed the above mentioned change in proffers. The Department has no comments on this request. It appears from the information provided, the allowance of colored letters on signs will be outside the right-of-way and therefore will not adversely impact VDOT right-of-way. Any future expansions or redevelopment of the parcel or alteration to the existing drive may require VDOT review, approval, and permitting.

Should you have any questions, please do not hesitate to call. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian K. Blevins".

Brian K. Blevins, P.E.  
Salem Area Land Use Engineer  
VDOT, Transportation and Land Use

acs/



Botetourt County, Virginia  
*Development Services*

5 W. Main Street, Suite 100  
Fincastle, Virginia 24090  
Fax (540) 473-2018

**Construction Compliance**  
Phone (540) 928-2070  
Erosion & Sediment Control  
Inspections & Enforcement  
Permit Applications &  
Plan Reviews

**Planning**  
Phone (540) 928-2080  
Subdivisions  
Zoning  
Site Plans  
Land Conservation

**Planning Commission Extract  
Land Use Related Request**

**Board of Supervisors Action Needed**

**November 22, 2016**

**Request**

**Amsterdam Magisterial District:** Ashley Investments, LLC, requests a Commission permit in accord with §15.2-2232 of the Code of Virginia for the construction of a public road, in addition to a request for rezoning, with possible proffered conditions, on 32.081 acres of a 35.154-acre parcel from the Agricultural (A-1) Use District to the Residential (R-1) Use District, for residential use at 2763 Trinity Road, Troutville. The development is proposed to be accessed via Scarlet Drive (Route 1129). This parcel is located approximately 0.45 miles south of the Roanoke Road (U.S. Route 220)/Trinity Road (State Route 670) intersection, identified on the Real Property Identification Maps of Botetourt County as Section 88, Parcel 82F.

**This land use change request involves the following:**

- Land rezoning (conditions must be proffered, or offered by the applicant)
- Text Amendment.
- Change of Proffers.
- Commission Permit
- Special Exceptions Permits (the Board has authority to assign conditions).

**Planning Commission Recommendation:**

On a vote of 4:1:0:1, (Mr. Griffin dissenting; Mr. Foster absent) the Planning Commission recommended denial of the Commission Permit.

On a vote of 4:1:0:1, (Mr. Griffin dissenting; Mr. Foster absent) the Planning Commission recommended denial of the request to rezone with proffered conditions.

**Action requested of the Board of Supervisors:**

The Board of Supervisors may approve or deny the requested Commission Permit.

The Board of Supervisors may approve, approve with proffered conditions or deny the rezoning request.

**Staff Comments:**

Staff received five letters expressing concerns regarding various aspects of the application prior to the public hearing. During the public hearing, 15 Ashley Plantation residents voiced their opposition to this request, some multiple times. Overall, the objections were due to safety of school children, lack of sidewalks and school bus access; increased traffic; the lack of a second ingress and egress to Trinity Road; construction traffic; potential flooding based on existing stormwater management issues and heavy rains; adverse property values; issues with the enforcement of Covenants and Restrictions without the developer's presence.

Three Planning Commission members said they could not recommend approval of the Commission Permit and the rezoning due to the lack of a secondary access point from Trinity Road, which would be necessary to mitigate the problem of traffic. Mr. Griffin stated that he disagreed with the recommendation for denial, because the application was consistent with the Comprehensive Plan, and that VDOT approved their plans.

## **DRAFT MOTIONS**

### **Commission Permit:**

#### **Approval for Commission Permit**

I move that the commission permit for state-maintained roads by Ashley Investments LLC be approved.

#### **Denial (Commission Permit):**

I move that the commission permit for state-maintained roads by Ashley Investments LLC be denied. Based upon Zoning Ordinance Section 25-576, the following items have not been satisfied:

- 1.
2. (list findings/reasons for denial)

### **Rezoning**

#### **Approval for Rezoning:**

I move that the zoning map amendment for **Ashley Investments LLC** be approved with the following proffered conditions, supplied by the applicant:

1. This property will be developed in substantial conformance titled "Proposed Concept Plan" included with this application, prepared by McMurry Surveyors, Inc. dated August 18, 2016, and revised October 21, 2016.
2. Prior to subdivision approval, a declaration of covenants, conditions and restrictions will be recorded in the Office of the Circuit Court Clerk of Botetourt County. These covenants, conditions and restrictions will be identical to those recorded via Instrument #0309463 in the Office of the Circuit Court Clerk of Botetourt County on October 9, 2003 for Ashley Plantation Section IV, Articles I and II.

This recommendation is on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

#### **Denial, Rezoning:**

I move that the zoning map amendment for the property of Ashley Investments LLC be denied on the basis that the requirements of Section 25-581 of the Zoning Ordinance have not been satisfied due to the following reasons: \_\_\_\_\_.

**BOTETOURT COUNTY DEVELOPMENT SERVICES**

**Planning Commission Application**

5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

**TO THE BOARD OF SUPERVISORS AND PLANNING COMMISSION OF BOTETOURT COUNTY:**

*Please type or print information below*

Date: <b>8-3-16</b>		Current zoning: <b>A-1</b>	
Please check request(s) below:		Please briefly describe request below (indicate zoning change, SEP request, changes, etc.):	
<input checked="" type="checkbox"/>	Request rezoning to (From zoning ordinance permitted uses list)	<b>R-1</b>	
<input type="checkbox"/>	Special Exceptions Permit request for (from zoning ordinance SEP list)		
<input type="checkbox"/>	Text Amendment (proposed use)		
<input type="checkbox"/>	Change in proffers/Conditions		
Describe proposed use:		<b>Residential</b>	
Property owner name(s)		<b>Ashley Investments LLC</b>	
Mailing address		<b>215 Stonewall Dr.</b>	
Town, State, Zip Code		<b>Daleville, VA 24083</b>	
Phone number		<b>540-293-8575</b>	FAX
Email		<b>seamp4atlas@gmail.com</b>	
Property location (physical address):		<b>2763 Trinity Rd.</b>	
Subdivision:		<b>Adjacent to Ashley Plantation</b>	
State Route Number:		<b>1129 &amp; 670</b>	Magisterial District: <b>Amstrolam</b>
Tax map number(s):		<b>88-82F</b>	
Deed Book: <b>First #</b>		<b>1504005</b>	Page number(s):
Total area of property		<b>35.154 Acres</b>	
Total area included in this request:		<b>32.041 Acres</b>	

Certified plat prepared by a Licensed Land Surveyor of entire property to include metes and bounds. Requests for rezoning of a portion of a parcel of land requires a legal metes and bounds description of that particular portion. Show: Lengths of all property lines, existing and proposed building(s) for existing and proposed uses, and distance of buildings from all property lines, including distance from any street/highway right-of-way adjoining the parcel. (See attached concept plan checklist and information sheet.)

BOTETOURT COUNTY DEVELOPMENT SERVICES PLANNING COMMISSION APPLICATION  
Rezoning/SEP/Text Amendment/Change in Proffers

Page 5 of 6

www.botetourt.org

**RECEIVED**

OCT 24 2016

Botetourt County  
Development Services

**BOTETOURT COUNTY DEVELOPMENT SERVICES**  
**Planning Commission Application**  
5 W. Main Street, Suite 100 • Fincastle, Virginia 24090 • 540.473.8320

Appropriate application fee payable to the *Treasurer of Botetourt County* is hereby submitted for advertising.

All applicants must have notarized signatures by the current property owners. By signing below, signature(s) indicate consent [§25-521(9)(1)(c)] for county officials to conduct site reviews on this property.

*[Signature]* Samuel K. Camp  
Signature and printed name of property owners

8-3-16  
Date

*[Signature]* NORMAN MASO  
Signature and printed name of property owners

8-3-16  
Date

\_\_\_\_\_  
Signature and printed name of property owners

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature and printed name of property owners

\_\_\_\_\_  
Date

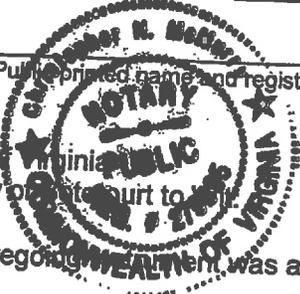
State of Virginia  
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this 3<sup>rd</sup> day of August 2016 by

\_\_\_\_\_  
Printed name of property owners

My commission expires: 1-31-2019 Date

Notary Public printed name and registration number \_\_\_\_\_  
Notary Public signature *[Signature]*



State of Virginia  
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ by

\_\_\_\_\_  
Printed name of property owners(s)

My commission expires: \_\_\_\_\_ Date

Notary Public printed name and registration number \_\_\_\_\_  
Notary Public signature \_\_\_\_\_

**Note: Signature(s) of property owner(s) must be notarized.**

**RECEIVED**  
OCT 24 2016  
Botetourt County  
Development Services

Request for Commission Permit:  
Code of Virginia: 15.2-2232. Legal status of plan

August 19, 2016

To Whom It May Concern:

This letter is to request a Commission Permit for this project.

Sincerely,

Samuel K. Camp  
Norman D. Mason

**RECEIVED**

**OCT 24 2016**

Botetourt County  
Development Services

## STATEMENT OF INTENT

The intent of the development is to provide single family dwellings for citizens of Botetourt County and which are consistent with those described in the Botetourt County Code, Zoning Ordinance, Article II Division 6, Sec 25-121 through 126: (RESIDENTIAL DISTRICT R-1)

The following uses are permitted by right, subject to compliance with all other requirements of this chapter, and all other applicable regulation

1. Church
2. Dwelling, single-family detached, up to two and one-half (2.5) dwellings per net acre.
3. Group home
4. Home occupation, subject to standards of section 25-435.
5. Park, unlighted.
6. Playground, unlighted.
7. School, public.
8. Telecommunications tower, attached, subject to the standards of section 25-441.
9. Temporary family health care structure.

The development will be compatible with the uses permitted on other property in the immediate vicinity and will meet the following as described in the Botetourt County Code, Special Development Approvals, Zoning Amendment:

Sec 25-581(K)(4):

Zoning map amendments. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the applicant shall address all the following in its statement of justification or plat unless not applicable. The planning commission shall give reasonable consideration to the following matters:

- a. Whether the proposed zoning district classification is consistent with the comprehensive plan.  
*Area is shown on Map 9 of Botetourt County Comprehensive Plat Future Land Use 2011 as Medium Density Residential. The proposed R-1 zoning is consistent with adjoining property current zoning.*
- b. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning appropriate.  
*The addition of public water and sewer to the area allow for increased density in development. The business development of southern Botetourt County will support an increase in the population.*
- c. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity.  
*The adjoining properties are residential.*
- d. Whether adequate utility, sewer and water, transportation, school and other facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned.

RECEIVED

OCT 24 2016

Botetourt County  
Development Services

*Public water will be provided by Central Water Company (see attached letter). Western Virginia Water Authority will provide public sewer which is already in use and available at Scarlet Drive. Western Virginia Water Authority was contacted and they indicated that the information was sent to David Givens. School Districts for area are: Troutville Elementary, Read Mountain Middle School and Lord Botetourt High School. According to the US Census Bureau, the average size of households in Botetourt County is 2.55. Using this figure, that would translate into an increase of 28 students in the Botetourt County School system (51 households x 2.55=130 potential population increase; 130-102(2 adults per household)=28)*

- e. The effect of the proposed rezoning on the county's ground water supply.  
*See attached letter from Central Water Company.*
- f. The effect of uses allowed by the proposed rezoning on the structural capacity of the soils.  
*Adjoining properties support similar structures.*
- g. The impact that the uses that would be permitted if the property were rezoned will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity and whether the proposed rezoning uses sufficient measures to mitigate the impact of through construction traffic on existing neighborhoods and school areas.  
*See included traffic report.*
- h. Whether a reasonably viable economic use of the subject property exists under the current zoning.  
*Current A1 zoning does not permit development of land for residential development. Area is no longer suitable for agriculture due to surrounding development.*
- i. The effect of the proposed rezoning on environmentally sensitive land or natural features, wildlife habitat, vegetation, water quality and air quality.  
*Property will be improved via landscaping, storm water management and maintenance.*
- j. Whether the proposed rezoning encourages economic development activities in areas designated by the comprehensive plan and provides desirable employment and enlarges the tax base.  
*The intended use will increase real estate tax base and provide housing for middle income families increasing the work base allowing for increased industry.*
- k. Whether the proposed rezoning considers the needs of agriculture, industry, and businesses in future growth.  
*The proposed development is consistent with the Botetourt County Comprehensive Plan/Future Land Use (see Map #9) Residential Use.*
- l. Whether the proposed rezoning considers the current and future requirements of the community as to land for various purposes as determined by population and economic studies.  
*The proposed development is consistent with the Botetourt County Comprehensive Plan/Future Land Use (see Map #9) Residential Use.*
- m. Whether the proposed rezoning encourages the conservation of properties and their values and the encouragement of the most appropriate use of land throughout the county.  
*The proposed development is consistent with the Botetourt County Comprehensive Plan/Future Land Use (see Map #9) Residential Use which saves rural farm land development.*
- n. Whether the proposed rezoning considers trends of growth or changes, employment, and economic factors, the need for housing, probable future economic and population growth of the county.

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*The proposed development is consistent with the Botetourt County Comprehensive Plan/Future Land Use (see Map #9) Residential Use*

- o. The effect of the proposed rezoning to provide moderate housing by enhancing opportunities for all qualified residents of Botetourt County.

*This development will provide moderate housing for qualified residents of Botetourt County.*

- p. The effect of the rezoning on natural, scenic, archaeological, or historic features of significant importance. NA

Additional comments:

Community meetings are planned.

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Botetourt County  
Development Services

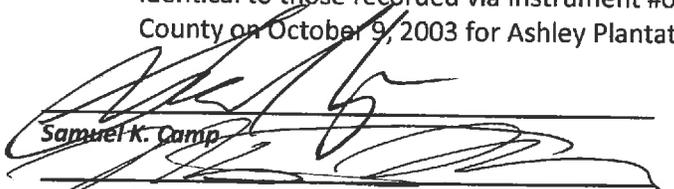
# Proffers For

Amsterdam Magisterial District: Ashley Investments LLC requests a Commission permit in accord with §15.2-2232 of the Code of Virginia for the purpose of the construction of a public road, in addition to rezoning, with possible proffered conditions, on 32.081 acres of a 35.154-acre parcel from the Agricultural (A-1) Use District to the Residential, (R-1) Use District, for the construction of up to single family dwellings at 2763 Trinity Road, Troutville. The development is proposed to be accessed via Scarlet Drive (Route 1129), and is located at 2763 Trinity Road, Troutville, VA. This parcel is located approximately 0.45 miles south of the Roanoke Road (U.S. Route 220)/Trinity Road intersection, identified on the Real Property Identification Maps of Botetourt County as Section 88, Parcel 82F.

I, \_\_\_\_\_

hereby proffer the following conditions as a part of the above-referenced request:

1. This property will be developed in substantial conformance titled "Proposed Concept Plan" included with this application, prepared by McMurry Surveyors, Inc. dated August 18, 2016, and revised October 21, 2016.
2. Prior to subdivision approval, a declaration of covenants, conditions and restrictions will be recorded in the Office of the Circuit Court Clerk of Botetourt County. These covenants, conditions and restrictions will be identical to those recorded via Instrument #0309463 in the Office of the Circuit Court Clerk of Botetourt County on October 9, 2003 for Ashley Plantation Section IV, Articles I and II.

  
\_\_\_\_\_  
Samuel K. Camp  
  
\_\_\_\_\_  
Norman Mason

10-24-16  
\_\_\_\_\_  
Date  
10/24/16  
\_\_\_\_\_  
Date

State of Virginia  
County of Botetourt to Wit:

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of October 2016 by Samuel K. Camp & Norman Mason

My commission expires:  
May 31, 2018

  
\_\_\_\_\_  
Notary Public  
10/24/16  
Date



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Examples of dwellings

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Example of proposed sign

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# MAP 9



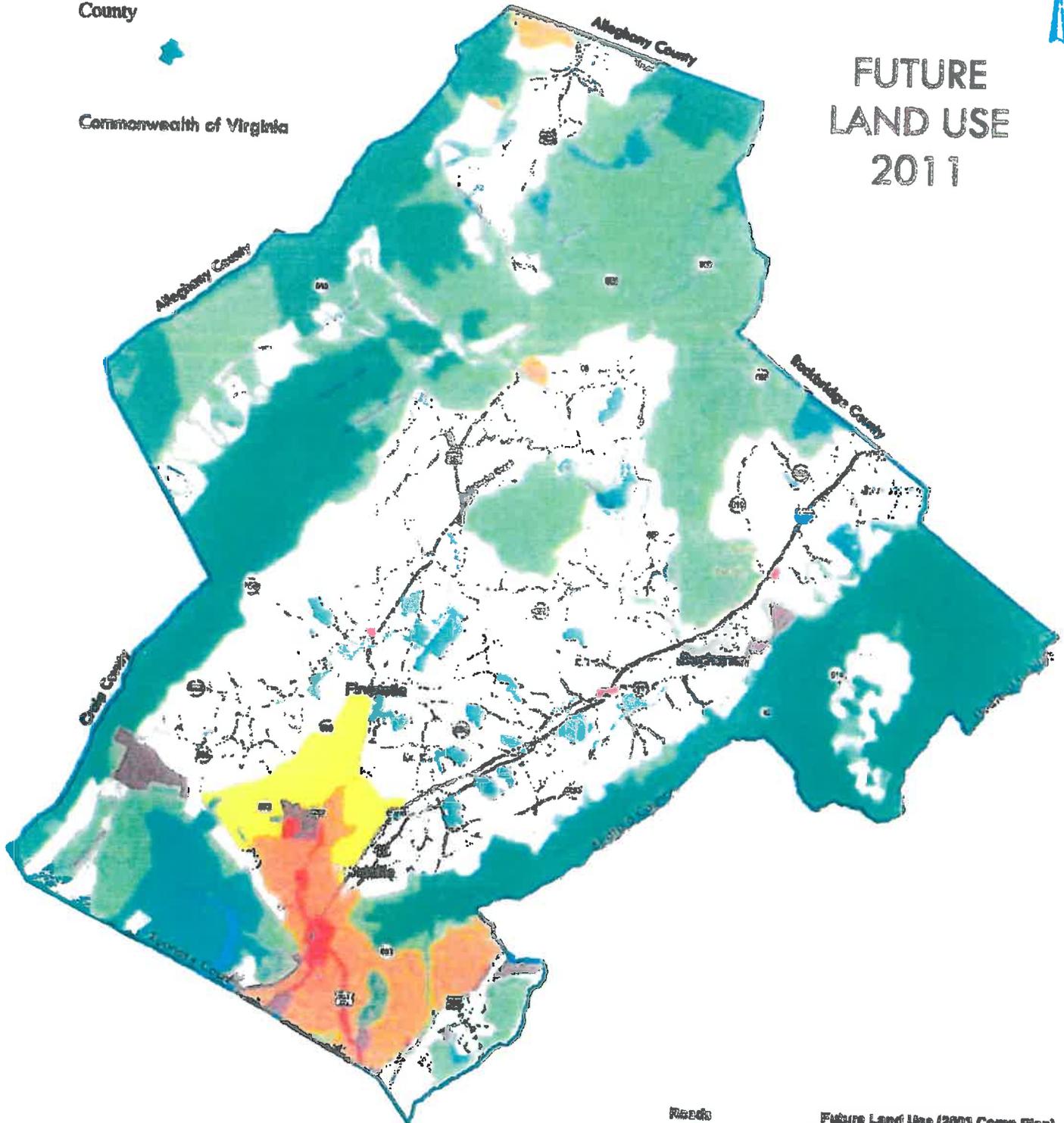
## BOTETOURT COUNTY OF VIRGINIA



Botetourt  
County

Commonwealth of Virginia

### FUTURE LAND USE 2011



Source: Botetourt County GIS Department  
2010 Comprehensive Plan Update, February 2011

RENAISSANCE PLANNING GROUP



- | Roads                 | Future Land Use (2003 Comp Plan)   |
|-----------------------|------------------------------------|
| Interstate            | Commercial                         |
| Primary Rd            | Conservation / 100 Year Floodplain |
| Secondary Rd          | Industrial                         |
| Stream/Water          | Rural Low Density Residential      |
| Federal Lands         | Medium Density Residential         |
| Conservation Easement | Incorporated Towns                 |
|                       | Commercial (2011)                  |

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Botetourt County

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**Central Water Co., Inc.**

---

1410 16th Street, S.E. • Roanoke, VA 24014 • (540) 342-6600 • Fax (540) 342-6611

February 10, 2016

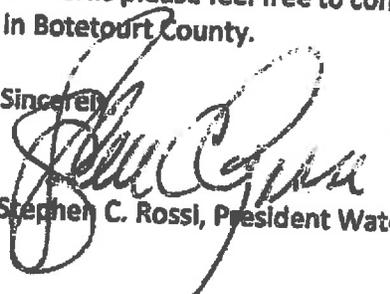
**Botetourt Board of Supervisors  
1 West Main Street  
Fincastle, Va. 24090**

**Dear Board Members,**

**We have been asked by Ashley Investments, LLC if we have the capacity and are willing to supply 120 residential hookups of Virginia Department of Health certified potable water to their property located adjacent to Ashley Plantation.**

**We have adequate capacity and are willing to supply their needs. If you have any questions or concerns please feel free to contact me. Thank you for your support of economic development in Botetourt County.**

Sincerely,



**Stephen C. Rossi, President Waterworks Operator License # 1955005218**

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**OCT 24 2016**

Botetourt County  
Development Services

BK0000PG0042

DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS

Tax Map  
88-43

Prepared by

Anne H. Overbay  
1638 Roanoke Rd., Daleville, VA 24083

Ashley Plantation 0009463  
Section IV

THIS DECLARATION, made on the date hereinafter set forth, by A.R. Overbay, hereinafter referred to as "Owner/Developer".

-WITNESSETH-

WHEREAS, A.R. Overbay is the owner of certain property in the County of Botetourt, State of Virginia, which is more particularly described as Ashley Plantation Subdivision, Section IV.

NOW, THEREFORE, Owner/Developer hereby declares that all of the property shall be held, sold, and conveyed subject to the following easements, restrictions, covenants, and conditions, which are for the purpose of protecting the value and desirability of and which shall touch, concern and run with the real property, and be binding on all parties having the right, title, or interest in the property on any part thereof, their heirs, successors, and assigns, and shall insure to the benefit of each owner thereof.

Article I

GENERAL PROVISIONS

The Owner/Developer does hereby, of its own free will, impose, for the protection of the value, desirability and attractiveness of the property, in order to provide for the proper and orderly development of certain restrictions, conditions, limitations, reservations, easements and covenants, which shall apply to all single family lots, which said restrictions, conditions, limitations, reservations, easements, and covenants, are as follows, to-wit:

1. **APPLICABILITY:** These Restrictions shall apply to subdivided, numbered, residential lots of Ashley Plantation. All of the restrictions shall run with the land and shall be binding on all parties having or acquiring any right, title, or interest in, and to the real property on any part or parts whereof subject to such restrictions.
2. It shall be lawful for the Owner/Developer herein, their heirs, and assigns and any other owner of any lot in the subdivision to prosecute any proceeding at the law or in equity against any person or owner violating or attempting to violate any restrictive covenant including legal actions to prevent the violation of the restrictive covenants.

ARTICLE II

GENERAL PROHIBITIONS AND REQUIREMENTS

1. No portion of the land conveyed shall be improved or occupied for other than residential purposes and no commercial activity of any nature shall be carried on any of the lots in the subdivision. All residences shall be for the use of a single family and in addition to the erection of a principle residence; detached garages will not be authorized.
2. If the owner acquires two or more adjoining lots, the adjoining one or more lots may be used together as the site for a single building, in which event the side line easements hereof shall apply to the outside perimeter property line of such adjoining lots. No lot or lots in said subdivision can be resubdivided providing each part is allotted to an adjoining lot.
3. No commercial signs, billboards or advertising of any nature shall be erected, placed or maintained on any residential lots herein designated, nor upon any building erected thereon, except directional and information signs erected by the Owner/Developer, their heirs, and assigns. "for sale" Signs may be erected temporarily for the sale of lots or residences. However, Owner/Developer shall have the right, and may give builders the right to erect Owner/Developer approved signs.
4. All electric, telephone, cable TV or other utility lines shall be installed below ground. No overhead utility lines shall be permitted for any purpose.

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5. Any dwelling or outbuilding on any lot in the subdivision which may be destroyed in whole or in part by fire, windstorm or for any other cause or act of God, must be rebuilt or all debris removed and the lot restored to a slightly condition with reasonable promptness, but in on event shall debris remain longer than three (3) months.
6. In order to implement effective insect an fire control, the Owner/Developer reserves for itself and its agents the right to enter upon any lot on which a residence has not been constructed, and upon which no landscaping plan had been installed, or other suitable devices, for the purpose of mowing, removing, clearing, cutting, or pruning underbrush, weeds or other unsightly growth, which in the opinion of the Owner/Developer and its agents may likewise enter upon such lot to remove any trash which has collected on such lot. This provision shall not be construed to create an obligation on the part of the Owner/developer to perform any act or service.
7. All residents and other permanent structures in the subdivision shall be completed within six (6) months after the commencement of constructions except where such completion is impossible or would result in great hardship to the owner or builder due to fire, natural emergency or natural calamity. No structure shall be used at any time for either temporarily or permanently as a residence until the entire structure is completed in a turn key manner and approved for occupancy.
8. All new homes shall conform to the following minimum square footage requirements, excluding any basement and garage area:

One Story:	2,000	1 1/2 Story:	2,200
Two Story:	2,600		

9. All roof lines shall have a minimum pitch of 7/12 unless changes are approved by developer.
10. No unfinished foundation walls shall be exposed within 6" of final grade.
11. Exterior siding type T1-11 will not be permitted.
12. All horizontal siding will not exceed an 8' lap.
13. No aluminum windows of any kind, with the exception of storm windows, and basement windows, will be permitted without the approval of Builder/Developer.
14. Garages shall be attached or under, with a minimum of two cars and not more than four.
15. Utility storage sheds shall not be constructed of metal/fiberglass or T1-11 siding material. Sheds must be "in keeping with the house.
16. Architectural statues or sculptures shall not be located within 20' of the Right-of-way line.
17. All driveways shall be a minimum 12' wide at the curb line and will be paved with asphalt or concrete, within one (1) year of occupancy.
18. No outside storage of unlicensed or untagged cars for longer than 7 continuous days will be permitted.
19. All recreational vehicles, boats and other accessory vehicles shall be parked in rear of home or in garage or screened from the street or neighbors yard by a natural border such as trees. No recreational vehicles larger than 20 ft. in length may be parked on residential lot.
20. No fences will be allowed except invisible fencing for pets.
21. No railroad ties shall be used for landscaping or other exterior use, Treated Landscape timbers will be accepted.
22. Retaining walls shall be faced with an approved material.
23. There shall be no more than two cats or dogs per household for more than 8 weeks.
24. All lots that are sold must be left free of debris and have a grass height of no more than 12".
25. No materials, vehicles, or boats may be stored at any tie except construction material during the actual dwelling construction.
26. Owner/Developer will review all construction plans in the effort to maintain neighborhood compatibility. Plans may be rejected in an effort to maintain a reasonable variety to protect the integrity of the subdivision. House plans will also be reviewed to insure compatibility to the individual lot.
27. Exterior color shall be reviewed and approved by the Developers.
28. No dogs or dog pens shall be allowed within 10 feet of rear lot line.
29. TV Satellite dishes must be approved by Developers as to size and location on lot and must be screened by natural material not less than 5 foot in height.

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30. For the sake of uniformity, Owner/ Developer will provide a mailbox post, of Owner/Developer's choice for each residence at Owner/Developer's expense.
31. Duplication of a house in its entirety of another residence already constructed in the same section shall not be permitted. No bizarre exotic ornamentation shall be permitted on residence or in landscaping.
32. No hogs, chickens, goats, cattle, or other nuisance will be allowed, and nothing shall be done to disturb the peace and quietude of the neighborhood.
33. No prefabricated houses shall be hereon. (Prefabricated homes for the purpose of interpretation are considered to be pre-constructed home modular delivered and installed on foundations. However, pre-constructed wall sections erected on a job site are not to be considered prefabricated homes. Developer reserves the right of sole interpretation of What is a prefabricated home).
34. No split foyers or split levels shall be allowed.
35. All houses must have a minimum of 65% brick, stone or dryvit or material approved by Developer.
36. Developer, in the event of a conflict or dispute pertaining to the restrictions herein, reserves the sole right to interpret, amend or modify its Restrictions.
37. On each lot, the rights-of-way and easement areas reserved by the Developer or dedicated to public utility purposes shall be maintained by the owner of each lot, but no structures, plantings, or other material shall be placed or permitted to remain on the right-of-way, which may change the direction of flow drainage channels in the easements, or which may damage or interfere with established slope ratios or create erosion or sliding problems, provided, however, that where the existing location of a drainage channel would hinder the orderly development of a lot, the drainage channel may be relocated, provided such relocation does not cause an encroachment on any other lots in the subdivision. Improvements within such areas shall also be maintained by the respective lot owner except for those for which a public authority or utility company is responsible...
38. The lots in the subdivision shall be burdened by such additional easements as may be shown on the recorded plat.
39. No above-ground swimming pools shall be permitted or constructed on any lot.
40. Front porches shall not be construction with exposed wooden bases or eaves, and front porches must not be allowed to deteriorate in condition, which would not only detract from the appearance of the rest of the structure, but would also be detrimental to the appearance of adjoining property owners.
41. Each residence shall pay a yearly assessment of (\$75.00) for the maintenance of entrance sign and retention pond. This assessment shall be used to cover the cost of cutting grass, planting shrubs and flowers and to pay for any lighting that the entrance may have. By signing a deed and taking possession of a home in Ashley Plantation the owner of property agrees to this assessment.
42. Each home in Ashley Plantation will be required to have a minimum allowance of 1% of sale price for landscaping purposes with a minimum of three (3) trees in front. This does not include grading and seeding of yard.
43. Greenspace/Openspace easement shown hereon to be maintained in a similar fashion as the buildable part of the lot. This aforesaid easement will be maintained by the owner of said lot. No buildings to be allowed within these easements. Utilities will be allowed within these easements.

These restrictions shall run with the land for a period of 50 years from the year 2001. These restrictions contain three (3) pages.

Signed before me  
this eighth day of  
October, 2003

State of Virginia

City/County of Botetourt

Notary Katerina Vance

My Commission Expires: August 31, 2007

A. R. Overbay  
A.R. Overbay-BUILDER/Developer

Anna H. Overbay  
Anna H. Overbay

VIRGINIA: In the Office of the Circuit Court Clerk of Botetourt County  
OCTOBER 9, 2003. This deed was this day presented in said  
office and with certificate thereto annexed admitted to record at  
'0:28 o'clock A m. after payment of tax imposed by Sec. 58-54.1.

ST039 CT213 TF TT 3- CF 16 036 038 220

Teste: Tommy L. Moore, Clerk By: Shery A. Key D.C.

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OCT 24 2016  
Botetourt County  
Development Services

BK0000PG0042

DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS

Tax Map  
88-43

Prepared by

Anne H. Overbay  
1638 Roanoke Rd., Daleville, VA 24083

Ashley Plantation 0009463  
Section IV

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00000760043

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Development Services

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These restrictions shall run with the land for a period of 50 years from the year 2001. These restrictions contain three (3) pages.

Signed before me  
this eighth day of  
October, 2003

State of Virginia

City/County of Botetourt

Notary Katerina Vance

My Commission Expires: August 31, 2007

A. R. Overbay  
A.R. Overbay-BUILDER/Developer

Anna H. Overbay  
Anna H. Overbay

VIRGINIA: In the Office of the Circuit Court Clerk of Botetourt County  
OCTOBER 9, 2003. This deed was this day presented in said  
office and with certificate thereto annexed admitted to record at  
'0:28 o'clock A m. after payment of tax imposed by Sec. 58-54.1.

ST039 CT213 TF TT 3- CF 16 036 038 220

Teste: Tommy L. Moore, Clerk By: Shery A. King D.C.

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OCT 24 2016  
Botetourt County  
Development Services

BK0000PG0124

Tax Map No. 88F(1)6

04,01567

RELEASE OF SUBDIVISION RESTRICTIONS

THIS RELEASE MADE this 11<sup>th</sup> day of March, 2004, by ARDITH R. OVERBAY and ANNE H. OVERBAY, Developers of Section I, and Section I, Phase 2, of Ashley Plantation Subdivision as shown by plat of subdivision made by Douglas B. Meredith, Jr., Land Surveyor, for L.M.W, Inc., recorded in the Office of the Clerk of the Circuit Court of Botetourt County, Virginia, in Plat Book 18, at Page 124, et seq., and plat of subdivision by Douglas B. Meredith, Jr., Land Surveyor, for L.M.W., Inc., recorded in said Clerk's Office in Plat Book 20, Page 132, et seq; and

WHEREAS, a conflict and dispute has arisen pertaining to the covenants, conditions and restrictions for Section I, and Section I, Phase 2, of said subdivision as recorded in the aforesaid Clerk's Office in Deed Book 542, Page 299, affecting Lot 6, Section I, of said subdivision, said Lot 6, Section I, of said subdivision currently being owned by Ardith R. Overbay and Anne H. Overbay; and

WHEREAS, pursuant to said Declaration of Covenants, Conditions and Restrictions recorded as aforesaid in Deed Book 542, Page 299, the Developer, Ardith R. Overbay and Anne H. Overbay, reserved the sole right to interpret, amend or modify their Restrictions in the event of a conflict or dispute.

NOW, THEREFORE, Ardith R. Overbay and Anne H. Overbay, Developers of Ashley Plantation subdivision, do hereby release and relinquish

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Botetourt County  
Development Services

any and all subdivision covenants, conditions and restrictions which arise by operation of the aforesaid Declaration of Covenants, Conditions and Restrictions recorded in Deed Book 542, at Page 299 as the same may affect Lot 6, Section I of Ashley Plantation Subdivision as set forth on the hereinabove referenced plats, and such Lot 6, Section I, of Ashley Plantation Subdivision shall not be subject in any manner whatsoever to the subdivision covenants, conditions and restrictions as set forth in the aforesaid declaration recorded in Deed Book 542, at Page 299.

WITNESS the following signatures and seals:

Ardith R. Overbay (SEAL)  
Ardith R. Overbay

Anne H. Overbay (SEAL)  
Anne H. Overbay

STATE OF VIRGINIA

CITY/COUNTY OF Botetourt, TO-WIT:

The foregoing instrument was acknowledged before me this 11<sup>th</sup> day of March, 2004, by Ardith R. Overbay and Anne H. Overbay.

My commission expires August 31, 2007.

Kristina Yancey  
Notary Public

VIRGINIA: In the Office of the Circuit Court Clerk of Botetourt County  
MARCH 12, 2004. This deed was this day presented in said  
office and with certificate thereto annexed admitted to record at  
2:57 o'clock P. m. after payment of tax imposed by Sec. 58-54.1.

ST039 CT213 TF TT 3 - CF 16 - 036 038 220

Teste: Tommy L. Moore, Clerk By: Linda Dewitt D.C.

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Botetourt County  
Development Services

- 1) THIS PROPERTY IS NOT IN A FLOOD PLAIN AS SHOWN ON BOTETOURT COUNTY GIS FROM STUDY DATED DECEMBER 17,
- 2) EXISTING SITE HAS 21AC +/- WOODS AND 11AC +/- PASTURE.
- 3) SEE SHEET 2 OF 2 FOR 4' CONTOURS WHICH WERE SCALED FROM COUNTY GIS.
- 4) LOTS SHOWN HEREON TO BE SERVED BY CENTRAL WATER COMPANY (WATER) AND WESTERN VA WATER AUTHORITY (SEWER).
- 5) THE EXISTING 50'R/W FROM SCARLET DRIVE TO THE PROPERTY WILL BE BUILT TO CURRENT VDOT STANDARDS AND WILL BE PUBLIC.

6) UPON APPROVAL OF THE REZONING, THE PROPOSED SITE PLAT AND/OR CONCEPT PLAN ASSOCIATED WITH SAID APPROVAL SHALL NOT CONSTITUTE PRELIMINARY SUBDIVISION PLAT APPROVAL ANY SUBDIVISION OF TM #88~82F SHALL COMPLY WITH ALL PROVISIONS OF CHAPTER 21 SUBDIVISION OF BOTETOURT COUNTY, VIRGINIA CODE OF ORDINANCES.

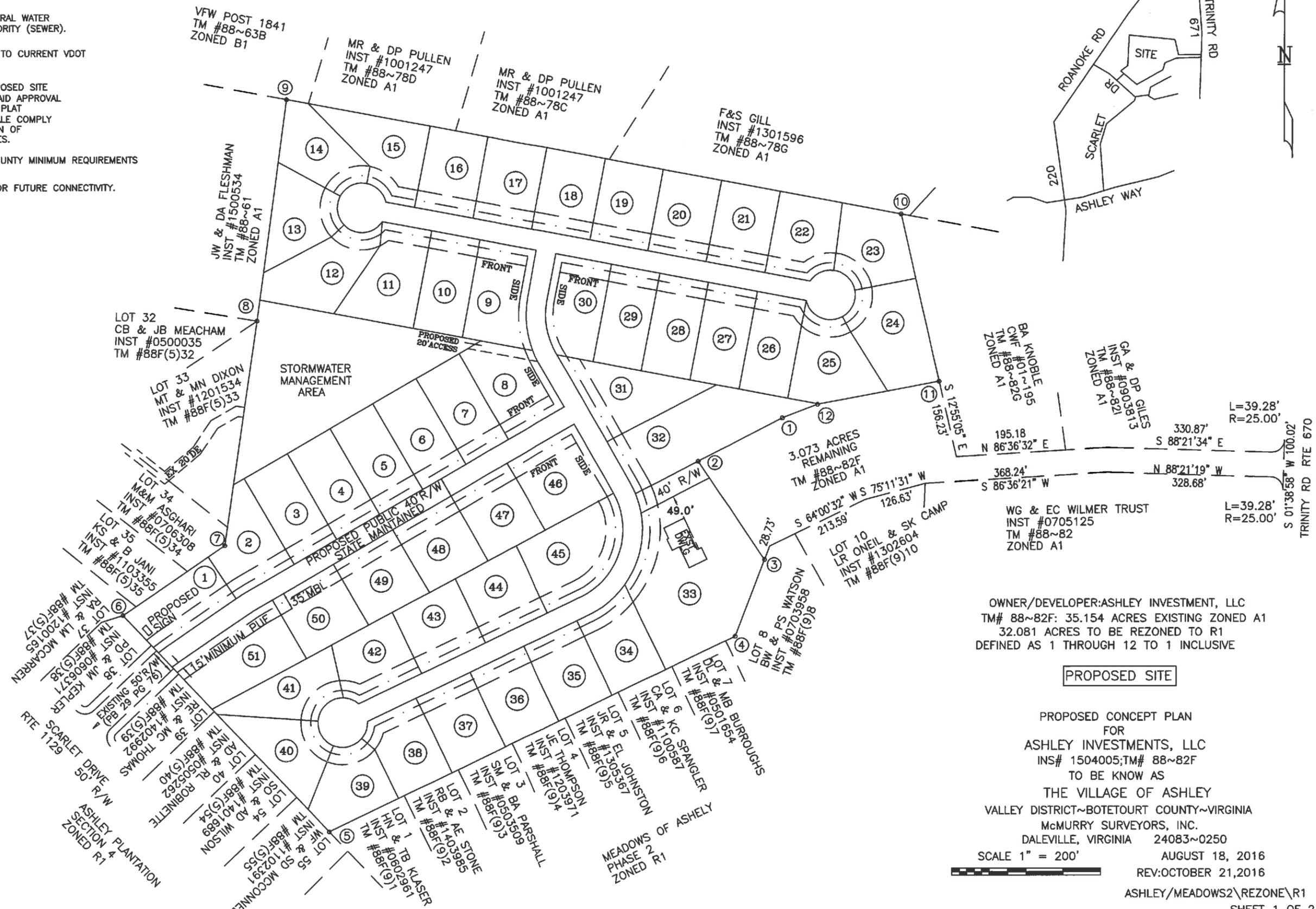
7) PROPOSED LOTS (1~51) WILL CONFORM TO COUNTY MINIMUM REQUIREMENTS FOR CURRENT R1 ZONING.

8) 40'R/W SHOWN BETWEEN LOTS 32 & 33 IS FOR FUTURE CONNECTIVITY.

LOCATION MAP  
NO SCALE



LINE	BEARING	DISTANCE
1~2	S 62°38'36" W	190.24'
2~3	S 33°57'51" E	238.82'
3~4	S 20°46'28" W	165.63'
4~5	S 64°22'46" W	908.97'
5~6	N 43°37'56" W	604.51'
6~7	N 55°44'51" E	249.04'
7~8	N 08°03'51" E	457.23'
8~9	N 07°30'00" E	449.86'
9~10	S 79°24'15" E	1263.08'
10~11	S 12°55'05" E	346.12'
11~12	S 79°22'39" W	250.39'
12~1	S 68°52'30" W	75.60'



L=39.28'  
R=25.00'  
 195.18 N 86°36'32" E  
 330.87' S 88°21'34" E  
 368.24' S 86°36'21" W  
 N 88°21'19" W  
 328.68'  
 L=39.28'  
R=25.00'  
 S 01°38'58" W 100.02'  
 TRINITY RD RTE 670

OWNER/DEVELOPER: ASHLEY INVESTMENT, LLC  
 TM# 88~82F: 35.154 ACRES EXISTING ZONED A1  
 32.081 ACRES TO BE REZONED TO R1  
 DEFINED AS 1 THROUGH 12 TO 1 INCLUSIVE

PROPOSED SITE

PROPOSED CONCEPT PLAN  
 FOR  
 ASHLEY INVESTMENTS, LLC  
 INS# 1504005; TM# 88~82F  
 TO BE KNOWN AS  
 THE VILLAGE OF ASHLEY  
 VALLEY DISTRICT~BOTETOURT COUNTY~VIRGINIA  
 McMURRY SURVEYORS, INC.  
 DALEVILLE, VIRGINIA 24083~0250  
 SCALE 1" = 200'  
 AUGUST 18, 2016  
 REV: OCTOBER 21, 2016

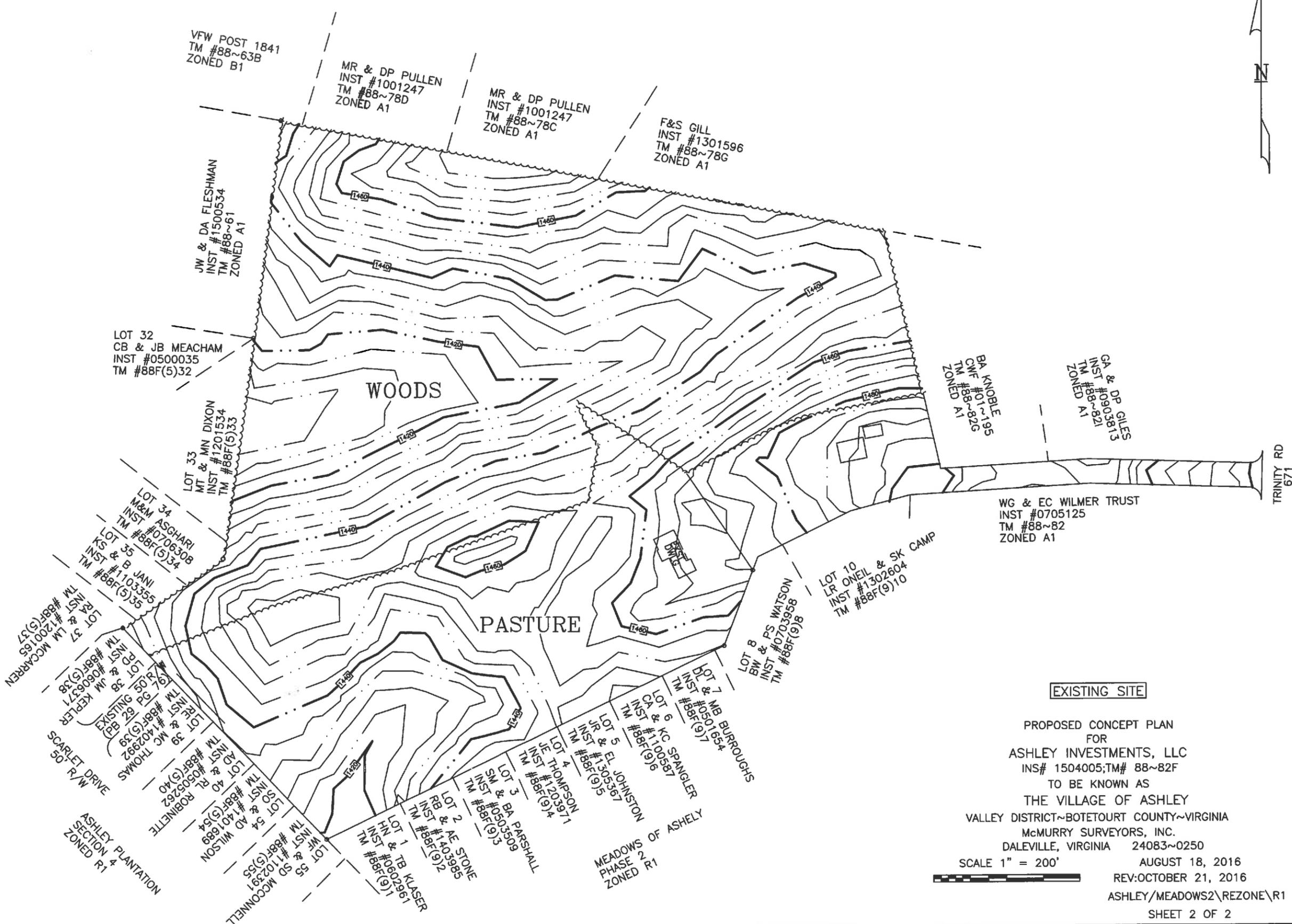


ASHLEY/MEADOWS2\REZONE\R1

RECEIVED

OCT 24 2016

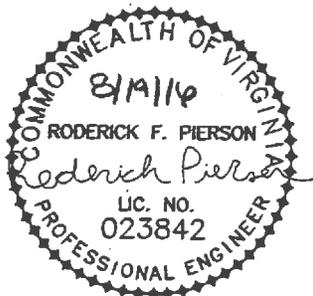
Botetourt County  
Development Services



**RECEIVED**  
OCT 24 2016  
Botetourt County  
Development Services

**EXISTING SITE**  
PROPOSED CONCEPT PLAN  
FOR  
ASHLEY INVESTMENTS, LLC  
INS# 1504005;TM# 88~82F  
TO BE KNOWN AS  
THE VILLAGE OF ASHLEY  
VALLEY DISTRICT~BOTETOURT COUNTY~VIRGINIA  
McMURRY SURVEYORS, INC.  
DALEVILLE, VIRGINIA 24083~0250  
SCALE 1" = 200'  
AUGUST 18, 2016  
REV:OCTOBER 21, 2016  
ASHLEY/MEADOWS2\REZONE\R1  
SHEET 2 OF 2

TRAFFIC STUDY FOR  
**"THE VILLAGE OF ASHLEY"**  
LOCATED IN  
BOTETOURT COUNTY, VIRGINIA



Pierson Engineering & Surveying  
44 Catawba Road  
P. O. Box 311  
Daleville, Virginia 24083  
(540) 966-3027

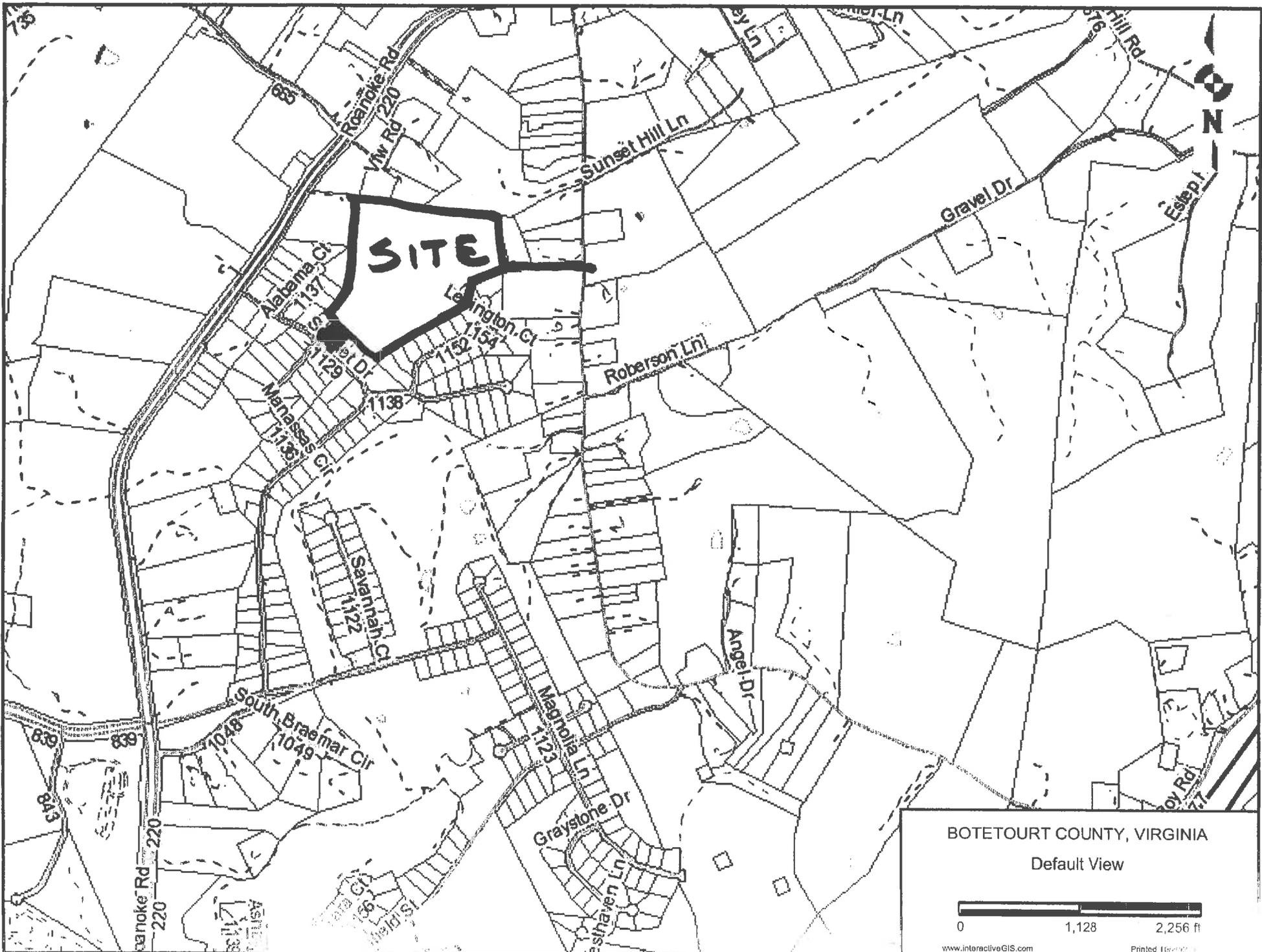
**RECEIVED**

**OCT 31 2016**

Botetourt County  
Development Services

51 The following study is for the Village of Ashley Subdivision. This project will have a maximum of 95 residential units. The site is located at the existing intersection of Scarlet Drive and Manassas Circle located in the Ashley Subdivision. Please see the attached maps for a location map. One trip per lot was considered in the peak hour traffic study.

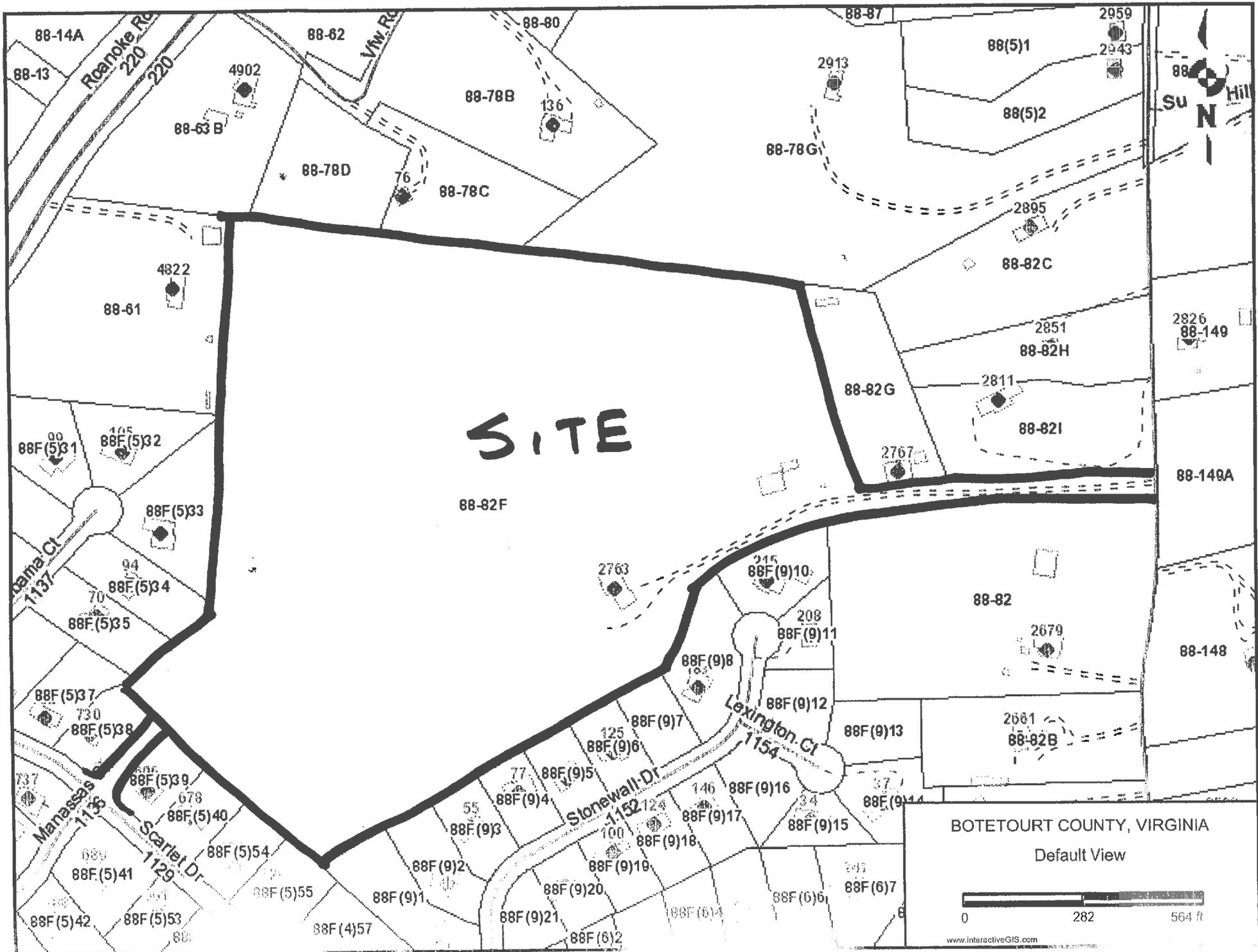
No right turn lane or taper and no left turn lane were warranted for the new entrance.

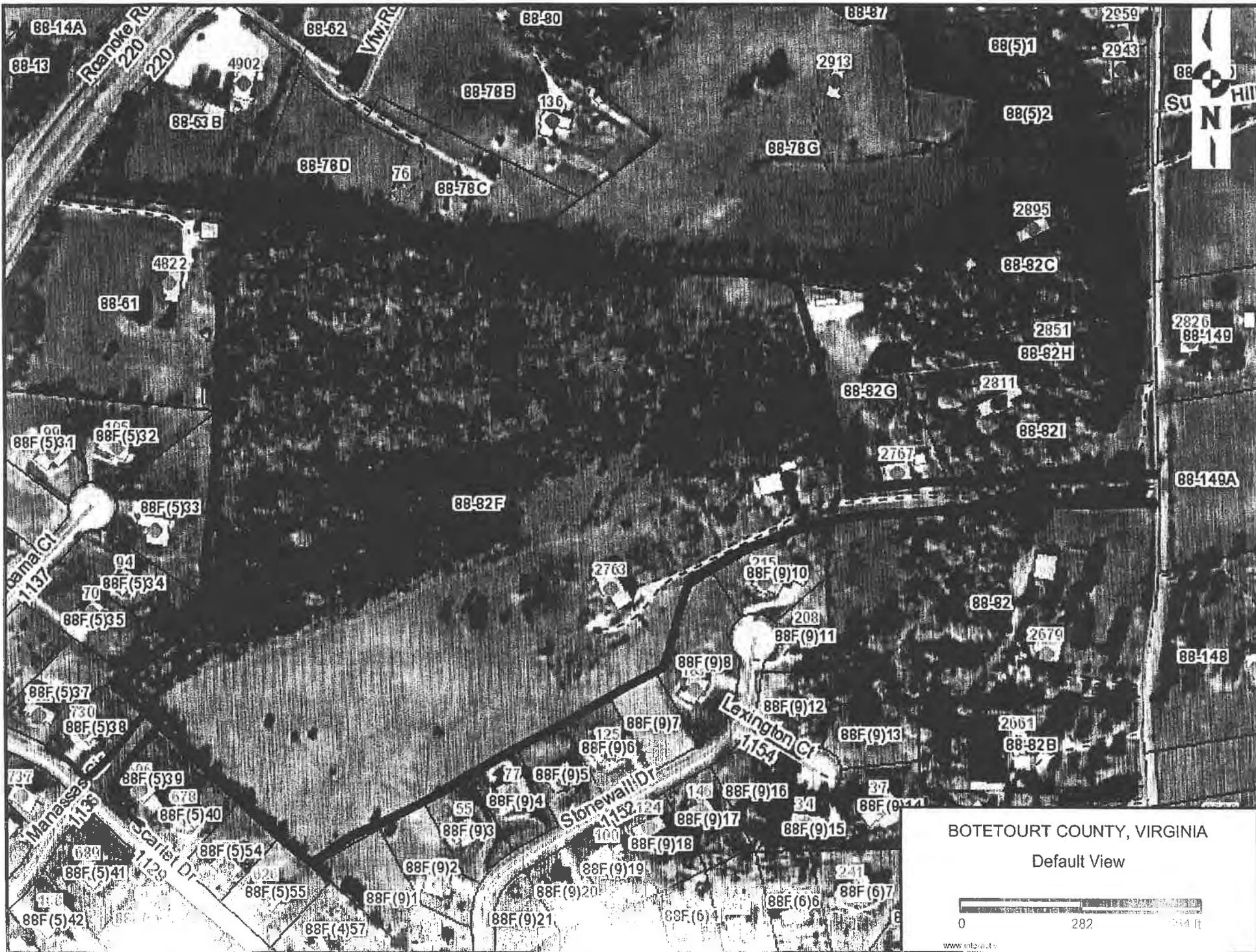


BOTETOURT COUNTY, VIRGINIA

Default View







## Traffic Calculations:

Total Number of Residential Lots: +/- 51 Units

### Scarlet Road Data:

AADT = 470vpd

K = n/a, will assume 11% = peak hour traffic

$0.11 \times 470 = 52$  peak hour trips

Split for Street: 50% Heading North Towards Rte. 220 = 26

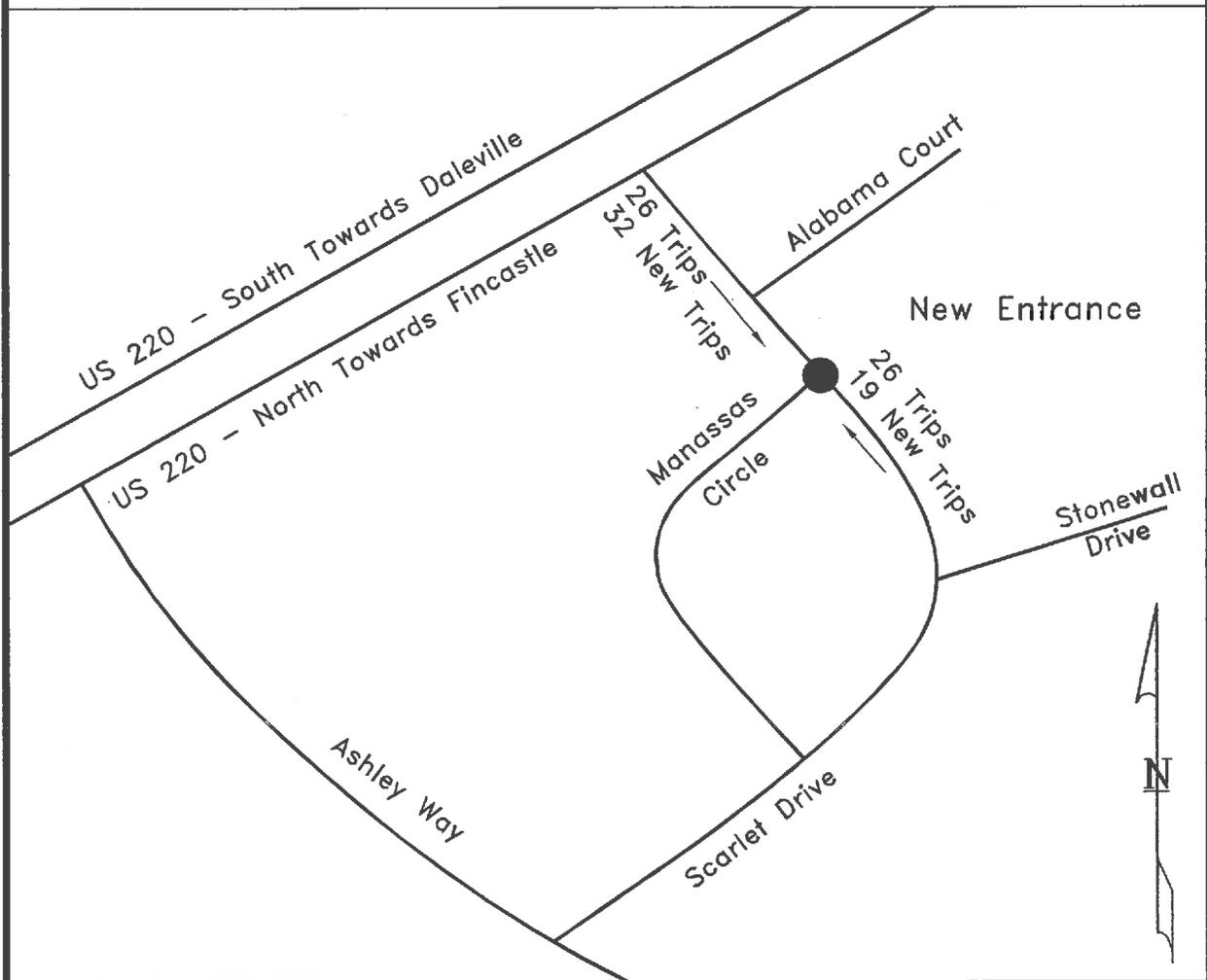
50% Heading South Towards Ashley Way = 26

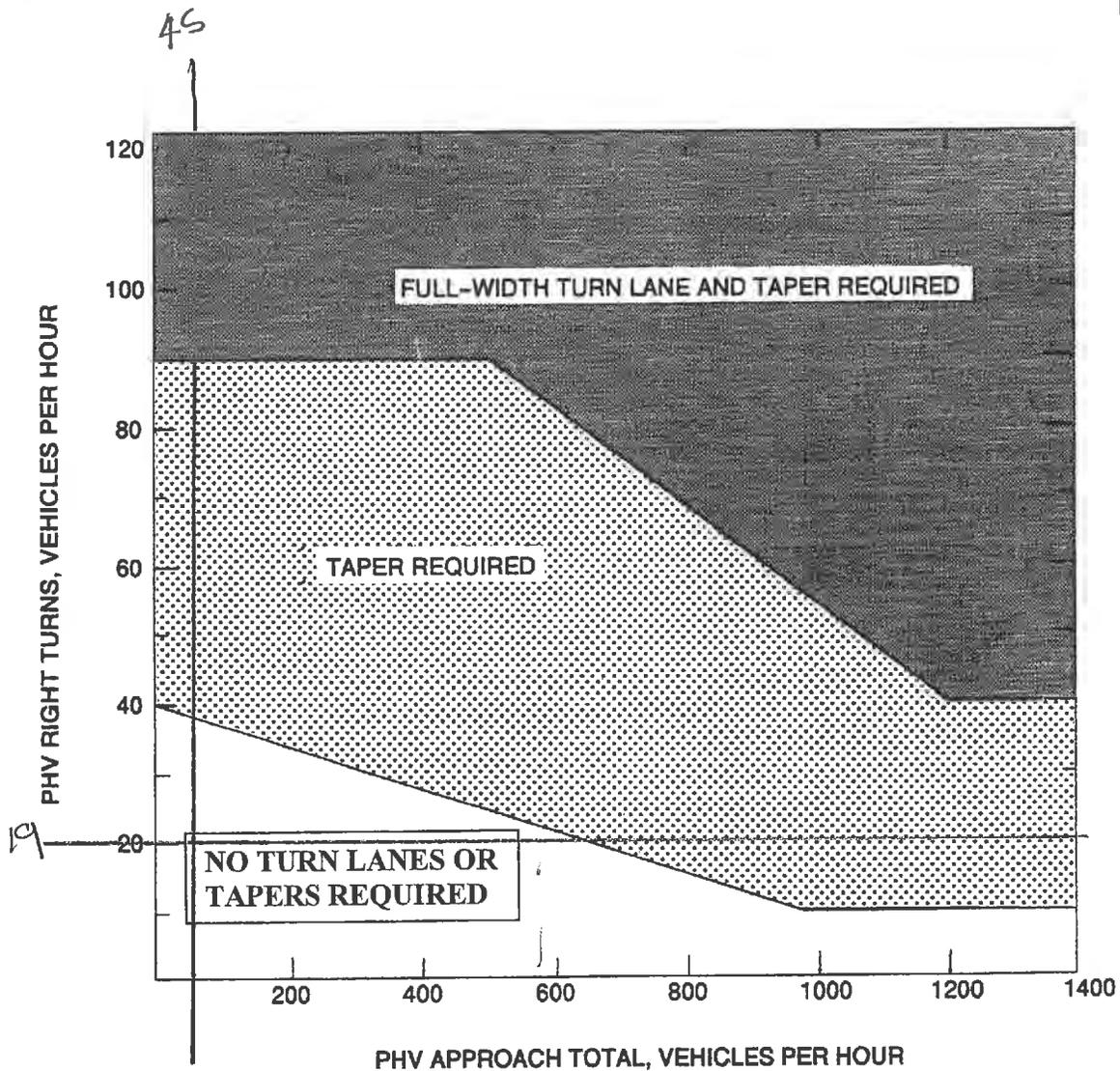
### Peak Hour Traffic For New Entrance:

(1) trip per unit = 51

63% of trips will be heading south towards Ashley Way = 32

37% of trips will be heading north towards US 220 = 19





Appropriate Radius required at all Intersections and Entrances (Commercial or Private).

**LEGEND**

PHV- - Peak Hour Volume (also Design Hourly Volume equivalent)

**Adjustment for Right Turns**

If PHV is not known use formula:  $PHV = ADT \times K \times D$

K = the percent of AADT occurring in the peak hour

D = the percent of traffic in the peak direction of flow

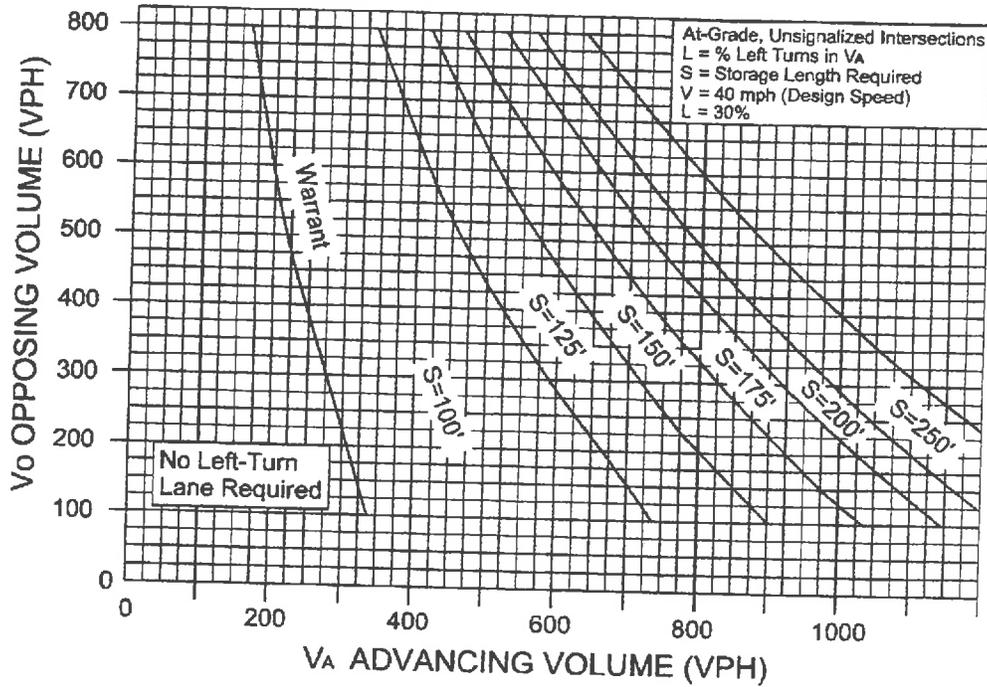
Note: An average of 11% for K x D will suffice.

When right turn facilities are warranted, see Figure 3-1 for design criteria.\*

**FIGURE 3-27 WARRANTS FOR RIGHT TURN TREATMENT (4-LANE HIGHWAY)**

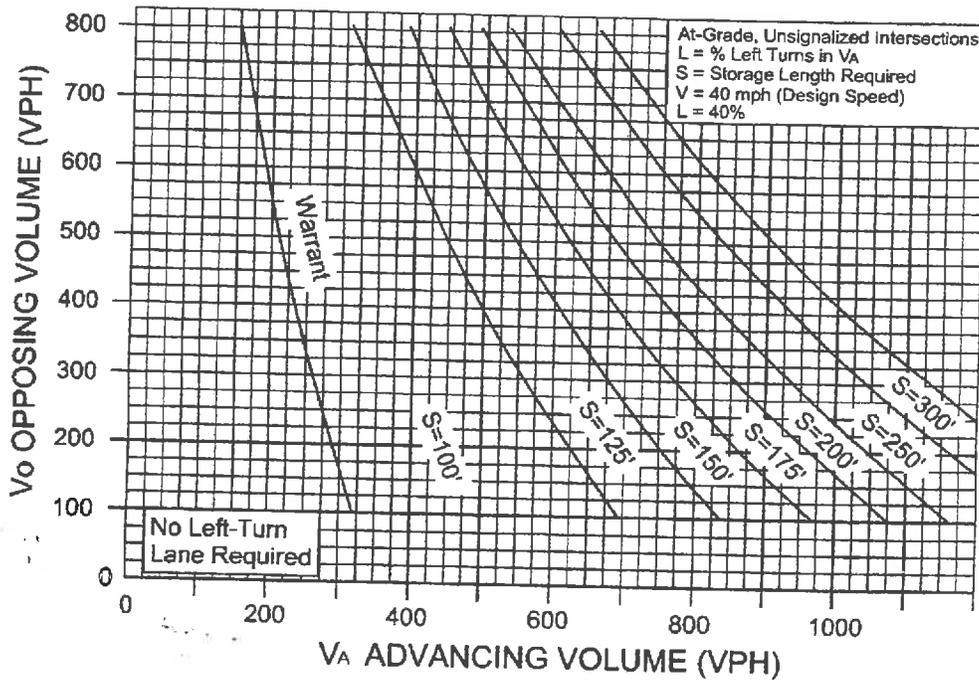
*No Right Turn Warranted*

WARRANT FOR LEFT-TURN STORAGE LANES ON TWO-LANE HIGHWAY



*Speed limit  
= 25 mph*

FIGURE 3-9



*L = 60%*

45

58

No Left Turn  
Warranted

Virginia Department of Transportation  
Traffic Engineering Division  
2014  
Annual Average Daily Traffic Volume Estimates By Section of Route  
Botetourt Maintenance Area

Route	Length	AADT	QA	4Tire	Bus	Truck				QC	K Factor	QK	Dir Factor	AAWDT	QW
						2Axle	3+Axle	1Trail	2Trail						
<b>Botetourt County</b>															
(1123) Magnolia Lane	0.10	160	R			11-1126 Ashley Way					NA			NA	05/20/2010
						Cul-de-Sac									
(1124) Charleston Place	0.10	180	R			Cul-de-Sac					NA			NA	05/19/2010
						11-1123 Magnolia Lane									
(1124) Charleston Place	0.10	120	R			Cul-de-Sac					NA			NA	05/20/2010
						Cul-de-Sac									
<b>Town of Troutville</b>															
(1125) Boone Dr	0.06	240	R			Dead End					NA			NA	01/10/2014
						US 11 Lee Highway									
<b>Botetourt County</b>															
(1126) Ashley Way	0.60	320	R			US 220 Roanoke Rd					NA			NA	12/15/2009
						11-1123 Magnolia Lane									
(1127) Antietam Hill Rd	0.25	420	R			11-673 OHara Dr					NA			NA	01/10/2014
						11-1128 Summit Ridge Rd									
(1128) Summit Ridge Rd	0.10	100	R			Cul-de-Sac					NA			NA	01/10/2014
						11-1127 Antietam Hill Rd									
(1128) Summit Ridge Rd	0.30	230	R			Cul-de-Sac					NA			NA	01/10/2014
						11-1126 Ashley Way									
(1129) Scarlet Dr	0.88	470	R			US 220 Roanoke Rd					NA			NA	12/15/2009
						11-779 Catawba Rd									
(1130) Wetherwood Dr	0.04	460	R			11-1131 Wentworth Lane					NA			NA	04/06/2007
						Cul-de-Sac									
(1131) Wentworth Lane	0.50	120	R			Cul-de-Sac					NA			NA	04/06/2007
						Cul-de-Sac									
(1132) Wyndale Crossing	0.07	200	R			11-1131 Wentworth Lane					NA			NA	04/06/2007
						11-1133 Wellington Lane									
(1133) Wellington Lane	0.24	50	R			11-1131 Wentworth Lane					NA			NA	04/06/2007
						Cul-de-Sac									
(1134) Wembley Court	0.08	60	R			11-1133 Wellington Lane					NA			NA	04/06/2007
						Cul-de-Sac									
(1135) Winthrop Place	0.03	30	R			Cul-de-Sac					NA			NA	04/06/2007
						11-1131 Wentworth Lane									
(1136) Manassas Circle	0.24	90	R			11-1129 Scarlet Dr					NA			NA	12/15/2009
						11-1129 Scarlet Dr									
(1137) Alabama Court	0.12	190	R			11-1129 Scarlet Dr					NA			NA	05/20/2010
						Cul-de-Sac									
(1138) Butler Court	0.25	520	R			11-1129 Scarlet Dr					NA			NA	05/20/2010
						Cul-de-Sac									
(1139) Ashby Dr	0.22	170	R			11-673 Greenfield St					NA			NA	12/15/2010
						Cul-de-Sac									



# BACKGROUND REPORT

Planning Commission – November 14, 2016  
Board of Supervisors – November 22, 2016

Prepared by: N Pendleton

## PROJECT SUMMARY

Ashley Investments LLC is requesting a Commission Permit for new public roads as well as a rezoning from Agriculture, (A-1) to Residential, (R-1) for the construction of up to 51 single family dwellings in a proposed subdivision to be known as the “Villages of Ashley”. The proposal is requested on a portion of a 35-acre parcel is located on Trinity Road approximately 0.45 miles south of the intersection of Roanoke Road (U.S. Route 220)/Trinity Road.

## STAFF COMMENTS

This application is a modification from an application that was tabled in May of 2016 at the request of the applicant. That proposal was for a higher-density development that would be served by private roads. This submittal has been modified, and the proposal for single-family homes on 20,000 square foot lots or larger is consistent with the surrounding Ashley Plantation subdivisions.

The proposed subdivision is approximately one mile from the entrance to The Botetourt Center at Greenfield, where two recent economic development announcements have referenced the creation of hundreds of new jobs. Botetourt County is also in the process of conducting a housing study to determine the market for multiple types of housing, but the overwhelming perception indicates that there is a shortage of workforce housing. Paired with the location, and the availability of water and sewer, this development does have the potential to address that demand.

The main concern of staff regarding this application is the lack of connectivity as required by the subdivision ordinance. Connectivity also appears to be a concern from VDOT, as they state that the project does not appear to have multiple connections in multiple directions. However, the property as it exists currently does have an access on Trinity Road, but the applicant is not including that portion of the property in this request. To mitigate the lack of connectivity, the applicant did provide a 40-foot right of way “stub out” similar to the existing connection off of Scarlet Drive, to the remainder of the parcel. VDOT representatives have been invited to the meeting, and should be able to address this barrier to their approval should the project be approved. The applicant did proffer substantial conformance to the concept plan, so the development will be required to conform to this layout, but if approved, the Planning Commission may wish to review the preliminary plat when submitted to the office to determine compliance with the standards in the subdivision ordinance.

## PLANNING COMMISSION ACTION

The Planning Commission must make a recommendation to the Board of Supervisors as to the approval, approval with conditions, or denial of these requests.

## LEGAL ADVERTISEMENT

Amsterdam Magisterial District: Ashley Investments, LLC, requests a Commission permit in accord with §15.2-2232 of the Code of Virginia for the construction of a public road, in addition to a request for rezoning, with possible proffered conditions, on 32.081 acres of a 35.154-acre parcel from the Agricultural (A-1) Use District to the Residential (R-1) Use District, for residential use at 2763 Trinity Road, Troutville. The development is proposed to be accessed via Scarlet Drive (Route 1129), This parcel is located approximately 0.45 miles south of the Roanoke Road (U.S. Route 220)/Trinity Road (State Route 670) intersection, identified on the Real Property Identification Maps of Botetourt County as Section 88, Parcel 82F.

## EXISTING CONDITIONS & BACKGROUND

The property is currently zoned Agricultural, A-1. There is currently a dwelling and a barn located on the property however, the barn is situated on a 3.073-acre portion of the property that is not included in this request. Approximately 12 of the acres included in the request are pasture, while the remainder of the property is wooded. The property is currently accessed via Trinity Lane, but the property can also be accessed by an undeveloped 50-foot right-of-way from Scarlet Drive in the Ashley Plantation Subdivision.

## ADJACENT PROPERTIES AND SURROUNDING AREA

	Zoning	Land Use
<b>North</b>	Agricultural (A-1)	Agriculture/Single-family dwellings
	Business (B-1)	VFW Post 1841 Lord Botetourt
<b>East</b>	Trinity Road	Agriculture
	Agricultural (A-1)	Single-family dwellings
<b>West</b>	Residential (R-1)	Single-family dwellings- Ashley Plantation Subdivision
	Route 220	
<b>South</b>	Agriculture (A-1)	Agriculture
	Residential (R-1)	Single-family dwellings- Ashley Plantation Subdivision

## PROPOSED DEVELOPMENT

The applicant is proposing to construct a subdivision with up to 51 lots on 32.081 acres. The subdivision is proposed to be accessed via an existing 50-foot right-of-way from Scarlet Drive, which would be extended as a 40-foot right-of-way to serve 14 lots and intersect with an additional public road. This road would serve approximately 15 lots and terminate on one end in a cul-de-sac. The other public road would serve 22 lots and terminate with a cul-de-sac on both ends.

An additional 3.073 acres of the property is not included in this request. This property would remain zoned in the Agricultural (A-1) Use District. The portion of the property not included in this request has access to Trinity Road. A 40-foot right-of-way connection to that property is shown on the concept plan.

The applicant states that the development will provide moderate housing for qualified residents of Botetourt County. In addition, the applicant did provide sample examples of dwellings, but these renderings are not referenced in the letter of intent or the proffers, so these images are not binding reflections of how the homes could be designed. However, the applicant has submitted a proffered

condition that a document outlining a declaration of covenants, conditions and restrictions will be recorded prior to the approval of the subdivision of this property, and that document is identical to the covenants recorded in the Botetourt County Office of the Clerk of Circuit Court for Ashley Plantation, Section IV. The county will not enforce these restrictions; any disputes arising from any deviations would continue to be a civil matter.

**ZONING ORDINANCE REQUIREMENTS – RESIDENTIAL (R-1)**

<i>Criteria</i>	<i>Code Requirements</i>
District Limitations	All development within the R-1, R-2, and R-3 districts is required to be served by either public (or community) water and sewer facilities which meets the provisions of the county's comprehensive plan and all design standards set forth by the county.
Minimum Lot Area:	20,000 square feet
Minimum Lot Width:	100 feet at the minimum setback line of the front yard
Setbacks:	Front: 35', Side: 15', Rear: 25'
Lot Coverage	20%
Maximum height	35'

**SUBDIVISION ORDINANCE**

In granting subdivision approval, the subdivision agent is required to review plats in accordance with standards related to topographic suitability, coordinated infrastructure improvements, floodplains, natural drainage, stormwater management, erosion and sediment control soil suitability, easements, fire protection, and streets and connectivity. A preliminary plat will be required to be submitted to be reviewed. The agent may call for opinions or decisions, either verbal or written, from the Planning Commission or other departments in considering details of any submitted plat.

Regarding streets, the subdivision ordinance provides the following regulations:

*Sec. 21-134. - Streets.*

- (a) *General requirements. Except where specifically waived elsewhere herein, or permitted by the zoning ordinance, each lot within a subdivision shall be served by a publicly dedicated and state maintained street. New streets shall conform to the standards and regulations of the state department of transportation and to this section. All approvals and inspections of streets will be coordinated with the Virginia Department of Transportation, the Botetourt Comprehensive Plan and any applicable proffers or special exception conditions.*
  
- (b) *Alignment and layout. The arrangement of streets in new subdivisions shall make provision for the continuation of existing streets in adjoining areas. Where, in the opinion of the agent or the planning commission, it is desirable to provide for street access to adjoining property, whether or not there are existing streets in such adjoining property, proposed streets shall be extended by dedication to the boundary of such property. Half streets along the boundary of land proposed for subdivision shall not be permitted.*

## 2010 COMPREHENSIVE PLAN

The 2010 Comprehensive Plan identifies future land uses of properties in this area as **Medium Density Residential**.

***Medium Density Residential:** This category includes areas where suburban patterns of residential development have occurred and are encouraged to occur in the future. Although single family homes are the predominant land use in this category, higher density residential development such as townhomes and apartments may also be suitable. Allowable future densities in these areas should be based upon the availability and adequacy of public facilities and the compatibility of the proposed land use with surrounding properties. Public water and/or sewer typically serve or are planned for these areas. Most of these areas are and will be located in the southern portions of the county.*

The Commission Permit request should be considered in accordance with Sec. 25-576 of the zoning ordinance:

*Permit required. In accord with the Code of Virginia, Section 15.2-2232, no street, park or other public area or public structure, public utility, public building or public service corporation facility other than railroads, whether publicly or privately owned, shall be constructed, established or authorized unless and until the general location or approximate location, character and extent thereof has been submitted to and approved by the planning commission as being substantially in accord with the adopted comprehensive plan or part thereof.*

### UTILITIES

The applicant states that public water will be provided by Central Water Company, and has provided a letter from Central Water Company indicating they have the capacity to supply these residential hookups. The applicant indicates that the property can be served by public sewer which is already in use and available at Scarlet Drive.

### TRAFFIC

2015 VDOT traffic data indicates that there is an estimated Average Annual Daily Traffic (AADT) volume of 470 vehicles along the 0.88 mile segment of Scarlet Drive (Route 1129) from Ashley Way (Route 1126) to its intersection with Roanoke Road (Route 220). For comparison, there is an estimated AADT volume of 1,700 along Trinity Road.

A traffic study was submitted which appears to provide information regarding the need for a right turn or taper, or left turn lane on Scarlet Drive. This analysis assumes one trip per lot in the peak hour traffic study, and estimates that no such improvements are needed. VDOT is currently reviewing this traffic study.

### VDOT COMMENTS

VDOT comments are attached. VDOT representatives have been invited to attend the Planning Commission meeting to answer any questions that may arise from the comments. The October 20, 2016 letter states that "The current concept plan does not appear to have multiple connections in multiple

directions as required by the secondary street acceptance requirements.” Other comments in the letter appear to address future permitting requirements.

### **FIRE AND RESCUE**

The Fincastle Fire and Rescue Station provides fire and rescue services for this property. The station is located approximately 3.5 miles from the proposed development. Comments from Deputy Chief Jason Ferguson indicated that they did not foresee any issues, as long as entrances and exits into the area and streets remain wide enough for fire and EMS apparatus to ingress and egress through.

### **SCHOOLS**

The schools serving this project will be Troutville Elementary, Read Mountain Middle School and Lord Botetourt High School. Using the following model, the maximum number of school age children is approximately 26. (51 proposed homes X 2.55 persons per household) \* 20% = 26)

### **PUBLIC COMMENT**

To date, two letters have been received from the public; these are from property owners residing in the existing Ashley Plantation subdivision. The letters, which have been distributed, cite concerns such as: Additional comments may be forthcoming at the public hearings.

This application has been tabled at the request of the applicant since May of 2016. The application previously submitted was for a rezoning to Residential (R-3) Use District and for a private road. That application resulted in approximately 28 letters of opposition which are on file in our office for review.

### **PROFFERS**

1. This property will be developed in substantial conformance titled “Proposed Concept Plan” included with this application, prepared by McMurry Surveyors, Inc. dated August 18, 2016, and revised October 21, 2016).
2. Prior to subdivision approval, a declaration of covenants, conditions and restrictions will be recorded in the Office of the Circuit Court Clerk of Botetourt County. These covenants, conditions and restrictions will be identical to those recorded via Instrument #0309463 in the Office of the Circuit Court Clerk of Botetourt County on October 9, 2003 for Ashley Plantation Section IV, Articles I and II.

## DRAFT MOTIONS

### **Commission Permit:**

#### **Approval for Commission Permit**

I move that the commission permit for a private road by Ashley Investments LLC be approved.

#### **Denial (Commission Permit):**

I move that the commission permit for a private road by Ashley Investments LLC be denied. Based upon Zoning Ordinance Section 25-576, the following items have not been satisfied:

- 1.
2. (list findings/reasons for denial)

### **Rezoning**

#### **Approval for Rezoning:**

I move that the zoning map amendment for **Ashley Investments LLC** be forwarded to the Board of Supervisors with the following proffered conditions, supplied by the applicant:

1. This property will be developed in substantial conformance titled "Proposed Concept Plan" included with this application, prepared by McMurry Surveyors, Inc. dated August 18, 2016, and revised October 21, 2016).
2. Prior to subdivision approval, a declaration of covenants, conditions and restrictions will be recorded in the Office of the Circuit Court Clerk of Botetourt County. These covenants, conditions and restrictions will be identical to those recorded via Instrument #0309463 in the Office of the Circuit Court Clerk of Botetourt County on October 9, 2003 for Ashley Plantation Section IV, Articles I and II.

This recommendation is on the basis that the requirements of Section 25-581 of the Zoning Ordinance have been satisfied, and that the proposal would serve the public necessity, convenience, general welfare, and is good zoning practice.

#### **Denial, Rezoning:**

I move that the zoning map amendment for the property of **Ashley Investments LLC** be forwarded to the Board of Supervisors with recommendation for denial on the basis that the requirements of Section 25-581 of the Zoning Ordinance have not been satisfied due to the following reasons:\_\_\_\_\_.





# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF TRANSPORTATION

714 South Broad Street  
Salem, VA 24153

CHARLES A. KILPATRICK, P.E.  
COMMISSIONER

October 20, 2016

Ms. Nicole Pendleton  
Planning and Zoning Administrator  
County Of Botetourt  
5 West Main Street, Suite 100  
Fincastle, VA 24090

RE: Planning Commission Request  
Rezoning—A-1 to R-1  
Botetourt County  
Route 1129, Scarlett Drive

Dear Ms. Pendleton,

We have reviewed the above mentioned rezoning request and offer the following comments:

1. A Land Use Permit will be required if a new entrance is needed from the VDOT right-of-way or for the change in use of an existing entrance.
2. The VDOT Road Design Manual, Appendix F: Access Management Design Standards for Entrances and Intersections must be adhered to where applicable for commercial entrances. This includes but is not limited to commercial entrance spacing and intersection sight distance. The intersection sight distance must be field verified and measures taken to ensure the minimum required distances can be met.
3. The documentation states the roadways in the proposed subdivision are intended to be maintained by VDOT. The roadways will not be accepted into the secondary system for maintenance until final inspection to ensure the roadways meet current VDOT secondary street requirements.
4. The current concept plan does not appear to have multiple connections in multiple directions as required by the secondary street acceptance requirements.
5. The department will not issue an approval of the plans or Land Use Permit until the locality approves this rezoning request. In addition, information regarding any changes to the existing drainage system should also be included for review.
6. The traffic study will be required to be submitted and reviewed prior to the Department issuing an approval of the plans.

Ms. Nicole Pendleton

October 20, 2016

2 of 2

Should you have any questions, please do not hesitate to call. Thank you.

Sincerely,



Brian K. Blevins, P.E.

Assistant Resident Engineer/Land Use  
VDOT, Salem Residency

## GOAD, LAURA

---

**From:** FERGUSON, JASON  
**Sent:** Monday, October 03, 2016 9:09 AM  
**To:** GOAD, LAURA  
**Subject:** RE: Rezoning - Please review and comment by 10-14-16

Laura,

This project appears similar in concept, if not identical to a previously proposed project in that same area. I don't see any issues, as long as entrances and exits into the area and streets remain wide enough for fire and EMS apparatus to ingress and egress through.

Thanks,  
Jason

---

**From:** GOAD, LAURA  
**Sent:** Wednesday, September 07, 2016 3:43 PM  
**To:** FERGUSON, JASON <jferguson@BOTETOVRTVA.GOV>  
**Subject:** Rezoning - Please review and comment by 10-14-16

Jason,

Would you please review this rezoning request for Fire/EMS. Based on the attached concept plan, the developer proposes one entrance off of Scarlet Drive for a 51-lot subdivision comment by October 14, 2016.

Thank you,

Laura

**Laura Goad** | Community Development  
*Division of Planning & Zoning*  
5 W. Main St., Suite 100 ~ Fincastle, VA 24090  
O: 540.928.2078 F: 540.473.2018  
Botetourt County | [lgoad@botetourtva.gov](mailto:lgoad@botetourtva.gov)



**From:** [happycouple8@lumos.net](mailto:happycouple8@lumos.net)  
**To:** [Larrowe, Gary](#)  
**Cc:** [MOORMAN, DAVID](#); [Dodson, Todd](#); [Martin, Billy](#); [Williamson, John](#); [Leffel, Jack](#); [Scothorn, Mac](#); [PlanningComments](#); [hiawathanicely@aol.com](mailto:hiawathanicely@aol.com); [HOA Board](#)  
**Subject:** Beyond the Botetourt County Gateway  
**Date:** Sunday, October 23, 2016 6:10:12 PM  
**Importance:** High

---

Dear Mr. Larrowe:

We (Mary and Michael Dixon, Daleville) are writing once again to express concerns and reservations about the proposed development of 32 acres by Ashely Investments, LLC in the hear of Ashley Plantation. You will recall that while the development is not at all affiliated with Ashley Plantation, it is to be known as the "Village of Ashley."

Ashley Investments in its most recent submission (August 2016) to the County's Planning and Zoning Division has proposed rezoning the area in question from A-1 to R-1 residential status. This on the surface at least is a step forward as Ashley Plantation homeowners in general gave considered as acceptable R-1 zoning WITH similar housing and similar restrictions.covenants as those that exist in Ashley Plantation.

It is worth emphasizing, however, that the new proposal for 51 residences is significantly higher than the 40 or so that Ashley Investments representatives promised Ashley Plantation HOA members on April 20, 2016. Moreover, despite Ashley Plantation HOA efforts to engage Ashley Investments representatives, the latter have declined to confirm their intention to honor and implement the sample covenants, conditions and restrictions that were included in the August 2016 rezoning request. This is a particular point of concern and consternation, given 2016 Virginia state legislation concerning zoning and related proffers. As you undoubtedly are aware, the new law puts the burden on the County to show that proffers are "reasonable," and address only impacts "specifically attributable" to the proposed new development.

We advance the position that the physical characteristics of the Ashley Investments development and its governing residential rules are in fact part and parcel of what the development will become. It is impossible to imagine that standards sought by Ashley Plantation residents and agreed to b y Ashley Investments, LLC would not have a direct and material benefit for the Village of Ashley and therefore might not meet the new statutory standards.

The number of proposed new residences is particularly significant given that the new proposal still suggests only one entrance and exit for the Village of Ashley (via the conversion of a 50-foot right of way off already busy Scarlet Drive. Additional access via Trinity Road is feasible and by Ashley Investments' own admission would cost only about the price on one to-be-developed residence. The traffic and inherent public safety issues, as well as a serious strain on infrastructure and public/community resources, that the proposed single-point access to the Village of Ashley raise speak for themselves. We trust County experts will want to weigh them carefully.

Environmental issues including the impact of regrading, treatment of storm water, and the conveyance of run-off water are also among our concerns that relate to but have implications beyond administrative re-designation of areas for residential use. In shorthand, stretches of concrete and asphalt mean less absorption of water. Poor storm water treatment and improper sizing/positioning of drainage systems can exact a severe toll. As a keen observer of international affairs and events, you likely saw that poor planning in terms of handling storm water created chaos and extreme property loss in Ulsan, Korea earlier this month. We are encouraged by the recently renewed attention that the County has demonstrated toward storm water management ad wish to flag this as an important set of issues to address if the new development proceeds.

Finally, we would like to emphasize that like other Ashley Plantation presidents, we are not resistant to change and are not suggesting that development cannot be positive. It is befitting that the residents of Ashley Plantation did not seek a gated community; nor is there fencing to shut out the rest of te world. Rather, we are an embracing community that only hopes to be a beacon for new economic and residential developments beyond the Exit 150 Gateway.

If you have any questions, please do not hesitate to contact us. Also, please feel free to share these thoughts with any of your colleagues as you deem appropriate.

Sincerely,  
Mary and Michael Dixon, (703) 346-1485  
100 Alabama Ct, Daleville, VA 24083

October 16, 2016

Mr. Todd Dodson  
482 Ridge Trail  
Fincastle, VA

Dear Mr. Dodson,

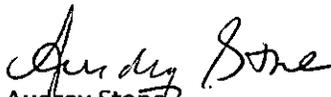
As a resident and homeowner in Ashley Plantation, I am writing to oppose the request to change the zoning on the property at 2763 Trinity Road from its current A1 to R1. My home at 47 Stonewall Drive is adjacent to one end of the subdivision proposed by Mr. Camp and the impact will be direct and profound.

We purchased our home in December 2014, relocating from Winston-Salem, NC. We ultimately chose Ashley Plantation and this home on Stonewall Drive because of the character of the neighborhood, the serene view, the unique homes and the bucolic setting, especially behind our home. This neighborhood is an easy commute for me to Hollins and the proximity to the airport for my husband is a bonus.

If the property in question is rezoned to R1 and Ashley Investments is allowed to pursue the plans submitted, we lose. Plain and simple, we lose the setting that we believe we invested in when we purchased this home. We lose value in a home purchased two short years ago. We lose faith that elected officials and their appointed representatives respond to the rest of us. And Mr. Dodson, you risk losing the faith of your neighbors in your capacity to fairly represent the voters in the county. I am certain that the growing reputation of Botetourt County is closely connected to your leadership and vision. I believe Botetourt County is fast gaining a reputation for being a progressive and active community, with an expanding tax base. Botetourt County is heading toward becoming a highly desirable location for families moving to this area. I especially want to remain here with the hope that my real estate investment does not suffer because of a subdivision built literally in my back yard. To me, granting the request to rezone from A1 to R1 feels like a betrayal of the covenant between home buyers and existing county zoning standards.

I respectfully ask that you carefully consider the impact the proposed subdivision would have on property values, traffic, and wildlife in Ashley Plantation. I also ask that you vote against the application to rezone.

Sincerely

  
Audrey Stone  
47 Stonewall Drive  
Daleville, VA 24083  
(540) 591-3194

RECEIVED

OCT 31 2016

Botetourt County  
Development Services

Botetourt County Board of Supervisors  
c/o Garry Larrowe  
1 West Main St, Box 1  
Fincastle, VA 20490

Richard and Dorothy Donnelly  
170 Manassas Circle  
Daleville, VA 24083

Greetings,

We are writing to express our concerns with the proposed subdivision north of Ashley Plantation ("The Village of Ashley"). We have reviewed the proposal and do not believe the current plan will be a positive change to our community or the County. The proposal must include a second outlet onto Trinity Road.

Our primary concern is the additional traffic generated by the new housing. While the current proposal is far superior to the original concept of quad-homes, the streets of the existing Ashley Plantation subdivision are not suited to absorb all of the additional traffic. We do not concur with the plan's assessment that 37% of traffic will turn north from Scarlet onto US 220. In our experience, fully 90% of our departures are to the south via Scarlet. All our grocery stores and other amenities are to the south, and it seems reasonable to expect that most residents of the new community will also depart the neighborhood primarily in that direction.

Additionally, the notion of one trip per unit during peak times seems very conservative. It is not uncommon for two or more vehicles to come and go from each home daily. Many families are dual-income households, and even stay-at-home spouses create traffic in support of their households. Instead of 32 added trips on our streets during peak times, the number could be closer to 100. As you are aware, the streets of our subdivision are narrow; there is barely sufficient room for two cars to pass. There are no sidewalks, so pedestrians, joggers, dogs, bicyclists and kids waiting for the school bus all share the road with drivers. Adding additional traffic to our streets poses a safety hazard for all our residents.

A concern that is not addressed in the proposal is the concept of construction traffic. Where will construction traffic be routed? Certainly the concept of heavy trucks running through Ashley for a period of years cannot be acceptable to anyone. We do understand the need for affordable housing in the County, and are not opposed to reasonable development of the land in question. However until the plan includes an outlet on Trinity Road, we urge the Board to vote No on this proposal.

Sincerely



Richard and Dorothy Donnelly

RECEIVED  
NOV - 1 2016  
Botetourt County Administrator

## GOAD, LAURA

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**From:** Ed Holt <edholt3@att.net>  
**Sent:** Monday, November 14, 2016 8:35 AM  
**To:** GOAD, LAURA  
**Subject:** Villages of Ashley

Dear Ms. Goad,

Would you be so kind as to share our letter below regarding the Villages of Ashley zoning application with the members of the Planning Commission and any other appropriate persons to convey our thoughts on this matter.

Thank you,

Ed & Betty Holt

Dear Members of the Botetourt County Planning Commission and Staff:

My wife and I moved to Botetourt County in June 2015 after 40+ years of living elsewhere. For years we have watched the neighborhood of Ashley Plantation develop and grow from a farm into one of the premier developments in this county. We are dismayed by the possibility of the Villages of Ashley being developed solely using the residential streets of Ashley as ingress and egress.

We have two neighbors where the husbands both work in Blacksburg and live in Ashley. They were so impressed by this neighborhood that they chose to commute to Blacksburg, driving past Roanoke on their commute, because of the value they saw here. This fact points out the desirability of our area, and we do not want this value to be negatively impacted by changing the character of this area.

There are several points that we would like to make:

1. The current address for this property is 2763 Trinity Road. The proposed development has all traffic entering and exiting through Scarlet Drive. We feel it is most appropriate for all traffic to continue to enter and exit the proposed neighborhood on Trinity Road as the streets in Ashley are not designed for the anticipated traffic flow.
2. The intersection of US 220 and Scarlet Drive is from the northbound lanes of US 220 only. The topography of 220 does not allow for a cross over at that point. This will have the impact of either funneling traffic either through Ashley Plantation and heavily impacting traffic in a residential area by an average of over 500 vehicles per day, or causing traffic exiting the neighborhood that wants to go southbound on US 220 to first travel north on 220 to Country Club Road and then make a u-turn at an intersection that is already difficult and has recently seen fatal traffic accidents. Conversely traffic southbound on 220 that is entering the neighborhood will either funnel through Ashley Plantation or make a u-turn by the Cattleman's Association where traffic northbound on 220 is coming out of a curve, often at high speed. By restricting ingress and egress to Trinity Road, traffic will either enter and exit 220 at safer locations or disburse more traffic to US 11 and spread out the traffic impact.
3. The county recognizes significant property tax value from Ashley Plantation and the surrounding area. Adding additional traffic and changing the nature of the development will hurt the value of the

homes in Ashley and end up costing the county tax dollars where this type of development in other areas will not.

4. The nature of the grading proposed by the development and the retaining walls proposed will create drainage problems and eyesores that will negatively impact surrounding homes.

We therefore request zoning to only be approved for lots of R-1 with ingress and egress off Trinity Road, acceptable drainage and grading for minimal visual and drainage impacts, and posting of a performance bond by the developer to correct any adverse impact on surrounding neighbors of the development. We believe this would then be in keeping with the neighborhood and the county land use plan.

Thank you for your consideration of our thoughts on this matter.

Sincerely,

*Ed & Betty Holt*

599 Scarlet Drive

Daleville, VA

To the Zoning office, the Zoning Commission, County Administrator, and the Board of Supervisors.

As a member of the community in Ashley Plantation I want to offer my concerns and insight into the rezoning of 2763 Trinity Road (Tax Map #88-82F) from A1 to R1. I do support an R1 rezoning with proffered similar covenants and restrictions as those of the homes surrounding this property in Ashley Plantation. But, it must also have a proffered HOA management company, specific directions as to what happens if the developer walks away from the project and obtain another entrance from 220 or Trinity Road. My concerns are the large increase in Traffic on our neighborhood streets and 220/Roanoke Road, the inability to enforce the covenant and restrictions in Ashley Plantation, the exception that these Ashley residents will not have to pay a sign fee, the safety and security of our children to get to and from the bus stops, and the added burden on the fire, ems and police services and the strain on all the Utilities provided to the neighborhood.

To support my concern of increased traffic I would like to point to the Botetourt County Comprehensive Plan 2010, page 55 "Maintenance of Road Networks, although Botetourt County has a well-maintained primary roadway network, secondary roadways are often only in fair condition which can put a strain on safety. The maintenance of acceptable levels of service (LOS) on roadways is essential to preserving and enhancing interregional mobility, increasing transportation efficiency, and coordinating transportation and land development. Based on the most recent counts supplied by the Virginia Department of Transportation (VDOT) and level of service guidelines provided by the Planning District Commission (PDC), the existing roadway network in Botetourt County provides a generally good level of service for motor vehicle transport. There are, however, three roadway segments in the County that are operating at Level of Service D, where LOS C is considered to be the generally accepted minimum operating standard for rural primary roadways. These segments are U.S. Route 220 from north County line to Fincastle, Fincastle to Daleville Town Center, and Daleville Town Center to I-81 Exit 150. Although these segments are not operating at a failing level of service, minor increases in daily traffic would result in failures." Residents already have seen increased wait times to turn onto Route 220 from Ashley Way, across from the Greenfield Center entrance. With the new projects located in the Greenfield Center area, the traffic is a huge concern. The new development only has one entrance and exit and that is to Scarlet Drive. All traffic from this new development will be forced onto Scarlet Drive.

The streets in Ashley Plantation do not have curbs or sidewalks. The children all must walk in the street to get to the bus stops in the morning. One of the bus stops is currently on the corner of the proposed only entrance to the Villages of Ashley. The number of buses needed to transport students will increase and with the added traffic it will be unsafe for the students to walk to the bus stop. On Scarlet Drive, where the proposed entrance to the Villages of Ashley would be, there are no center lines or the ability to turn southbound onto Route 220/Roanoke Road. There is also no off street parking because of the water drains.

When anyone has a guest it makes it incredibly difficult to safely drive down the roads throughout Ashley Plantation.

The residents in Ashley Plantation witnessed the value of their homes drastically decrease this year. My home value dropped close to \$60,000 not including the home addition we put on last year. On average, I believe our homes in Ashley Plantation have already dropped over 10% in tax value. There are still many lots for sale in Ashley Plantation. What will happen to our home values if this new development begins and must lower their sales price to compete with the lots already available in Ashley Plantation?

Lastly, the increase on Utilities will impact current residents. Referencing the Botetourt County 2010 Comprehensive Plan, Page 82, "Community facilities and services are critical to quality of life and can directly affect a community's potential for growth. As Botetourt County's population continues to increase and change in character, demand for facilities and services will also increase and change - more classroom space, police protection, social services, recreation facilities, etc., will be needed. Community facilities and services in the County are provided on several levels; the provision of these facilities and services is dependent on tax dollars, whether in the form of state aid, County supported programs or locally funded facilities and services." There is a Central Water Co. hearing with the SCC as they greatly raised their rates on the residents in Ashley Plantation this year. Central Water is having problems with their new meter system. My home is on its third meter in 2 & ½ years. There are many complaints concerning Central Water Co. and their ability to provide decent water and customer service at competitive local rates.

Again, I would like to ask that there be two entrances to this new development. It's possible that this farm acreage is not a good place for a development because of access issues. The offered 40 ft. right of way left is apparently not useable, due to a home located too close to the property line. If the right of way is useable, I believe it needs to be used as the primary entrance to this new development. Please consider all the problems the residents of Ashley Plantation are facing with the Bank of Fincastle taking over the Clubhouse, pool and tennis courts. We can't seem to get answers from the new management about how the collected sign fees were used, as the pond has a leak and the landscaping is in disrepair. The residents have also been left without a developer to approve new home designs and enforcement of the covenant and restrictions. I appreciate you taking the time to consider my opinion and concerns as a resident of Botetourt County.

Sincerely,

Amy Wilson